

Hale Uhiwai Nalu Addition

Kapolei, Hawaii
for
CLOUDBREAK HAWAII, LLC

UNIT SUMMARY

UNIT	TYPE	AREA, SF	UNIT COUNT	% MIX	TOTAL AREA
A1	SINGLE (SRO)	374	14	28%	5,236 SF
A1a	SINGLE (SRO)	420	3	6%	1,260 SF
A2	SINGLE (SRO)	374	8	16%	2,992 SF
A3	SINGLE (SRO)	374	12	24%	4,488 SF
A4	SINGLE (SRO)	374	3	6%	1,122 SF
A5	ACCESSIBLE SINGLE (SRO)	374	4	8%	1,496 SF
A6	SINGLE (SRO)	374	3	6%	1,122 SF
A7	SINGLE (SRO)	374	3	6%	1,122 SF
TOTALS			50	100%	18,838 SF

ACCESSIBLE UNITS
 ACCESSIBLE WITH MOBILITY FEATURES 2010 FEDERAL STANDARDS 233.3.1.1, 5% OF 50 = 3 UNITS W/ MOBILITY FEATURES.
 2010 FEDERAL STANDARDS 233.3.1.2, 2% OF 50 = 1 UNIT W/ COMMUNICATION FIXTURES

BUILDING SUMMARY

TYPE VA	AREA, SF
NET RESIDENTIAL	19,601 SF
COMMON AREA	2,005 SF
CIRCULATION	5,628 SF
COMMON AREA	2,125 SF
UTILITY	898 SF
TOTAL BUILDING AREA	30,257 SF

NEIGHBORHOOD:	NOT APPLICABLE
ACRES:	2
ZONING:	NOT APPLICABLE
FLOOD ZONE:	D
LOT RESTRICTIONS:	NONE
HISTORIC SITE REGISTER:	NONE

PARKING SUMMARY

RESIDENTIAL PARKING REQUIREMENTS			
UNIT TYPE	PARKING RATIO*	NO. OF UNITS	STALLS REQ'D
SINGLE (SRO)	1	50	50.00
TOTAL RESIDENTIAL STALLS REQUIRED			50.00
TOTAL RESIDENTIAL STALLS PROVIDED			50

ACCESSIBLE PARKING REQUIREMENTS		
RESIDENTIAL	ACCESSIBLE UNITS	ACCESSIBLE STALLS
ACCESSIBLE REQUIREMENT PER 2010 FED ADA STANDARDS	3	3

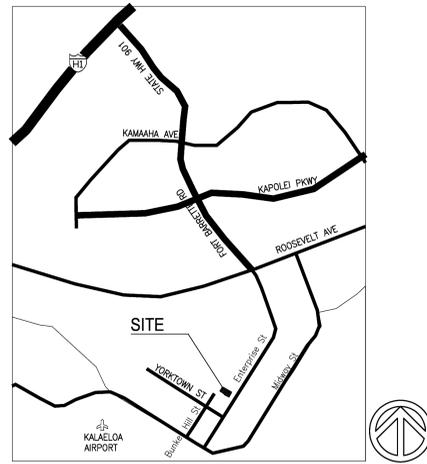
CODE INFORMATION

2006 INTERNATIONAL BUILDING CODE
 2006 INTERNATIONAL FIRE CODE
 2006 INTERNATIONAL ENERGY CONSERVATION CODE
 2006 INTERNATIONAL MECHANICAL CODE
 2008 NATIONAL ELECTRICAL CODE / NFPA-70
 2006 INTERNATIONAL CODE COUNCIL PERFORMANCE CODE
 2006 UNIFORM PLUMBING CODE
 ASME A17.1-2004, SAFETY CODE FOR ELEVATORS AND ESCALATORS
 2003 ICC/ANSI A117.1
 2010 FEDERAL ADA STANDARDS
 HAWAII REVISED STATUTES (HRS) 103-50
 2010 CHAPTER 12-45.2 HAWAII ADMINISTRATIVE RULES - STATE OF HAWAII FIRE CODE & 2006 NFPA 1 UNIFORM FIRE CODE

PROJECT DESCRIPTION

PROJECT DESCRIPTION	4-STORY TYPE V-A RESIDENTIAL FACILITY FOR VETERANS WITH ACCESSORY COMMUNITY ROOM, FITNESS, AND OFFICES
PROJECT ADDRESS	91-1078 YORKTOWN STREET, KAPOLEI, HI 96707
LEGAL DESCRIPTION	LOT 13062-D TMK 9-1-013 054

VICINITY MAP



SEPARATE PERMIT
AND DEFERRED SUBMITTALS

- A LICENSED FIRE SPRINKLER CONTRACTOR IS REQUIRED TO SUBMIT 3 SETS OF DRAWINGS AND CALCULATIONS TO FIRE DEPARTMENT FOR REVIEW AND PERMIT.
- A LICENSED FIRE ALARM CONTRACTOR IS REQUIRED TO SUBMIT 3 SETS OF DRAWINGS, MANUFACTURER'S CUT SHEETS, BATTERY CALCULATIONS, TYPE OF WIRING, ETC. FOR THE WATER FLOW ALARMS, TAMPER SWITCHES, SMOKE AND HEAT DETECTORS, ETC., FOR PREVIEW AND PERMIT.
- STEEL STAIRS
- ELEVATOR
- SOLAR PANEL SYSTEM
- SIGNAGE
- FIRE ACCESS LANES
- FIRE LANE REVIEW (ON-SITE & OFF-SITE)

PROJECT DIRECTORY

OWNER	ARCHITECT
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STRUCTURAL ENGINEER	CIVIL ENGINEER
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PLUMBING ENGINEER	MECHANICAL ENGINEER
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GEOTECHNICAL ENGINEER	ELECTRICAL ENGINEER
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GENERAL CONTRACTOR	LANDSCAPE ARCHITECT
LANDMARK BUILDERS, INC. P.O. Box 728 Haleiwa, HI 96712	IRVIN HIGASHI & ASSOCIATES, INC. 533 Ihe Street Honolulu, HI 96817

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DRAWING INDEX (cont.)

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A303	WASTE AND VENT RISER DIAGRAMS
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Project Information
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Hale Uhiwai Nalu Addition
91-1078 Yorktown Street
Kapolei, HI 96707

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Scale: NONE

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G001

ABBREVIATIONS

AFF	ABOVE FINISH(ED) FLOOR	DPNG	OPENING
AFS	ABOVE FINISH(ED) SURFACE	OD	OUTSIDE DIAMETER
AL	ALUMINUM	OS	OVERFLOW SCUPPER
AL (ALUM)	ALUMINUM	OSL	OVERFLOW SCUPPER
ALT	ALTERNATE	OSL	OVERFLOW SCUPPER
AD	AREA DRAIN	OSL	OVERFLOW SCUPPER
BM	BEAM	OSL	OVERFLOW SCUPPER
BLK(G)	BLOCK(ING)	OSL	OVERFLOW SCUPPER
BLD	BUILDING	OSL	OVERFLOW SCUPPER
CAB	CABINET	OSL	OVERFLOW SCUPPER
CCT	CATCH BASIN	OSL	OVERFLOW SCUPPER
CB	CATCH BASIN	OSL	OVERFLOW SCUPPER
CKJ	CALLING	OSL	OVERFLOW SCUPPER
CLF	CILING JOIST	OSL	OVERFLOW SCUPPER
CTR	CENTER	OSL	OVERFLOW SCUPPER
CL (CL)	CENTER LINE	OSL	OVERFLOW SCUPPER
CT (C.T.)	CERAMIC TILE CLEARANCE	OSL	OVERFLOW SCUPPER
COL	COLUMN	OSL	OVERFLOW SCUPPER
COCC	CONCRETE MASONRY UNIT(S)	OSL	OVERFLOW SCUPPER
CMU	CONSTRUCTION	OSL	OVERFLOW SCUPPER
CONST	CONTINUOUS (CONTINUE)	OSL	OVERFLOW SCUPPER
CONT	CONTRACTOR	OSL	OVERFLOW SCUPPER
CONTR	CORNER GUARD	OSL	OVERFLOW SCUPPER
CS	CORRIDOR (CORRUGATED)	OSL	OVERFLOW SCUPPER
CORR	DECK DRAIN	OSL	OVERFLOW SCUPPER
CS	DEMOLISH, DEMOLITION	OSL	OVERFLOW SCUPPER
DEM	DETAIL	OSL	OVERFLOW SCUPPER
DIL	DIAGONAL	OSL	OVERFLOW SCUPPER
DWG	DIMETER	OSL	OVERFLOW SCUPPER
DM	DIMENSION	OSL	OVERFLOW SCUPPER
DR	DOOR	OSL	OVERFLOW SCUPPER
DR	DOUBLE	OSL	OVERFLOW SCUPPER
DN	DOWN	OSL	OVERFLOW SCUPPER
DS	DOWNSPOUT	OSL	OVERFLOW SCUPPER
DS/SB	DOWNSPOUT TO SPLASH BLOCK	OSL	OVERFLOW SCUPPER
DRN	DRAIN	OSL	OVERFLOW SCUPPER
DWG(S) (DRWG)	DRAWING(S)	OSL	OVERFLOW SCUPPER
DRY	DRYER	OSL	OVERFLOW SCUPPER
EA	EACH	OSL	OVERFLOW SCUPPER
ELEC	ELECTRICAL	OSL	OVERFLOW SCUPPER
EL	ELEVATION (GRADE)	OSL	OVERFLOW SCUPPER
ELEV	ELEVATOR (ELEVATION)	OSL	OVERFLOW SCUPPER
ENG	ENGINEER	OSL	OVERFLOW SCUPPER
EQ	EQUAL	OSL	OVERFLOW SCUPPER
EQUIP	EQUIPMENT	OSL	OVERFLOW SCUPPER
EJ	EXHAUST	OSL	OVERFLOW SCUPPER
EX (EXTS)	EXISTING	OSL	OVERFLOW SCUPPER
EXP	EXPANDED	OSL	OVERFLOW SCUPPER
EXT	EXTERIOR	OSL	OVERFLOW SCUPPER
FAB	FABRICATE	OSL	OVERFLOW SCUPPER
FAC	FACE OF CONCRETE	OSL	OVERFLOW SCUPPER
FACE	FACE OF FINISH	OSL	OVERFLOW SCUPPER
FOM	FACE OF MASONRY	OSL	OVERFLOW SCUPPER
FOS	FACE OF STUD(S)	OSL	OVERFLOW SCUPPER
FT	FEET	OSL	OVERFLOW SCUPPER
FIN	FINISH(ED)	OSL	OVERFLOW SCUPPER
FF	FINISH FLOOR	OSL	OVERFLOW SCUPPER
FF	FINISH GRADE	OSL	OVERFLOW SCUPPER
F.S.	FINISH SLAB (SURFACE)	OSL	OVERFLOW SCUPPER
FA	FIRE ALARM	OSL	OVERFLOW SCUPPER
FD	FIRE DAMPER	OSL	OVERFLOW SCUPPER
FLEX	FLEXIBLE	OSL	OVERFLOW SCUPPER
FL	FLOOR	OSL	OVERFLOW SCUPPER
FLC	FLOOR LINE	OSL	OVERFLOW SCUPPER
FD	FLOOR DRAIN	OSL	OVERFLOW SCUPPER
FLJ	FLOOR JOIST	OSL	OVERFLOW SCUPPER
FLW	FLOOR LINE	OSL	OVERFLOW SCUPPER
FLUOR	FLUORESCENT	OSL	OVERFLOW SCUPPER
FTG	FOOTING	OSL	OVERFLOW SCUPPER
FORCED AIR UNIT			
FOUNDATION			
GALVANIZED			
GALVANIZED IRON			
GA	GAUGE/GAGE		
GC (G.C.)	GENERAL CONTRACTOR		
GLASS REINFORCED CONCRETE			
GR	GRADE		
GYP BD	GYPSSUM BOARD		
GYP SH	GYPSSUM SHEATHING		
HW	HARDWARE		
HDR	HEADER		
HDR	HEATING, VENTILATION & AIR CONDITIONING		
HT	HOLE		
HC	HOLLOW CORE		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HB	HOSE BIBB		
ID	INSIDE DIAMETER		
IN	INCH		
INS (INSUL)	INSULATION (INSULATE)		
INT	INTERIOR		
JT	JOINT		
JST	JOIST		
KIT	KITCHEN (KITCHENETTE)		
LAM	LAMINATE		
LAV	LAVATORY		
LG	LENGTH		
LT.WT.	LIGHT WEIGHT		
LF	LINEAR FEET (FOOT)		
LVR	LOUVER		
MB	MACHINE BOLT		
MFG (MFR)	MANUFACTURER(ING)		
MATL	MATERIAL		
MAX	MAXIMUM		
MECH	MECHANICAL		
MEMB	MEMBRANE		
MTL	METAL		
MEZZ	MEZZANINE		
MIN	MINIMUM		
MT(D)(G)	MOUNT(ED)(ING)		
NAT	NATURAL		
(N)	NEW		
NOM	NOMINAL		
N/A	NOT APPLICABLE		
NIC (N.I.C.)	NOT IN CONTRACT		
NTS	NOT TO SCALE		
NO.	NUMBER		
OC	OCCUPANTS (OCCUPANCY)		
OFF	OFFICE		
OC (O.C.)	ON CENTER		

SYMBOLS

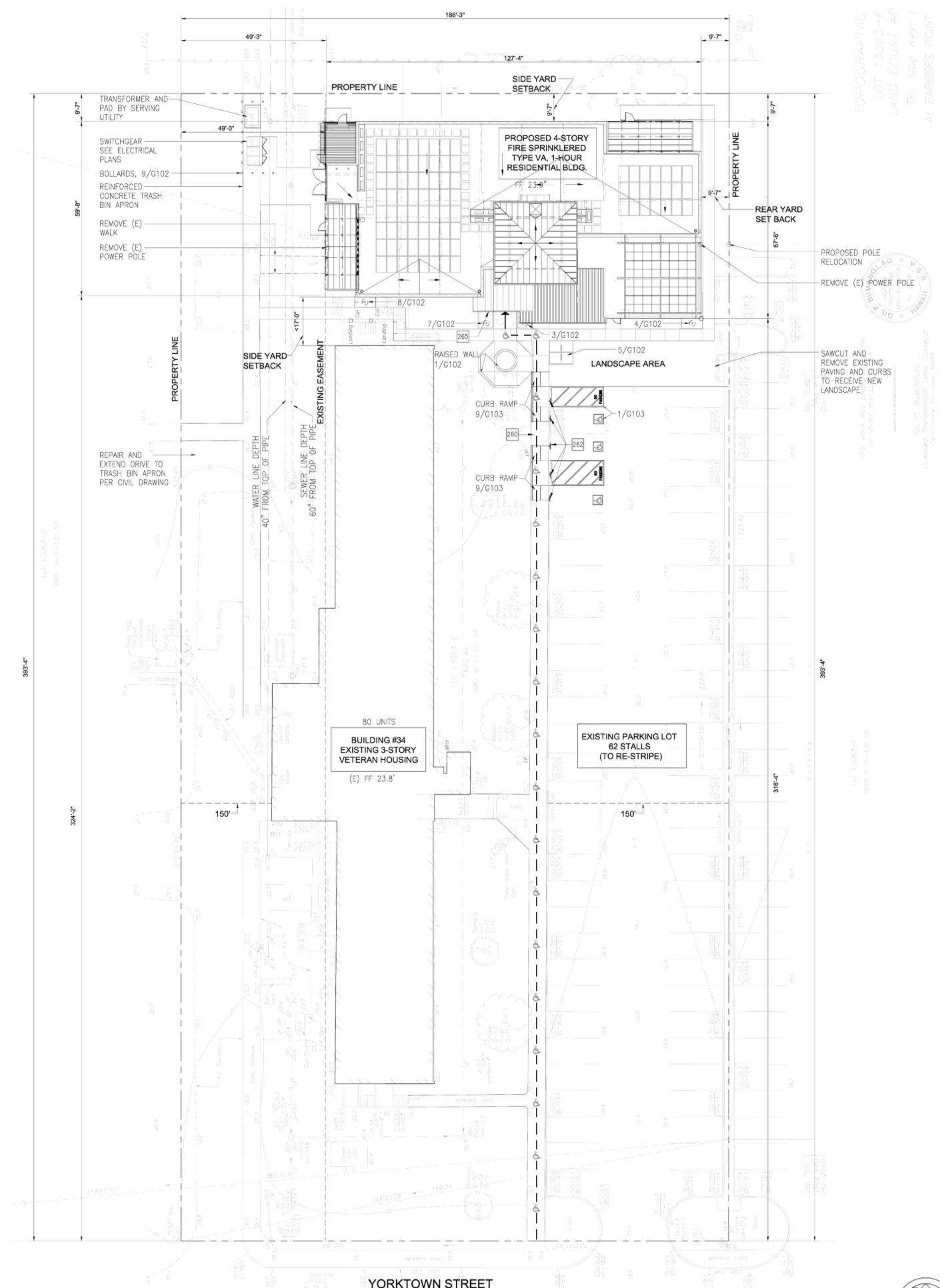
	GRID LINE
	BUILDING SECTION REFERENCE
	PARTIAL BUILDING OR WALL SECTION REFERENCE
	DETAIL REFERENCE
	MATCH LINE REFERENCE
	EXTERIOR ELEVATION REFERENCE
	ROOM NAME
	ROOM NUMBER
	ENLARGED PLAN DETAIL REFERENCE
	INTERIOR ELEVATION REFERENCE
	CONTROL POINT OR DATUM POINT
	FINISH FLOOR ELEVATION
	FINISH SURFACE FLOOR ELEVATION
	KEYNOTE
	STOREFRONT MARK, SEE SCHEDULE - SHT. A601
	DOORS CARRY THE SAME DESIGNATION AS THE ROOM SERVED UNLESS OTHERWISE NOTED. SEE SCHEDULE - SHT. A601
	WINDOW/GLAZING SYMBOL
	SMOKE DETECTOR
	BUILDING MATERIAL/ COLOR REFERENCE
	UNIT DESIGNATION
	REVISION REFERENCE
	REVISION CLOUD
	FIRE HYDRANT
	FIRE EXTINGUISHER
	CLASS 1 STANDPIPE
	BUILDING DIRECTIONAL SIGNAGE
	KNOX BOX, RECESSED MOUNTED 48" AFF
	FLOOR DRAIN, SEE PLUMBING DWGS.
	EXIT SIGN
	LOW LEVEL EXIT SIGN
	BUILDING EXIT
	INTERNATIONAL SIGN OF ACCESSIBILITY, (I.S.A.) RAISED LETTERS & BRAILLE.
	DETECTABLE WARNING SURFACE
	ACCESSIBLE BLDG. ENTRY
	ACCESSIBLE PATH OF TRAVEL
	EXIT PATH OF TRAVEL
	LIMIT OF WORK
	PROPERTY LINE
	ASSUMED PROPERTY LINE
	CENTER LINE
	NORTH ARROW
	WALL TYPE A: FIRE RATING B: DETAIL REFERENCE SHEET A720

KEYNOTES

UNIT KITCHEN NOTES:	
150	20" WIDE, ELECTRIC RANGE - FRONT CONTROLS REQUIRED.
151	28" WIDE X 29 1/8" DEEP REFRIGERATOR TO FIT IN MAXIMUM 30" WIDE SPACE. PROVIDE ELECTRICAL OUTLET AT +42" AND COLD WATER TAP IN RECESSED WALL BOX. SEE DETAIL 9/A002
152	25" WIDE SINGLE-BOWL SINK. W/ CLEAR KNEE SPACE BELOW. SEE DETAIL 6/A002; 5/A003 FOR KNEE CLEARANCE.
153	34" HIGH KITCHEN COUNTER TOP: GRANITE W/ 5" SPLASH - PROVIDE 30" WORK SPACE. SEE DETAIL 5/A003 FOR KNEE CLEARANCE.
154	PANTRY: W/3 ADJUSTABLE SHELVES, 30" MAX. DEPTH. WATER HEATER ABOVE. SEE 8 & 11/A772
155	UPPER CABINET W/LOWEST SHELF AT A MAXIMUM 52" AFF: SEE DETAILS 4/A772.
156	LOWER CABINETS: PROVIDE 48" MINIMUM CLEAR SPACE BETWEEN OPPOSING FACE OF BASE CABINETS, COUNTER TOPS AND WALLS. SEE 2 & 3/A772.
157	20" WIDE RECIRCULATING RANGE HOOD
UNIT BATHROOM NOTES:	
166	TUB: 30" X 60" FIBERGLASS TUB. TILE SURROUND, MIN. 70" HIGH ABOVE DRAIN W/CENTER LINE OF CONTROL 15" FROM OPEN SIDE OF TUB & SLIP RESISTANT FLOOR. SEE DETAIL 9/A772.
167	SHOWER CURTAIN ROD MOUNTED @ +/- 74" A.F.F. HIGH.
168	MIRROR: 42" HIGH, MOUNTED 38" A.F.F. (40" MAX A.F.F.): SEE DETAILS 14/A002 & 5/A772.
169	TOILET PAPER HOLDER - MOUNTED WITH CENTERLINE OF HOLDER 19" A.F.F.: SEE DETAIL 14/A002.
170	TOWEL BAR: 24" LONG AT +40" A.F.F. W/2 X 6 BACKING: SEE DETAIL 14/A002.
171	WALL-MOUNTED LAVATORY 34" MAX. HEIGHT TO TOP OF LAVATORY BHM. SEE DETAIL 5/A003 FOR KNEE CLEARANCE. SEE DETAIL 19/A002.
172	2 X 8 MIN. WALL GRAB BAR BACKING, MIN 40" LONG. SEE DETAIL 19/A002.
173	PROVIDE WALL BACKING FOR FUTURE GRAB BAR. SEE DETAIL 19/A002.
174	2 X 8 MINIMUM GRAB BAR BACKING: 30" WIDE MIN. AT BOTH ENDS OF TUB; FULL LENGTH OF WALL AT SHOWERS. SEE DETAIL 19/A002.
175	TOILET WITH MINIMUM CLEARANCE: SEE DETAILS 8 & 14/A002.
176	MARBLE THRESHOLD AT BATHROOM DOOR: SEE DETAIL 15/A760.
177	30" DEEP X 60" WIDE TILED SHOWER FLOOR & SURROUND. SEE DETAIL 15/A002.
GENERAL UNIT NOTES:	
186	TILE FLOOR OVER GYPCRETE AND ACoustimat II.
187	VINYL FLOOR OVER GYPCRETE AND ACoustimat II.
188	SINGLE CLOTHES ROD WITH WOOD SHELF MOUNTED AT 68" AFF
189	DOUBLE CLOTHES ROD WITH SINGLE WOOD SHELF MOUNTED AT 80" & 40" A.F.F.
190	ELECTRICAL PANEL
191	MECHANICAL SOFFIT @ 8'-0" A.F.F.
COMMON AREA RESTROOM NOTES:	
221	PROVIDE A CLEAR SPACE OF 60" IN DIAMETER, OTHER THAN THE DOOR TO THE SINGLE COMPARTMENT TOILET STALL, DOORS IN ANY POSITION CAN NOT ENCRoACH INTO THE SPACE MORE THAN 12". DOORS SHALL NOT SWING INTO THE ACCESSIBLE FLOOR SPACE OF ANY FIXTURE. SEE DETAIL 1/A003.
222	SOAP DISPENSER 9-4112, SURFACE MOUNTED.
223	MIRROR: 42" HIGH, MOUNTED 38" AFF. (40" MAX AFF): SEE DETAILS 9/A003 & 5/A772.
224	TOILET PAPER DISPENSER B-2888, SURFACE MOUNTED: SEE DETAIL 3/A003 FOR REQUIRED DIMENSIONS.
225	36" REAR WALL GRAB BAR MIN. 33"-36" AFF. PROVIDE 2X8 MIN BACKING. SEE DETAILS 1 THRU 3/A003.
226	48" SIDE WALL GRAB BAR MIN. 33"-36" AFF. PROVIDE 2X8 MIN BACKING. SEE DETAILS 1 & 3/A003.
227	TOWEL DISPENSER B-4262, SURFACE MOUNTED - 48" MAXIMUM A.F.F. TO TOWEL SLOT: SEE DETAIL 9/A003.
228	WASTE RECEPTACLE B-277, SURFACE MOUNTED.
229	WALL-HUNG CERAMIC SINK. SEE 5/A003 FOR REQUIRED CLEARANCES.
230	48" HIGH MINIMUM TILE WAINSCOT AT ALL WALLS.
231	SEAT COVER DISPENSER B-4221, SURFACE MOUNTED.
232	WATER CLOSET: SEE DETAIL 3/A003 FOR MINIMUM CLEARANCES AND ADDITIONAL INFORMATION.
233	SANITARY NAPKIN DISPOSAL B-270, SURFACE MOUNTED.
COMMON AREA NOTES:	
240	DRINKING FOUNTAIN: SEE DETAIL 7/A003
241	NOT USED
242	NOT USED
243	APPROVED UNITED STATES POSTAL SERVICE FRONT LOADING MAIL BOXES. VERIFY SIZE WITH MANUFACTURER. SEE DETAIL 13/A772
SITE NOTES:	
260	ACCESSIBLE EXTERIOR ROUTE: MINIMUM 48" WIDE CLEAR WITH MAXIMUM 5% SLOPE, MAXIMUM 2% CROSS SLOPE, AND MAXIMUM 1/4" CHANGE IN ELEVATION WITH MINIMUM 84" CLEAR HEIGHT. IF ACCESSIBLE ROUTE IS LESS THAN 60" WIDE, THEN A 60"x60" PASSING ZONE IS TO BE PROVIDED A MAXIMUM OF EVERY 200 FT. SEE LANDSCAPE AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
261	AT ACCESSIBLE ROUTES GREATER THAN 5% PROVIDE A RAMP WITH A MAXIMUM SLOPE OF 8.33% WITH A MAXIMUM CROSS SLOPE OF 2%. IF RISE IS GREATER THAN 6", PROVIDE HANDRAILS ON BOTH SIDES OF RAMP: SEE DETAIL 5/G103.
262	ACCESSIBLE PARKING SIGNAGE: SEE DETAIL 1, 2 & 3/G103.
263	CURB RAMP: MINIMUM 36" WIDE WITH MAXIMUM 8.33% SLOPE. PROVIDE WARNING TEXTURE ON RAMPS AND FLARES: SEE DETAILS 7 THRU 10/G103.
264	PROVIDE A 36" WIDE CONTINUOUS DETECTABLE WARNING WHERE THE PEDESTRIAN PATH CROSSES OR ADJONS A DRIVEWAY TO WARN OF POTENTIAL HAZARDS AS REQUIRED BY LOCAL JURISDICTION.
265	PROVIDE INTERNATIONAL ACCESS SYMBOL TO BE VISIBLY POSTED AT ALL MAIN ENTRIES. SEE DETAIL 10/A004.

FLOOR ASSEMBLY NOTES:	
20	UNIT FLOOR: 2X12 SOLID LUMBER W/ 1" OF GYPCRETE FLOOR TOPPING OVER ACOUSTICAL UNDERLAYMENT. SEE DETAIL 5/A730
21	INTERIOR CORRIDOR FLOOR: 2 X 8 FRAMING W/ 2-1/2" CONCRETE TOPPING OVER WATERPROOFING. SEE DETAIL 10/A730.
22	EXTERIOR CORRIDOR FLOOR: 2 X 8 FRAMING RIPPED TO SLOPE AT 2% WITH 2 1/2" MIN. CONCRETE TOPPING SLAB OVER WATERPROOFING. SEE DETAIL 8/A730.
24	NOT USED
25	INSTALL FIREBLOCKING AT MAXIMUM INTERVALS OF 20 FEET AND NO OPEN SPACE EXCEEDING 100 SQUARE FEET. FIRE BLOCKING TO COMPLY WITH IBC 717.2.1.
BUILDING NOTES:	
30	ONE-HOUR INTERIOR CORRIDOR - 8'-6" CEILING HEIGHT MINIMUM WITH STAINED CONCRETE FINISH AT FIRST FLOOR. OTHER FLOORS - 2-1/2" MIN. STAINED CONCRETE TOPPING. SEE SECTION 3/A351 AND DETAIL 10/A730.
31	ONE-HOUR EXTERIOR CORRIDOR - 8'-6" CEILING HEIGHT MINIMUM WITH 2-1/2" MINIMUM CONCRETE TOPPING AT SECOND, THIRD AND FOURTH FLOORS. STAINED CONCRETE AT FIRST FLOOR. FIBER CEMENT PANEL FINISH AT WALLS & CEILING. SEE SECTION 3/A351 AND DETAIL 8/A730.
32	TWO HOUR SHAFT. SEE DETAIL 17/A730.
33	42" HIGH GUARD RAIL.
34	TWO HOUR TRASH CHUTE SHAFT. SEE DETAIL 6/A411, 18/A730
35	EXTERIOR CORRIDOR TRANSITION TO INTERIOR CORRIDOR. SEE DETAIL 5/A740
36	NOT USED
37	NOT USED
38	SLOPE CONCRETE FLOORS TO DRAIN: 2% MAX. SLOPE TYP.
FLAT ROOF NOTES:	
55	"CLASS A" BUILT-UP ROOFING, W/ LIGHT COLOR REFLECTIVE SURFACE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS WITH 3/8" PER FOOT MINIMUM SLOPE.
56	CRICKETS WITH VALLEY SLOPED MINIMUM 1/4" PER FOOT.
57	HVAC MECHANICAL PLATFORM: SEE DETAILS 10 & 11/A750.
58	ROOF PARAPET: SEE PLAN FOR HEIGHT; SEE DETAILS 1 & 2/A750.
59	ROOF DRAIN AND OVERFLOW SCUPPER (RD/OS) 2" ABOVE ROOF DRAIN. SEE DETAIL 8/A750 & 13/A750.
60	WALKWAY PADS.
61	ELEVATOR SHAFT LOUVER VENT: 3.5% OF SHAFT AREA WITH A MINIMUM 6 S.F. LOUVER.
62	TRASH CHUTE VENT FAN.
64	NOT USED.
66	METAL SUNSCREEN TRELLIS. SEE A453
BUILDING SECTION NOTES:	
75	TYPE V - 1 HOUR CONSTRUCTION.
76	SLAB ON GRADE OVER VAPOR RETARDER.
ELEVATION, EXTERIOR FINISH AND TRIM NOTES:	
91	FIBER CEMENT BOARD WITH BATTENS AT 2'-0" O.C. PAINT TO MATCH: SW 6379
92	FIBER CEMENT BOARD WITH BATTENS AT 4'-0" O.C. PAINT TO MATCH: SW 6379
93	FIBER CEMENT LAP SIDING WITH 4" EXPOSURE. PAINT TO MATCH: SW 7734
94	FIBER CEMENT LAP SIDING WITH 7" EXPOSURE. PAINT TO MATCH: SW SW 7053
95	FIBER CEMENT TRIM. PAINT TO MATCH: SW 7012
96	2" THICK BLUE ROCK CAST STONE VENEER. BIG ROCK MANUFACTURING, INC.
97	PRECAST CONCRETE CAPS
98	METAL TRELLIS, RAFTERS, RAILINGS, METAL MESH, GATES, PAINT HIGH PERFORMANCE COATING. TRELLIS PAINT TO MATCH: SW 7012
99	VINYL WINDOWS - WHITE
100	ALUMINUM STOREFRONT AND AWNING WINDOWS FACTORY PAINT TO MATCH CLEAR ANODIZED
101	METAL AWNING, PAINT TO MATCH CLEAR ANODIZED
102	FIBERGLASS BAHAMA SHUTTER AND SUPPORTS, PAINT TO MATCH WHITE
103	HOLLOW METAL DOORS, PAINT TO MATCH WALL
104	FIBERGLASS BRACKETS PAINT TO MATCH SOFFIT
105	STANDING SEAM METAL ROOF, HPM SHUR-LOCK 22GA. ALUMINUM, COUNTRY RED, 12" PANELS
106	THRU-COLOR PORCELAIN TILE, STONEPEAK COTTAGE COLLECTION. COLOR: MOUNTAIN RETREAT, 6"x24" HORIZONTAL. LAYOUT
107	FIBER CEMENT BOARD
ENLARGED PLAN NOTES:	
121	24" DIAMETER TRASH CHUTE & DISCHARGE WITH 90 MINUTE SELF-CLOSING DOOR: SEE DETAIL 18/A730.
122	TRASH CHUTE EXHAUST FLUE: SEE DETAILS 6 & 7/A750.
123	ELEVATOR RELIEF VENT. 3 S.F. MIN. FREE AIR VENT W/ SS INSECT SCREEN.
124	DOOR ASSEMBLY WITH MAGNETIC HOLD OPEN
125	FLOOR DRAIN, 2-STAGE DRAIN ASSEMBLY: SEE DETAIL 1/A740.
126	ELEVATOR EQUIPMENT ROOM. FIRE RATING SAME AS ELEVATOR SHAFT
127	3500 LB. ELEVATOR VERIFY DIMENSION WITH MANUFACTURER: SEE DETAILS 15 THRU 18/A004 FOR ACCESSIBILITY REQUIREMENTS
128	PROVIDE ADDRESS SIGNAGE WITH MINIMUM 10" NUMBERS WITH COLOR CONTRASTING TO BUILDING COLOR.
PUBLIC STAIR NOTES:	
132	HANDRAIL MOUNTED 36" ABOVE TREAD EXTEND HANDRAIL 12" BEYOND STAIR AT TOP OF RUN AND 23" AT BOTTOM OF RUN, 42" MIN. GUARDRAIL: SEE DETAIL 4/A710.
133	INTERMEDIATE HANDRAIL MOUNTED 36" ABOVE TREAD AND 42" MINIMUM HIGH GUARDRAIL: SEE DETAIL 4/A710.
134	GUARDRAIL 42" MIN ABOVE FINISH FLOOR: SEE DETAIL 2 & 7/A710.
135	PRECAST CONCRETE TREAD WITH CLOSED RISER, MIN 11" TREAD AND MAXIMUM 7" RISER. STAIR TO BE MINIMUM 48" WIDE WITH MINIMUM 60" HEAD CLEARANCE: SEE DETAILS 5, 6 & 7/A710.
136	PRECAST LANDING OVER STEEL FRAME
137	EXTEND HANDRAIL AS HEADROOM BARRIER
138	WOOD FLOOR LANDING WITH CONCRETE TOPPING OVER WATERPROOFING SEE DETAILS 1 & 2/A710.
139	CLASS 1 STANDPIPE, MAINTAIN MIN. 44" CLEAR PATH AT LANDING. SEE DETAIL 10/A003.
140	NOT USED
141	TACTILE STAIRWELL SIGN. SEE DETAIL 1/A004
142	TACTILE EXIT SIGNAGE. SEE DETAIL 3/A004
143	STAIRWELL SIGN FOR FIRE PERSONNEL. DETAIL 12/A710. CONFIRM REQUIRED INFORMATION WITH LOCAL FIRE DEPARTMENT.
144	STAIRWAY SCREEN: SEE DETAIL 15/A710.

GENERAL NOTES



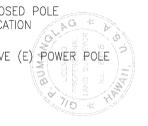
KEYNOTES #

- SITE NOTES:**
- 260 ACCESSIBLE EXTERIOR ROUTE: MINIMUM 48" WIDE CLEAR WITH MAXIMUM 5% SLOPE, MAXIMUM 2% CROSS SLOPE, AND MAXIMUM 1/2" CHANGE IN ELEVATION WITH MINIMUM 84" CLEAR HEIGHT. IF ACCESSIBLE ROUTE IS LESS THAN 60" WIDE, THEN A 60"x60" PASSING ZONE IS TO BE PROVIDED A MAXIMUM OF EVERY 200 FT. SEE LANDSCAPE AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 261 AT ACCESSIBLE ROUTES GREATER THAN 5% PROVIDE A RAMP WITH A MAXIMUM SLOPE OF 8.33% WITH A MAXIMUM CROSS SLOPE OF 2%. IF RISE IS GREATER THAN 6", PROVIDE HANDRAILS ON BOTH SIDES OF RAMP; SEE DETAIL 5/G103.
 - 262 ACCESSIBLE PARKING SIGNAGE: SEE DETAIL 1, 2 & 3/G103.
 - 263 CURB RAMP: MINIMUM 36" WIDE WITH MAXIMUM 8.33% SLOPE. PROVIDE WARNING TEXTURE ON RAMPS AND FLARES: SEE DETAILS 7 THRU 10/G103.
 - 264 PROVIDE A 36" WIDE CONTINUOUS DETECTABLE WARNING WHERE THE PEDESTRIAN PATH CROSSES OR ADJOINS A DRIVEWAY TO WARN OF POTENTIAL HAZARDS AS REQUIRED BY LOCAL JURISDICTION.
 - 265 PROVIDE INTERNATIONAL ACCESS SYMBOL TO BE VISIBLY POSTED AT ALL MAIN ENTRIES. SEE DETAIL 10/A004.

GENERAL SITE NOTES

1. GRADE AND SITE SHALL BE DEVELOPED SO THAT ACCESSIBLE ROUTES OF TRAVEL ARE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING AND ACCESSIBLE PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE ENTRANCE THEY SERVE.
2. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" WHEN CHANGES IN LEVEL DO OCCUR. THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL. CHANGES IN LEVEL NOT EXCEEDING 1/2" MAY BE VERTICAL CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE MADE BY MEANS OF A RAMP.
3. ABRUPT CHANGES IN LEVEL EXCEEDING 4" IN VERTICAL DIMENSION (E.G. CHANGED IN LEVEL AT PLANTERS OR FOUNTAINS LOCATED IN OR ADJACENT TO PEDESTRIAN WAYS) SHALL BE IDENTIFIED BY CURBS OR OTHER APPROVED BARRIERS PROJECTING AT LEAST 6" IN HEIGHT ABOVE THE WALK TO WARN THE BLIND OF POTENTIAL DROP-OFFS.
4. WHERE FREE STANDING SIGNS ARE USED, THE BOTTOM OF THE SIGN SHALL BE 80" ABOVE THE FINISHED FLOOR OR GROUND LEVEL, WITH THE EDGES ROUNDED OR EASED AND THE CORNERS SHALL HAVE A MINIMUM RADIUS OF 0.125".
5. REFER TO SHEET G103 FOR ADDITIONAL ACCESSIBILITY NOTES & DETAILS
6. NOT USED
7. PROVIDE A 24" WIDE LEVEL AREA PAST THE STRIKE SIDE OF EXTERIOR DOORS, AND PROVIDE A 12" WIDE LEVEL AREA ON THE PUSH SIDE OF THE DOOR WITH BOTH A LATCH & CLOSER. SEE DETAIL 1/A002.
8. ON ALL ACCESSIBLE PATHS, OBJECTS MOUNTED MORE THAN 27" AND LESS THAN 80" AFF CAN NOT PROTRUDE MORE THAN 4". IF AN OBJECT IS MOUNTED LESS THAN 27" IT CAN PROTRUDE ANY AMOUNT, AS LONG AS, IT DOES NOT REDUCE THE MINIMUM REQUIRED WIDTH OF THE ACCESSIBLE PATH.
9. FIRE DEPARTMENT HOSE CONNECTIONS SHALL BE LOCATED WITHIN 20 FEET OF A FIRE APPARATUS ACCESS ROAD, NOT LESS THAN 18 INCHES AND NOT MORE THAN 4 FEET ABOVE GRADE, OR AS APPROVED BY THE AHJ. APPROPRIATE IDENTIFICATION SIGNS SHALL BE PROVIDED AS REQUIRED BY THE AHJ, CHAPTER 12-45.2-52.

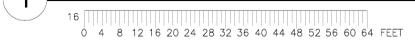
TOPOGRAPHIC
 LOT 13063-E
 LAND COURT AP
 To: Map Key: (At BARBERS POINT.



Gil P. DUARQUES
 Licensed Professional Land Surveyor
 License No. 10000
 State of Hawaii

YORKTOWN STREET

1 Site Plan



Site Plan

Hale Uhiwai Nalu Addition

91-078 Yorktown Street
 Kapolei, HI 96707
 Developed by:
 CLODBREAK HAWAII, LLC
 414 South Mokuapepe Avenue
 Kapolei, HI 96707
 Tel: 810.288.0100



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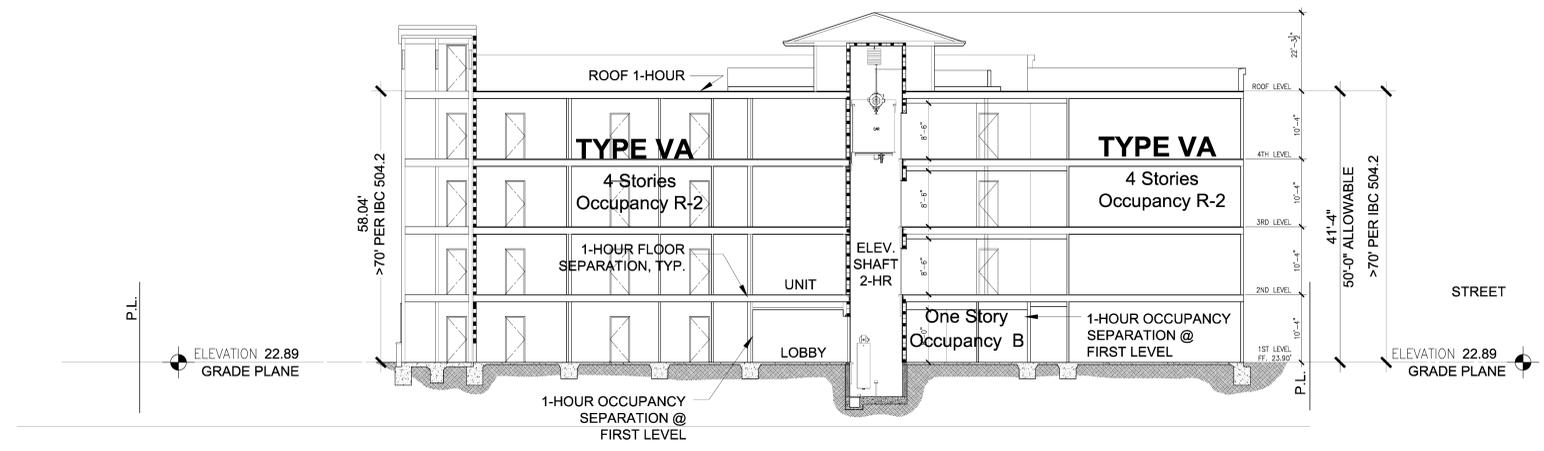
Job No.: 2011421
 Date: 04.20.12
 Scale: As Noted

Sheet No.:

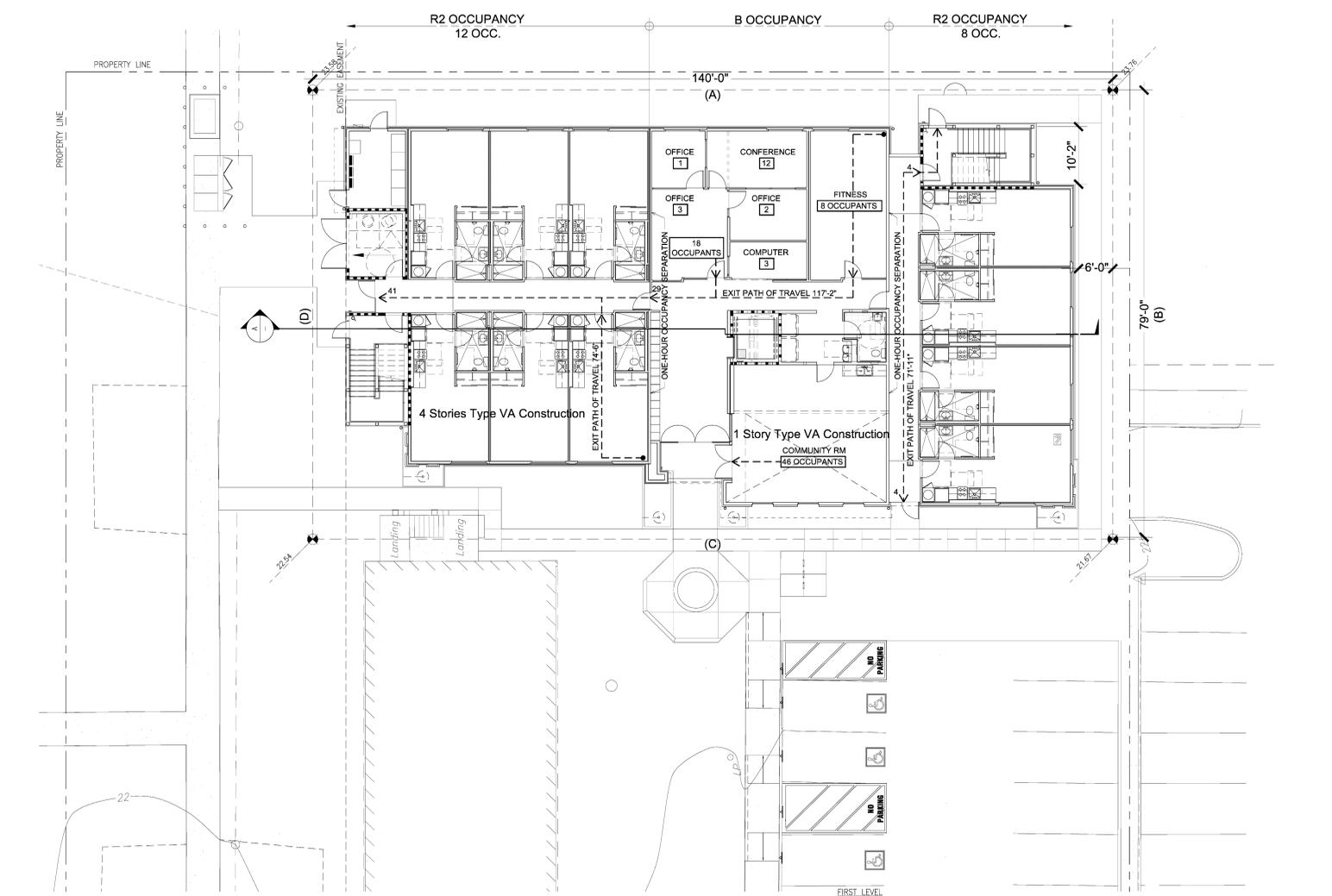
G101

BUILDING CODE ANALYSIS

BUILDING CODE	2006 INTERNATIONAL BUILDING CODE (IBC)		
ACCESSIBILITY CODE	2010 FEDERAL ADA STANDARDS		
OCCUPANCY GROUP	RESIDENTIAL - R-2	IBC 310	
CONSTRUCTION TYPE	VA		
BUILDING SPRINKLERED	YES - FULL 13 (NFPA PAMPHLET 13)		
AVERAGE GRADE PLANE	SIDE ELEV.	DIVIDED BY SIDE LENGTH (ELEV.) (LENGTH)	
	A 23.58	23.76 2.00 140.00 3313.80	
	B 23.76	21.67 2.00 79.00 1794.49	
	C 21.67	22.54 2.00 140.00 3094.70	
	D 22.54	23.58 2.00 79.00 1821.74	
	SLUB-TOTAL		10024.73
	PERIMETER		438.00
	AVERAGE GRADE PLANE		22.89
BUILDING HEIGHT	BASIC HEIGHT ALLOWED BY IBC - 50'-0"		
	INCREASED HEIGHT LIMIT WITH SPRINKLERS - 70'-0"		
	ACTUAL HEIGHT - 41'-4"		
NUMBER OF STORIES	BASIC NUMBER OF STORIES PER TABLE 503- 3 STORIES		
	INCREASED NUMBER OF STORIES W/SPRINKLERS (504.2)- 4 STORIES		
	ACTUAL HEIGHT- 4 STORIES		
ALLOWABLE AREA	12,000 SF		
BASIC AREA A ₁ PER TABLE 503	12,000 SF		
FRONTAGE INCREASE PER 506.2	NOT USED.		
SPRINKLER SYSTEM INCREASE PER 506.3	I _s = 2 FOR TYPE VA		
ALLOWABLE AREA PER STORY PER 506.1	A ₁ = 12,000 + [12,000 x 0] + [12,000 x 2] A ₂ = 36,000 SF		
MULTI-STORY INCREASE PER 506.4	ALLOWABLE AREA = 36,000 SF x 2 = 72,000 SF		
ACTUAL BUILDING AREA	28,121 SF		



Code Analysis - Section A
3/32 0 4 8 12 16 20 24 28 32 FEET



FIRST LEVEL

RESIDENTIAL AREA	= 4015 SF
RESIDENTIAL OCCUPANT LOAD	= AREA / OCCUPANT LOAD FACTOR = 4015 SF / 200 SF/OCC = 20 OCC
OFFICE OCCUPANT LOAD	= AREA / OCCUPANT LOAD FACTOR = 770 SF / 100SF/OCC & 15 SF/OCC AT CONFERENCE = 18 OCC
COMPUTER OCCUPANT LOAD	= 3 OCC
COMMUNITY RM OCC. LOAD	= AREA / OCCUPANT LOAD FACTOR = 700 SF / 15 SF/OCC = 46 OCC
FITNESS OCCUPANT LOAD	= AREA / OCCUPANT LOAD FACTOR = 397 SF / 50SF/OCC = 8 OCC
TOTAL OCCUPANT LOAD	= 91 OCC

Code Analysis - Level 1
3/32 0 4 8 12 16 20 24 28 32 FEET

FIRE RESISTIVE REQUIREMENTS

BUILDING ELEMENT	TABLE 601	TYPE VA RESIDENTIAL
STRUCTURAL FRAME		1 HOUR
EXTERIOR BEARING WALLS		1 HOUR
INTERIOR BEARING WALLS		1 HOUR
EXTERIOR NONBEARING WALLS		1 HOUR
FIRE SEPARATION DISTANCE < 30'		0 HOURS
FIRE SEPARATION DISTANCE 30' OR GREATER		0 HOURS
INTERIOR NONBEARING WALLS (1)		0 HOURS
FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)		1 HOUR
ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)		1 HOUR
FIRE BARRIER WALLS EXTERIOR STAIR TO UNIT & CORRIDOR		2 HOUR
ELEVATOR SHAFT WALLS		2 HOUR
TRASH CHUTE SHAFT WALL & TERMINAL ROOM WALLS		2 HOUR
CHUTE ACCESS ROOM WALL		1 HOUR
OCCUPANCY SEPARATION WALLS AT FIRST FLOOR		1 HOUR

ACCESSIBLE UNITS WITH MOBILITY FEATURES	5% OF TOTAL PER 2010 FEDERAL ADA = 2.5 ≈ 3.0 UNITS
ACCESSIBLE UNITS WITH COMMUNICATION FEATURES	2% OF TOTAL PER 2010 FEDERAL ADA = 1.0 UNIT
UNIT TYPE A	2% OF TOTAL PER IBC 1107.6.2.1.1 = 1 UNIT REQUIRED 3 ACCESSIBLE UNITS COMPLY AS UNIT A
UNIT TYPE B	BALANCE OF UNITS PER IBC 1107.6.2.1.2

Printed / Revised
07/13/12 - PG Submittal
08/27/12 - PG Resubmittal

Code Analysis Exit Analysis

Hale Uhiwai Nalu Addition
91-1078 Yorktown Street
Kapolei, HI 96707

Developed by:
CLODBREAK HAWAII, LLC
414 South Mokuapua Avenue
Honolulu, HI 96813
Tel: 810.588.0100



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G201

EXIT ANALYSIS

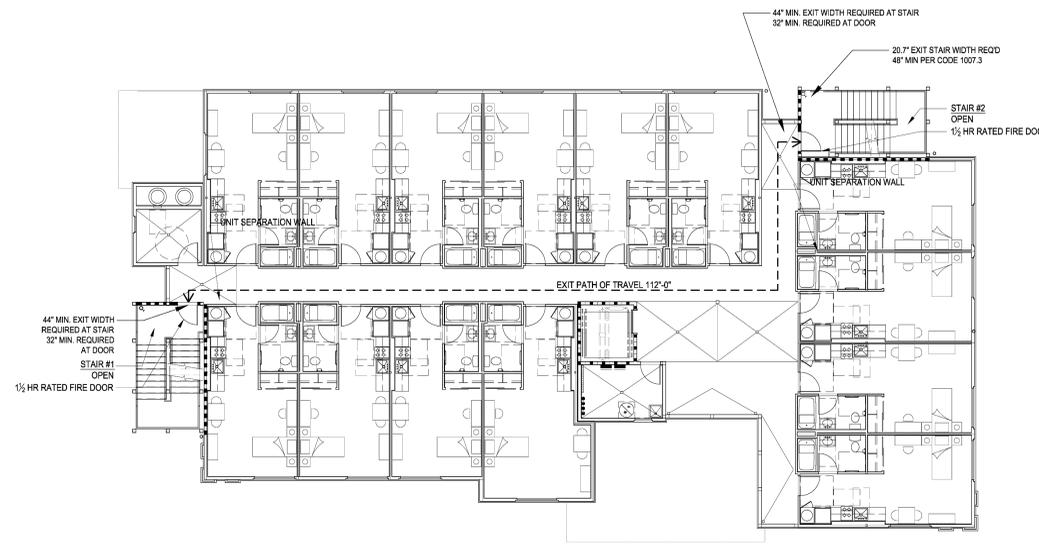
EXIT TRAVEL DISTANCE (TABLE 1016.1)	250' MAXIMUM TRAVEL DISTANCE FOR ASSEMBLY, AND RESIDENTIAL OCCUPANCIES IN SPRINKLERED BUILDING	
FLOOR AREA PER OCCUPANT (TABLE 1004.1.1)	UNCONCENTRATED ASSEMBLY BUSINESS RESIDENTIAL	15 SF NET 100 SF GROSS 200 SF GROSS
EGRESS WIDTH PER OCCUPANT (TABLE 1005.1)	MINIMUM STAIR WIDTH IN BUILDINGS IS 0.3' PER OCCUPANT OTHER EGRESS COMPONENTS IN BUILDINGS REQUIRE 0.2' PER OCCUPANT. SEE PLAN AT LEFT FOR OCCUPANT LOAD AND EGRESS WIDTH CALCULATIONS.	

EGRESS ANALYSIS

OCCUPANCY CALCULATIONS AT 1ST FLOOR MIXED OCCUPANCY RESIDENTIAL SEE PLAN FOR CALCULATIONS BY AREA - THIS TABLE SHOWS FORMULAS ONLY		
TOTAL OCCUPANCY	AREA / SF PER OCCUPANT (TABLE 1004.1.1) = NO. OF OCCUPANTS	
MIN. WIDTH REQUIRED (STAIRWAYS PER 1005.1)	[NO. OF OCCUPANTS / NO. OF EXITS] x .3 = WIDTH REQUIRED	
MIN. WIDTH AT CORRIDOR REQUIRED (TABLE 1005.1)	NO. OF OCCUPANTS x .2 = WIDTH REQUIRED	

OCCUPANCY CALCULATIONS AT FOURTH LEVEL OF BUILDING. THIS LEVEL REPRESENTS THE LARGEST AMOUNT OF OCCUPIED SPACE.		
FOURTH LEVEL OCCUPANCY	RESIDENTIAL AREA / 200 SF/OCC = NO. OF OCCUPANTS 4,728 SF / 200 SF/OCC = 24 OCC DECK AREA / 15 SF/OCC = NO. OF OCCUPANTS 1,057 SF / 15 SF/OCC = 71 OCC TOTAL OCCUPANTS = 95 OCC	
MIN. EXIT WIDTH REQUIRED	[NO. OF OCCUPANTS / NO. OF EXITS] x .2 = WIDTH REQUIRED [95 / 2] x .2 = 9.5" WIDTH REQUIRED = 9.5" AND NOT LESS THAN 32" CLEAR (1008.1.1)	
MIN. STAIR WIDTH REQUIRED	[NO. OF OCCUPANTS / NO. OF STAIRS] x .3 = WIDTH REQUIRED [95 / 2] x .3 = 14.25" WIDTH REQUIRED = 14.25" AND NOT LESS THAN 44" CLEAR (1009.1)	

EXIT DOOR WIDTHS	MIN. REQUIRED	PROVIDED
STAIRS 1 & 2	32" CLEAR	36"
STAIR WIDTHS	MIN. REQUIRED	PROVIDED
STAIRS 1 & 2	44" CLEAR	48" (42" BETWEEN HANDRAILS)

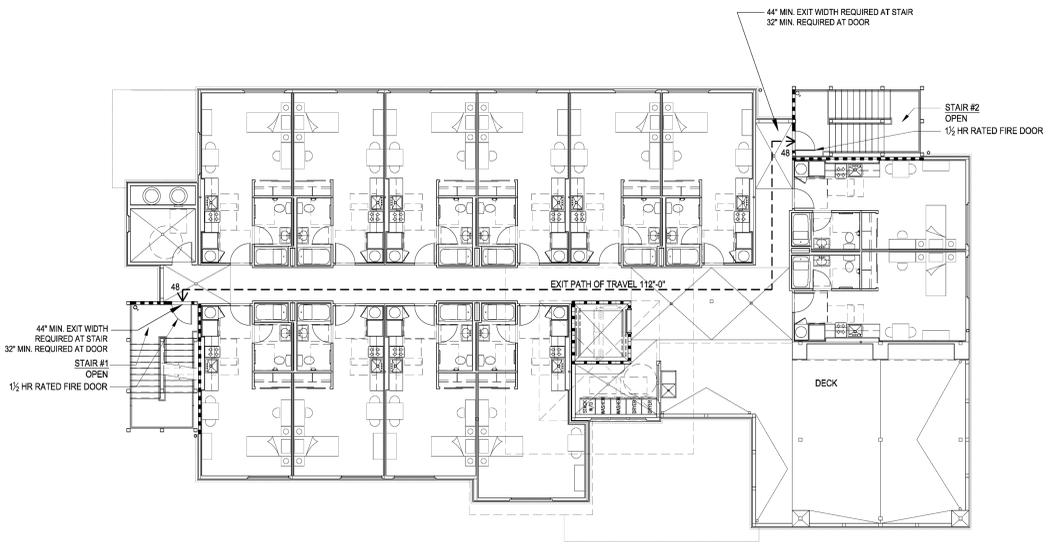
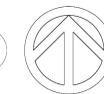


THIRD LEVEL
 RESIDENTIAL AREA = 5,364 SF
 DECK AREA = 124 SF
 RESIDENTIAL OCCUPANT LOAD = AREA / OCCUPANT LOAD FACTOR = 5,364 SF / 200 SF/OCC = 27 OCC
 DECK OCCUPANT LOAD = AREA / OCCUPANT LOAD FACTOR = 124 SF / 15 SF/OCC = 9 OCC
 TOTAL OCCUPANT LOAD = 36 OCC

Code Analysis - Third Level



3

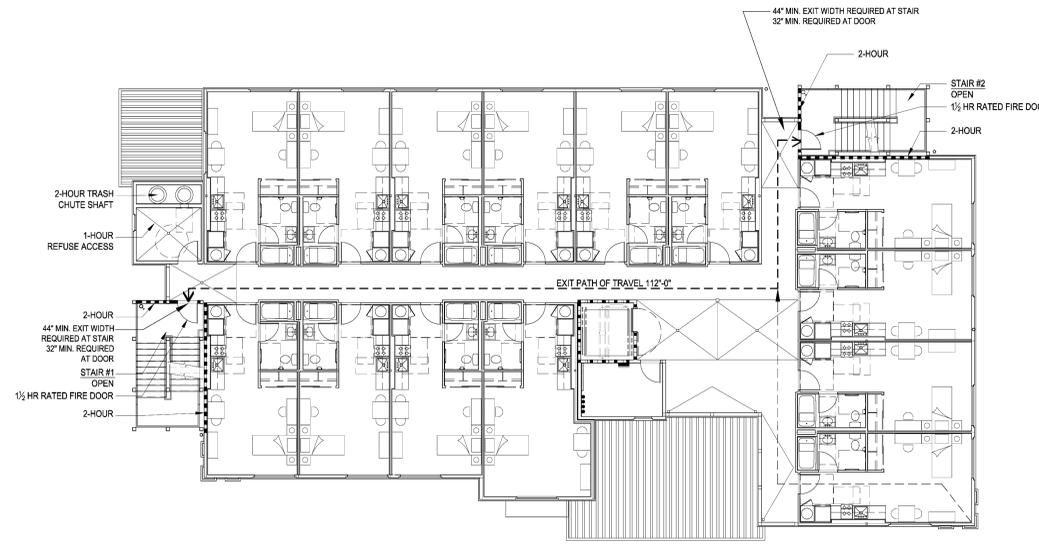


FOURTH LEVEL
 RESIDENTIAL AREA = 4,728 SF
 DECK AREA = 1,057 SF
 RESIDENTIAL OCCUPANT LOAD = AREA / OCCUPANT LOAD FACTOR = 4,728 SF / 200 SF/OCC = 24 OCC
 DECK OCCUPANT LOAD = AREA / OCCUPANT LOAD FACTOR = 1,057 SF / 15 SF/OCC = 71 OCC
 TOTAL OCCUPANT LOAD = 95 OCC

Code Analysis - Fourth Level



4

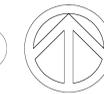


SECOND LEVEL
 RESIDENTIAL AREA = 5,364 SF
 DECK AREA = 124 SF
 RESIDENTIAL OCCUPANT LOAD = AREA / OCCUPANT LOAD FACTOR = 5,364 SF / 200 SF/OCC = 27 OCC
 DECK OCCUPANT LOAD = AREA / OCCUPANT LOAD FACTOR = 124 SF / 15 SF/OCC = 9 OCC
 TOTAL OCCUPANT LOAD = 36 OCC

Code Analysis - Second Level



2



Project / Revised: 07/13/12
 PC Submittal: 08/27/12
 PC Resubmittal: 09/14/12
 Construction Documents: 09/19/12
 Bulletin 2
 PC Submittal

Code Analysis
Exit Analysis

Hale Uhiwai Nalu Addition
 91-1078 Yorktown Street
 Kapolei, HI 96707

Developed by:
 CLOUDBREAK HAWAII, LLC
 414 South Mendenhall Avenue
 Honolulu, HI 96813
 TEL: 810.258.0100



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Job No.: 2011421
 Date:
 Scale:
 Sheet No.:

G202

KEYNOTES #

FLOOR ASSEMBLY NOTES:

- 20 UNIT FLOOR: 2X12 SOLID LUMBER W/ 1" OF GYPCRETE FLOOR TOPPING OVER ACOUSTICAL UNDERLAYMENT. SEE DETAIL 5/A730
- 21 INTERIOR CORRIDOR FLOOR: 2 X 8 FRAMING W/ 2-1/2" CONCRETE TOPPING OVER WATERPROOFING. SEE DETAIL 10/A730.
- 22 EXTERIOR CORRIDOR FLOOR: 2 X 8 FRAMING RIPPED TO SLOPE AT 2% WITH 2 1/2" MIN. CONCRETE TOPPING SLAB OVER WATERPROOFING. SEE DETAIL 8/A730.
- 24 NOT USED
- 25 INSTALL FIREBLOCKING AT MAXIMUM INTERVALS OF 20 FEET AND NO OPEN SPACE EXCEEDING 100 SQUARE FEET. FIRE BLOCKING TO COMPLY WITH IBC 717.2.1.

BUILDING NOTES:

- 30 ONE-HOUR INTERIOR CORRIDOR - 8'-6" CEILING HEIGHT MINIMUM WITH STAINED CONCRETE FINISH AT FIRST FLOOR. OTHER FLOORS - 2-1/2" MIN. STAINED CONCRETE TOPPING. SEE SECTION 3/A351 AND DETAIL 10/A730.
- 31 ONE-HOUR EXTERIOR CORRIDOR - 8'-6" CEILING HEIGHT MINIMUM WITH 2-1/2" MINIMUM CONCRETE TOPPING AT SECOND, THIRD AND FOURTH FLOORS. STAINED CONCRETE AT FIRST FLOOR. FIBER CEMENT PANEL FINISH AT WALLS & CEILING. SEE SECTION 3/A351 AND DETAIL 8/A730.
- 32 TWO HOUR SHAFT. SEE DETAIL 17/A730.
- 33 42" HIGH GUARD RAIL.
- 34 TWO HOUR TRASH CHUTE SHAFT. SEE DETAIL 6/A411, 18/A730
- 35 EXTERIOR CORRIDOR TRANSITION TO INTERIOR CORRIDOR. SEE DETAIL 5/A740
- 36 NOT USED
- 37 NOT USED
- 38 SLOPE CONCRETE FLOORS TO DRAIN: 2% MAX. SLOPE TYP.

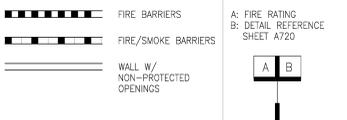
COMMON AREA NOTES:

- 240 DRINKING FOUNTAIN: SEE DETAIL 7/A003
- 241 NOT USED

GENERAL NOTES

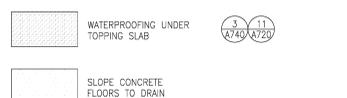
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- 2. PROVIDE ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A10BC WITH A MAXIMUM TRAVEL DISTANCE OF 75' TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 16/A720
- 3. FOR ACCESSIBLE/ENTRY DETAILS, SEE DETAILS 1-4/A002
- 4. FOR FLASHING & PENETRATION DETAILS, SEE SHEETS A742, A743, & A798.
- 5. FOR WALL, FLOOR AND ROOF ASSEMBLY NOTES, SEE DETAIL 1/A720.
- 6. FOR INTERIOR NON-BEARING WALLS, SEE DETAIL 12/A720.
- 7. DOORS CARRY THE SAME DESIGNATION AS THE ROOM SERVED UNLESS OTHERWISE NOTED.

WALL TYPES



- 1 2** EXTERIOR WALL: 2 X 6 STUD WALL
- 1 3** INTERIOR UNIT WALLS: 2X4 STUD WALL TYPICAL UNLESS OTHERWISE NOTED
- 1 4** CORRIDOR WALL AT UNIT ENTRY DOOR: 2 X 4 STUD WALL
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- 2 7** UNIT SEPARATION WALL AT STAIRS
- 1 8** PLUMBING WALL: 2 X 6 STUD WALL

WALKING SURFACE LEGEND



*NOTE: WALKING SURFACE CANNOT EXCEED 2% SLOPE

FIRE LEGEND

- ES** EXIT SIGN
- FE** FIRE EXTINGUISHER, SEE DETAIL 16/A720
- KB** KEY BOX / KNOX BOX
- OS** CLASS 1 STANDPIPE, SEE DETAIL 10/A003

Printed / Revised
 07/13/12 / PC Submittal
 08/27/12 / PC Resubmittal
 09/14/12 / Construction Documents

First Floor Plan

Hale Uhiwai Nalu Addition

91-1078 Yorktown Street
 Kapolei, HI 96707

Developed by:
 CLOUDBREAK HAWAII, LLC
 414 South Mokuapepe Avenue
 Honolulu, HI 96813
 TEL: 810.688.8100

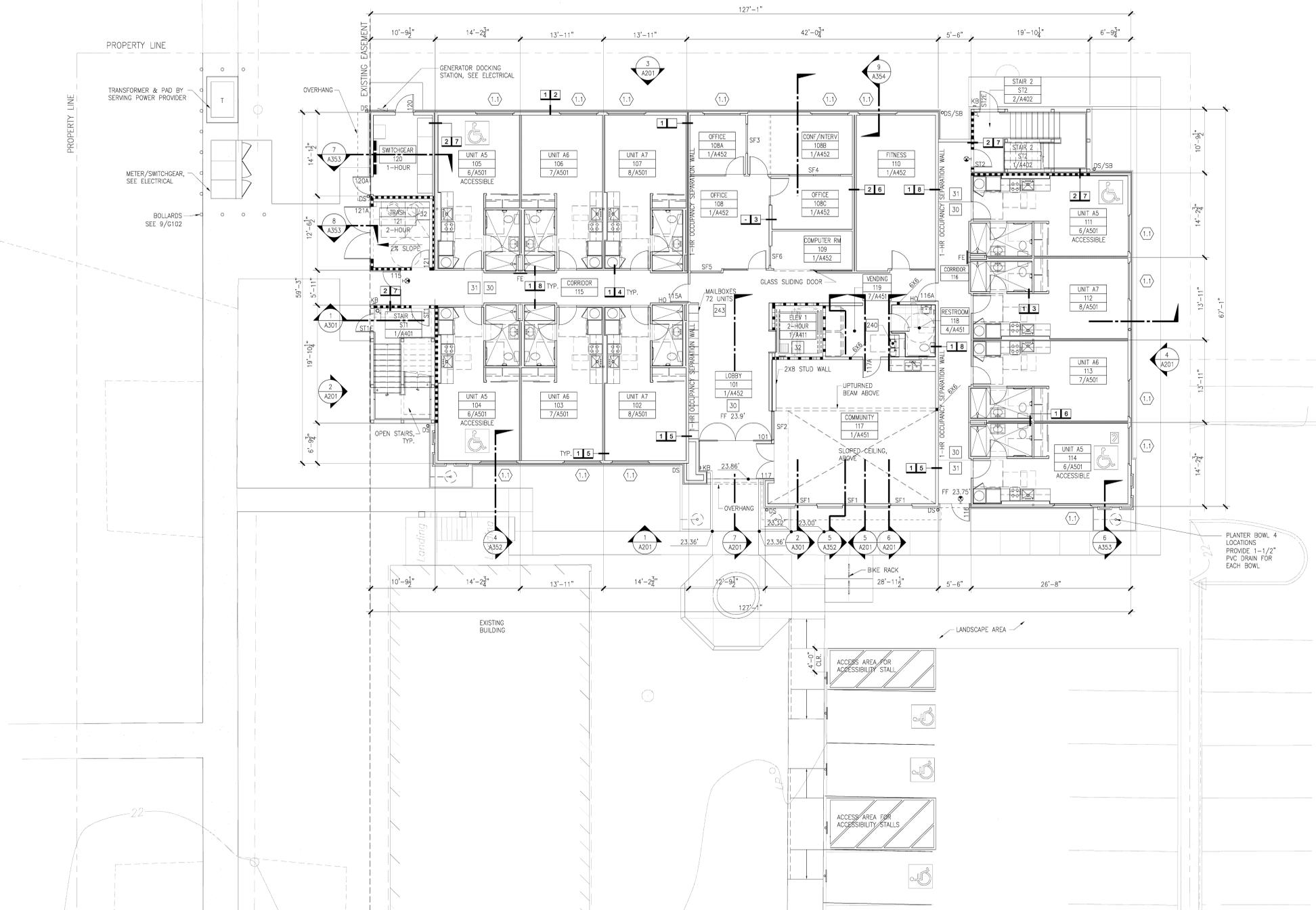


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 Date: 06.28.12
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Sheet No.:

A101



1 First Level Plan
 1/8" = 1'-0" 0 4 8 12 16 20 24 28 32 FEET



KEYNOTES #

FLOOR ASSEMBLY NOTES:

- 20 UNIT FLOOR: 2X12 SOLID LUMBER W/ 1" OF GYPCRETE FLOOR TOPPING OVER ACOUSTICAL UNDERLAYMENT. SEE DETAIL 5/A730
- 21 INTERIOR CORRIDOR FLOOR: 2 X 8 FRAMING W/ 2-1/2" CONCRETE TOPPING OVER WATERPROOFING. SEE DETAIL 10/A730.
- 22 EXTERIOR CORRIDOR FLOOR: 2 X 8 FRAMING RIPPED TO SLOPE AT 2% WITH 2 1/2" MIN. CONCRETE TOPPING SLAB OVER WATERPROOFING, SEE DETAIL 8/A730.
- 24 NOT USED
- 25 INSTALL FIREBLOCKING AT MAXIMUM INTERVALS OF 20 FEET AND NO OPEN SPACE EXCEEDING 100 SQUARE FEET. FIRE BLOCKING TO COMPLY WITH IBC 717.2.1.

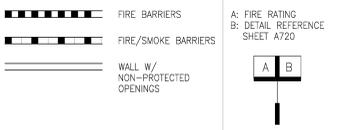
BUILDING NOTES:

- 30 ONE-HOUR INTERIOR CORRIDOR - 8'-6" CEILING HEIGHT MINIMUM WITH STAINED CONCRETE FINISH AT FIRST FLOOR. OTHER FLOORS - 2-1/2" MIN. STAINED CONCRETE TOPPING. SEE SECTION 3/A351 AND DETAIL 10/A730.
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- 32 TWO HOUR SHAFT. SEE DETAIL 17/A730.
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- 38 SLOPE CONCRETE FLOORS TO DRAIN; 2% MAX. SLOPE TYP.

GENERAL NOTES

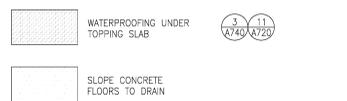
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- 3. FOR ACCESSIBLE/ENTRY DETAILS, SEE DETAILS 1-4/A002
- 4. FOR FLASHING & PENETRATION DETAILS, SEE SHEETS A742, A743, & A758.
- 5. FOR WALL, FLOOR AND ROOF ASSEMBLY NOTES, SEE DETAIL 1/A720.
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- 7. DOORS CARRY THE SAME DESIGNATION AS THE ROOM SERVED UNLESS OTHERWISE NOTED.

WALL TYPES



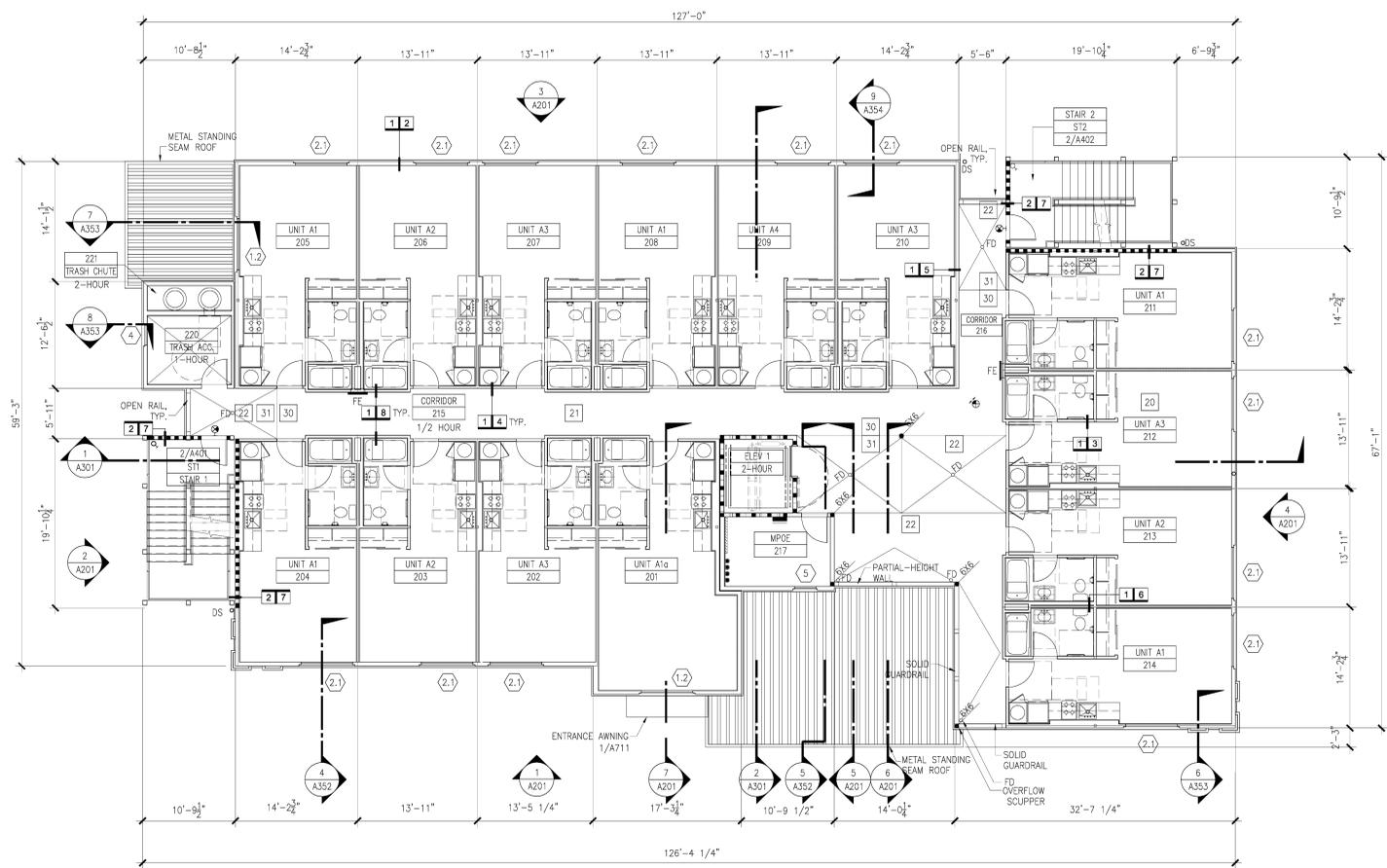
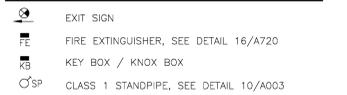
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- 1 8** PLUMBING WALL: 2 X 6 STUD WALL

WALKING SURFACE LEGEND



*NOTE: WALKING SURFACE CANNOT EXCEED 2% SLOPE

FIRE LEGEND



1 Second Floor Plan
1/8" = 1'-0" SCALE
0 4 8 12 16 20 24 28 32 FEET

Printed / Reviewed
 07/13/12 / 08/27/12 / 09/14/12
 PG Submittal / PG Resubmittal / Construction Documents

Second Floor Plan

Hale Uhiwai Nalu Addition
 91-107B Yorktown Street
 Kapolei, HI 96707
 Developed by:
 CLOUDBREAK HAWAII, LLC
 414 South Mokuapepe Avenue
 Kapolei, HI 96707
 TEL: 810.688.8100

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 INCORPORATED
 444 S Flower Street - Suite 1220
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Job No.: 2011421
 Date: 04.20.12
 Scale: As Noted

Sheet No.:
A102

KEYNOTES #

FLOOR ASSEMBLY NOTES:

- 20 UNIT FLOOR: 2X12 SOLID LUMBER W/ 1" OF GYPCRETE FLOOR TOPPING OVER ACOUSTICAL UNDERLAYMENT. SEE DETAIL 5/A730
- 21 INTERIOR CORRIDOR FLOOR: 2 X 8 FRAMING W/ 2-1/2" CONCRETE TOPPING OVER WATERPROOFING. SEE DETAIL 10/A730.
- 22 EXTERIOR CORRIDOR FLOOR: 2 X 8 FRAMING RIPPED TO SLOPE AT 2% WITH 2 1/2" MIN. CONCRETE TOPPING SLAB OVER WATERPROOFING, SEE DETAIL 8/A730.
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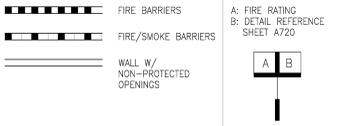
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- 37 NOT USED
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GENERAL NOTES

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- 6. FOR INTERIOR NON-BEARING WALLS, SEE DETAIL 12/A720.
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WALL TYPES



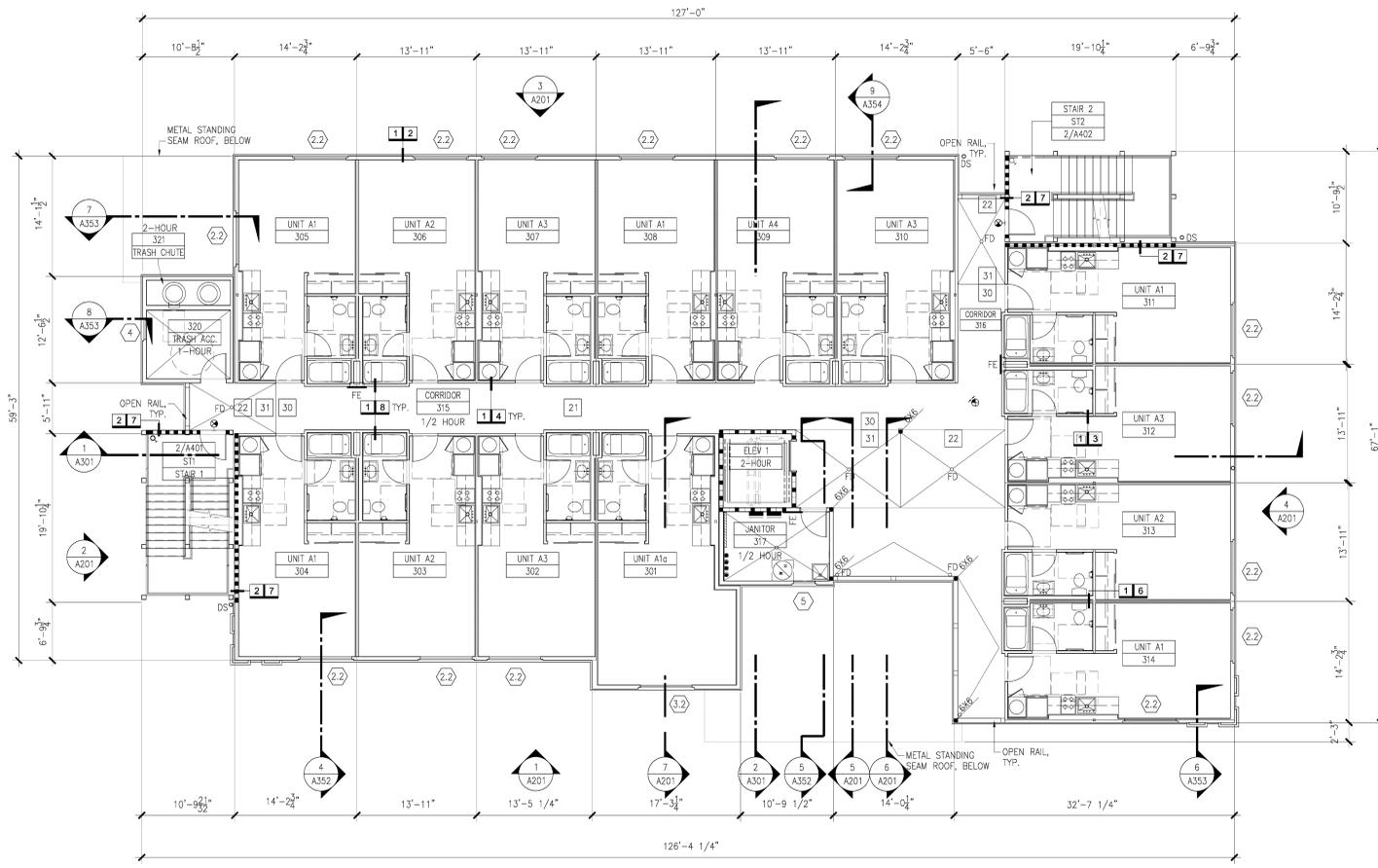
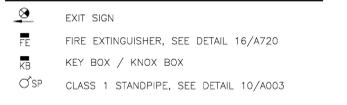
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WALKING SURFACE LEGEND



*NOTE: WALKING SURFACE CANNOT EXCEED 2% SLOPE

FIRE LEGEND



1 Third Level Plan
 1/8" = 1'-0" 0 4 8 12 16 20 24 28 32 FEET

Printed / Revised
 07/13/12 / PG Submittal
 08/27/12 / PG Resubmittal
 09/14/12 / Construction Documents

Third Floor Plan

Hale Uhiwai Nalu Addition

91-1078 Yorktown Street
 Kapolei, HI 96707

Developed by:
 CLOUDBREAK HAWAII, LLC
 414 South Mokuapua Avenue
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 TEL: 810.988.8100



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Job No.: 2011421
 Date: 04.20.12
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Sheet No.:

A103

KEYNOTES #

FLOOR ASSEMBLY NOTES:

- 20 UNIT FLOOR: 2X12 SOLID LUMBER W/ 1" OF GYPCRETE FLOOR TOPPING OVER ACOUSTICAL UNDERLAYMENT. SEE DETAIL 5/A730
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BUILDING NOTES:

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- 34 TWO HOUR TRASH CHUTE SHAFT. SEE DETAIL 6/A411, 18/A730
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- 37 NOT USED
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GENERAL NOTES

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- 3. FOR ACCESSIBLE/ENTRY DETAILS, SEE DETAILS 1-4/A002
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- 6. FOR INTERIOR NON-BEARING WALLS, SEE DETAIL 12/A720.
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WALL TYPES

	FIRE BARRIERS	A: FIRE RATING		
	FIRE/SMOKE BARRIERS	B: DETAIL REFERENCE SHEET A720		
	WALL W/ NON-PROTECTED OPENINGS	<table border="1" style="display: inline-table; vertical-align: middle;"> <tr><td>A</td><td>B</td></tr> </table>	A	B
A	B			

- 1 2** EXTERIOR WALL: 2 X 6 STUD WALL
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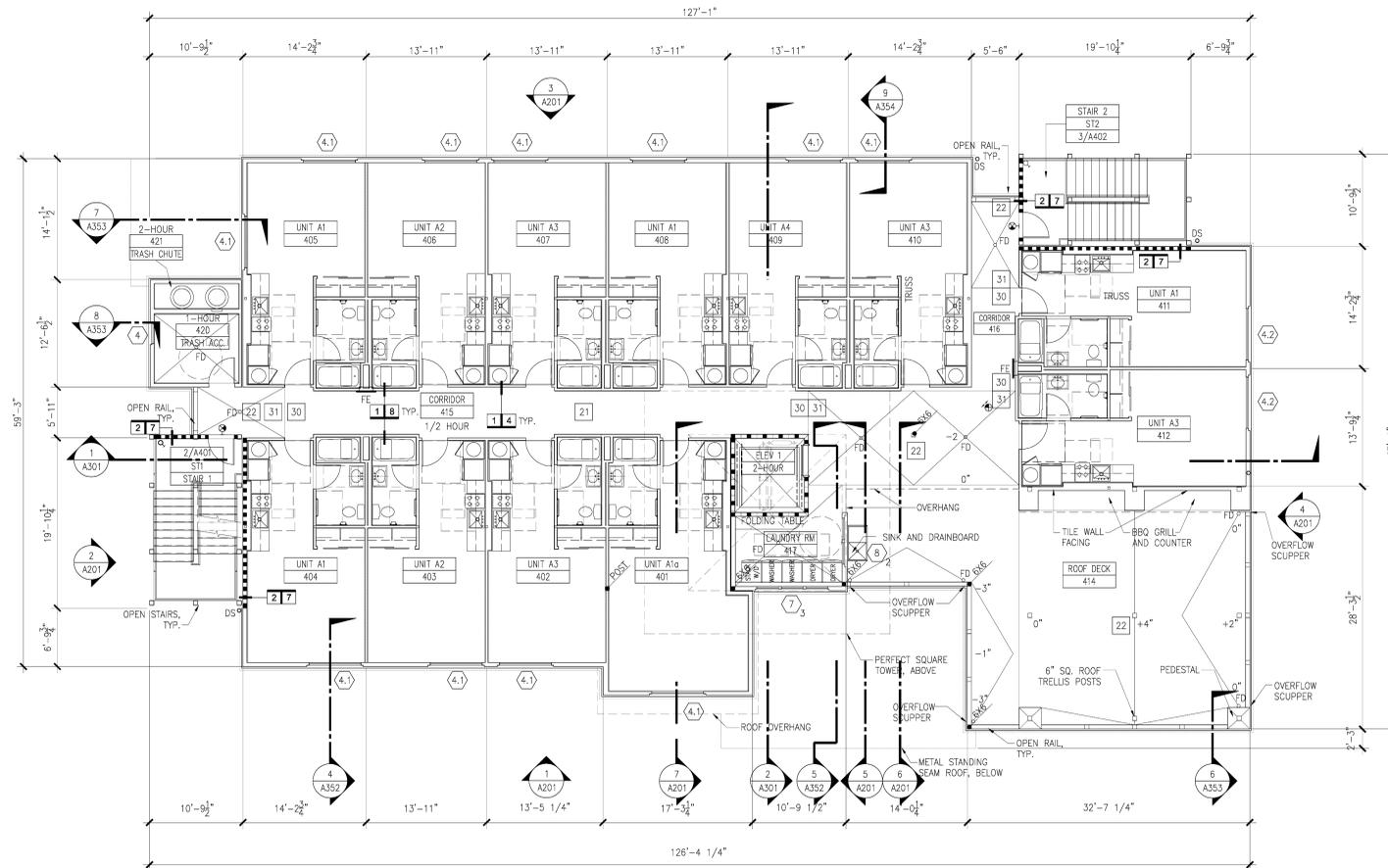
WALKING SURFACE LEGEND

	WATERPROOFING UNDER TOPPING SLAB	<table border="1" style="display: inline-table; vertical-align: middle;"> <tr><td>3</td><td>11</td></tr> <tr><td>2/40</td><td>8/20</td></tr> </table>	3	11	2/40	8/20
3	11					
2/40	8/20					
	SLOPE CONCRETE FLOORS TO DRAIN					

*NOTE: WALKING SURFACE CANNOT EXCEED 2% SLOPE

FIRE LEGEND

	EXIT SIGN
	FIRE EXTINGUISHER, SEE DETAIL 16/A720
	KEY BOX / KNOX BOX
	CLASS 1 STANDPIPE, SEE DETAIL 10/A003



1 Fourth Level Plan
 1/8" = 1'-0" SCALE
 0 4 8 12 16 20 24 28 32 FEET



Printed / Revised
 07/13/12 / PG Submittal
 08/27/12 / PG Resubmittal
 09/14/12 / Construction Documents

Fourth Level Plan

Hale Uhiwai Nalu Addition
 91-1078 Yorktown Street
 Kapolei, HI 96707
 Developed by:
 CLOUDBREAK HAWAII, LLC
 414 South Mokuapua Avenue
 Kapolei, HI 96707
 TEL: 810.888.8100



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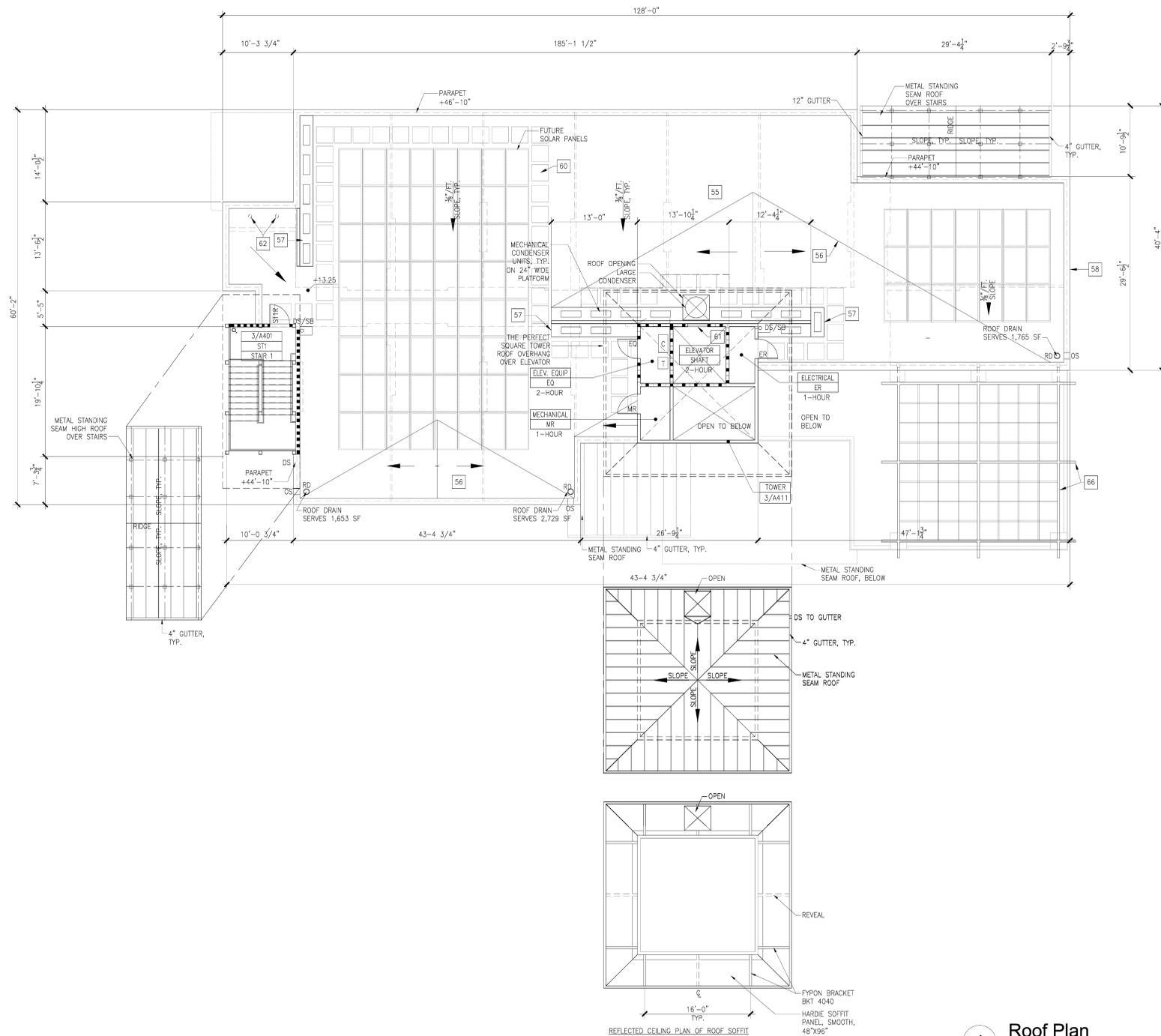
A104

FLAT ROOF NOTES:

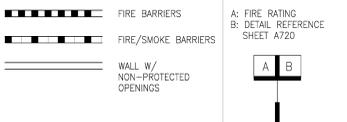
- 55 "CLASS A" BUILT-UP ROOFING, W/ LIGHT COLOR REFLECTIVE SURFACE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS WITH 3/8" PER FOOT MINIMUM SLOPE.
- 56 CRICKETS WITH VALLEY SLOPED MINIMUM 1/4" PER FOOT.
- 57 HVAC MECHANICAL PLATFORM- SEE DETAILS 10 & 11/A750.
- 58 ROOF PARAPET; SEE PLAN FOR HEIGHT; SEE DETAILS 1 & 2/A750.
- 59 ROOF DRAIN AND OVERFLOW SCUPPER (RD/OS) 2" ABOVE ROOF DRAIN, SEE DETAIL 8/A750 & 13/A750.
- 60 WALKWAY PADS.
- 61 ELEVATOR SHAFT LOUVER VENT: 3.5% OF SHAFT AREA WITH A MINIMUM 6 S.F. LOUVER.
- 62 TRASH CHUTE VENT FAN.
- 64 NOT USED.
- 66 METAL SUNSCREEN TRELLIS, SEE A453

GENERAL ROOF NOTES

1. ROOF PENETRATIONS: NO PENETRATIONS ALLOWED WITHIN 18" OF VALLEYS, RIDGES, PARAPETS, OR WALLS. FOR ALL ROOF FLASHING DETAILS, SEE SHEET A750.
2. FOR ALL THRU-WALL FLASHING DETAILS, SEE SHEET A742.
3. COORDINATE SUPPORTS & BLOCKING TO RECEIVE SOLAR PANELS WITH INSTALLER.
4. COLLECT AND ROUTE PLUMBING VENTS TO AVOID SOLAR PANELS.



WALL TYPES



ROOF LEGEND

- RD ROOF DRAIN. SEE 20/A750.
- SC SCUPPER, SEE 12/A750.
- OS OVERFLOW SCUPPER 2" ABOVE PRIMARY DRAIN. SEE 16/A750.
- RD/OS COMBINATION ROOF DRAIN AND OVERFLOW DRAIN SET 2" HIGHER THAN ROOF DRAIN. SEE 8/A750.
- DS DOWNSPOUT. SEE 16/A750.
- SB CONCRETE SPLASH BLOCK.



Printed / Revised
 07/13/12 / PG Submittal
 08/27/12 / PG Resubmittal
 09/14/12 / Construction Documents

Roof Plan

Hale Uhiwai Nalu Addition

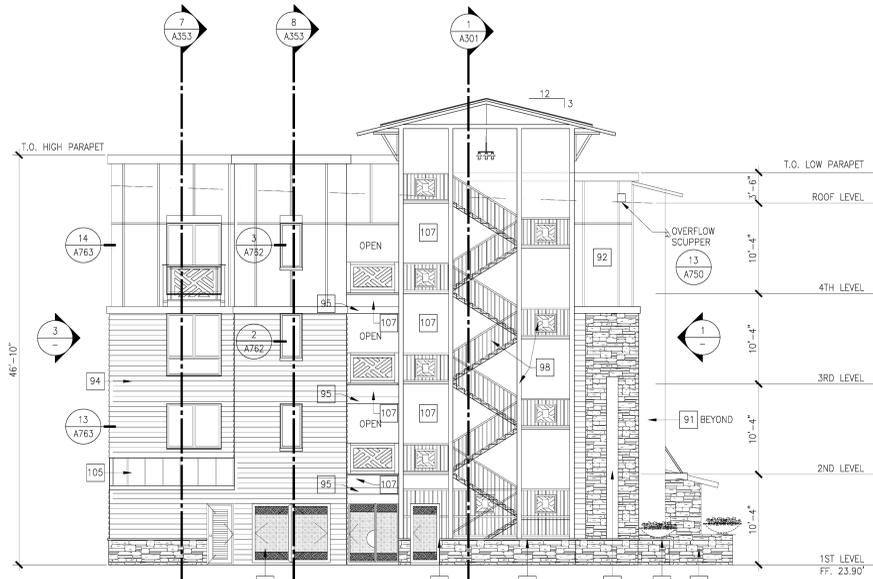
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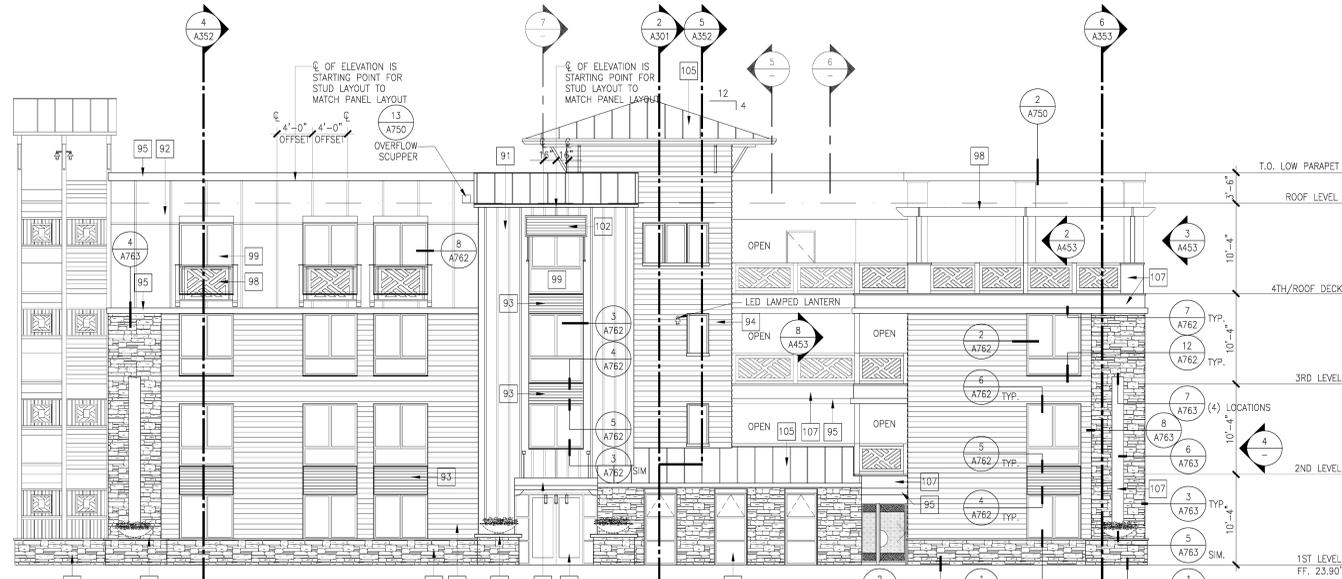
Sheet No.: A105



West Elevation

REFER TO ELEVATION 1 FOR BALANCE OF INFORMATION

2



South Elevation

REFER TO ELEVATION 1 FOR BALANCE OF INFORMATION

1



East Elevation

REFER TO ELEVATIONS 1 & 2 FOR BALANCE OF INFORMATION

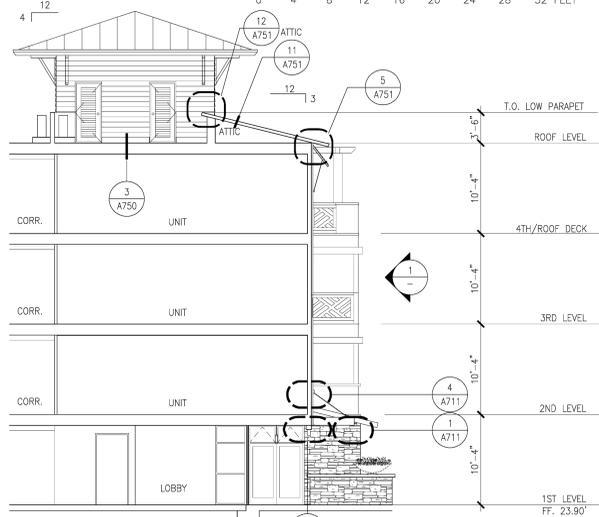
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North Elevation

REFER TO ELEVATION 1 FOR BALANCE OF INFORMATION

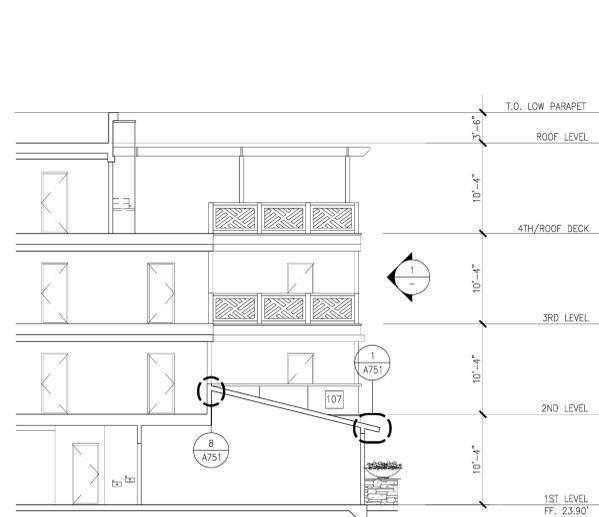
3



West Section Elevation

REFER TO ELEVATION 1 FOR BALANCE OF INFORMATION

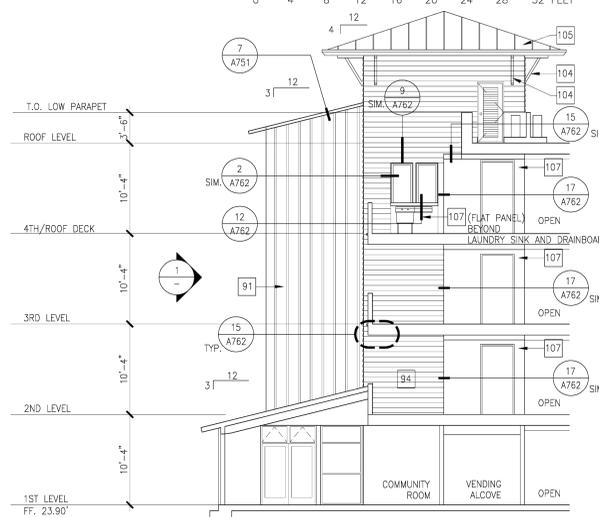
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West Section Elevation

REFER TO ELEVATION 1 FOR BALANCE OF INFORMATION

6

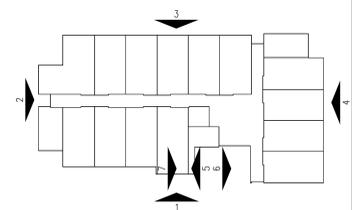


East Section Elevation

REFER TO ELEVATION 1 FOR BALANCE OF INFORMATION

5

OVERALL KEY PLAN



KEYNOTES #

ELEVATION, EXTERIOR FINISH AND TRIM NOTES:

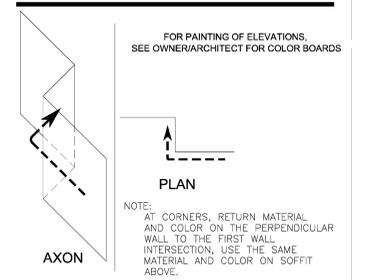
- 91 FIBER CEMENT BOARD WITH BATTENS AT 2'-0" O.C. PAINT TO MATCH: SW 6381
- 92 FIBER CEMENT BOARD WITH BATTENS AT 2'-0" O.C. PAINT TO MATCH: SW 6379
- 93 FIBER CEMENT LAP SIDING WITH 4" EXPOSURE. PAINT TO MATCH: SW 7734
- 94 FIBER CEMENT LAP SIDING WITH 7" EXPOSURE. PAINT TO MATCH: SW 7053
- 95 FIBER CEMENT TRIM. PAINT TO MATCH: SW 7012
- 96 2" THICK BLUE ROCK CAST STONE VENEER. BIG ROCK MANUFACTURING, INC.
- 97 PRECAST CONCRETE CAPS
- 98 METAL TRELLIS, RAFTERS, RAILINGS, METAL MESH, GATES, PAINT HIGH PERFORMANCE COATING. TRELLIS PAINT TO MATCH: SW 7012
- 99 VINYL WINDOWS - WHITE
- 100 ALUMINUM STOREFRONT AND AWNING WINDOWS FACTORY PAINT TO MATCH CLEAR ANODIZED
- 101 METAL AWNING. PAINT TO MATCH CLEAR ANODIZED
- 102 FIBERGLASS BAHAMA SHUTTER AND SUPPORTS. PAINT TO MATCH WHITE
- 103 HOLLOW METAL DOORS. PAINT TO MATCH WALL
- 104 FIBERGLASS BRACKETS PAINT TO MATCH SOFFIT
- 105 STANDING SEAM METAL ROOF, HPM SHUR-LOCK 220A. ALUMINUM, COUNTRY RED, 12" PANELS
- 106 THRU-COLOR PORCELAIN TILE, STONEPEAK COTTAGE COLLECTION, COLOR: MOUNTAIN RETREAT, 6"x24" HORIZONTAL LAYOUT
- 107 FIBER CEMENT BOARD

SW = SHERWIN WILLIAMS

GENERAL NOTES

- 1. FOR ADDITIONAL FLASHING & PENETRATION SEE DETAILS 9/A771, 10/A771, 11/A771 & SHEETS A742, A743, & A798.
- 2. REFER TO A351 FOR BALANCE OF NOTES.

PAINTING GUIDE



Printed / Revised
 07/13/12 / PC Submittal
 08/27/12 / PC Resubmittal
 09/14/12 / Construction Documents

Exterior Elevations

Hale Uihwai Nalu Addition
 91-107B Yorktown Street
 Kapolei, HI 96707

Developed by:
 CLODBREAK HAWAII, LLC
 414 South Mokuapuni Avenue
 Honolulu, HI 96813
 Tel: 810.288.9100



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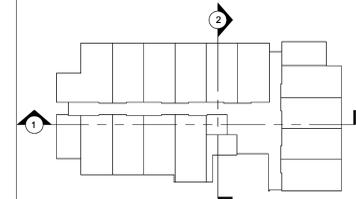
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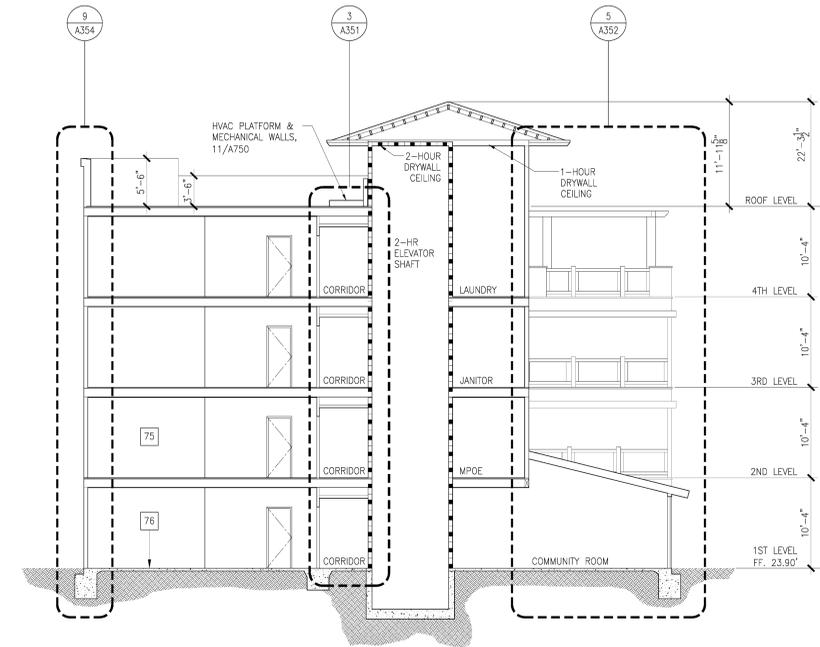
OVERALL KEY PLAN



KEYNOTES #

BUILDING SECTION NOTES:

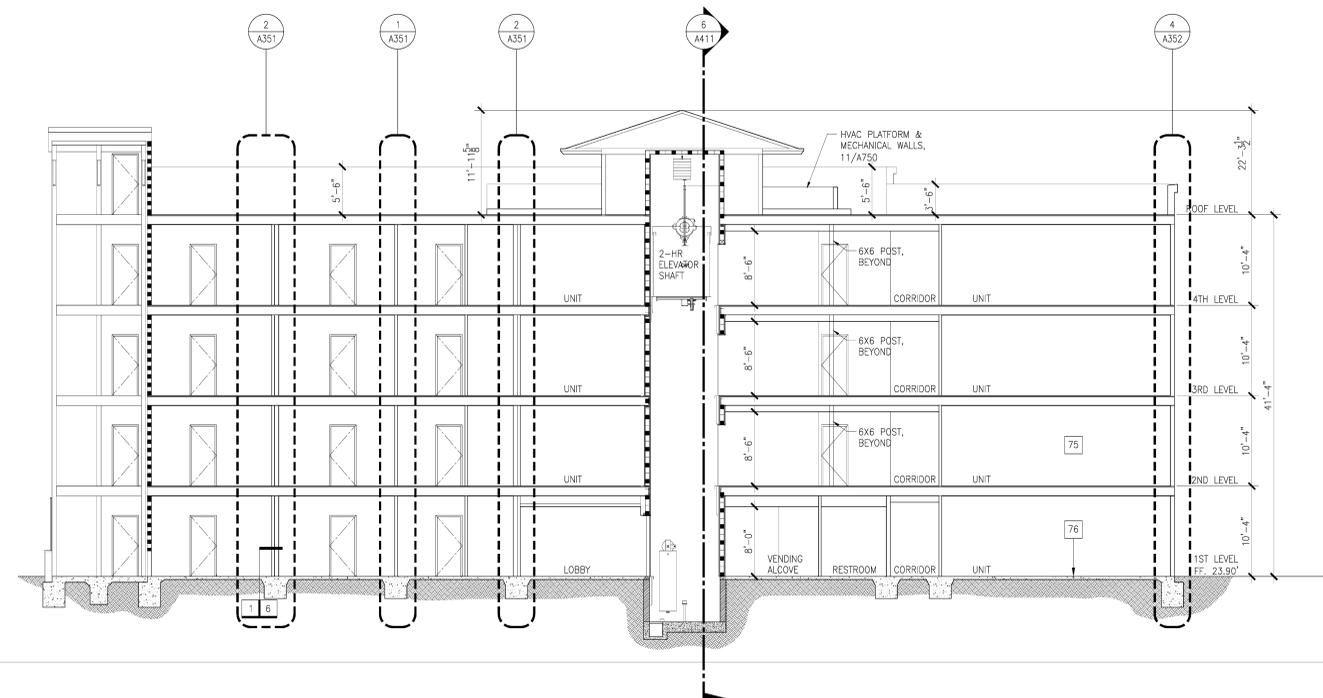
- 75 TYPE V - 1 HOUR CONSTRUCTION.
 - 76 SLAB ON GRADE OVER VAPOR RETARDER.
- ELEVATION, EXTERIOR FINISH AND TRIM NOTES:
- 91 FIBER CEMENT BOARD WITH BATTENS AT 2'-0" O.C. PAINT TO MATCH: SW 6381
 - 92 FIBER CEMENT BOARD WITH BATTENS AT 4'-0" O.C. PAINT TO MATCH: SW 6379
 - 93 FIBER CEMENT LAP SIDING WITH 4" EXPOSURE. PAINT TO MATCH: SW 7734
 - 94 FIBER CEMENT LAP SIDING WITH 7" EXPOSURE. PAINT TO MATCH: SW 7053
 - 95 FIBER CEMENT TRIM. PAINT TO MATCH: SW 7012
 - 96 2" THICK BLUE ROCK CAST STONE VENEER. BIG ROCK MANUFACTURING, INC.
 - 97 PRECAST CONCRETE CAPS
 - 98 METAL TRELLIS, RAFTERS, RAILINGS, METAL MESH, GATES, PAINT HIGH PERFORMANCE COATING. TRELLIS PAINT TO MATCH: SW 7012
 - 99 VINYL WINDOWS - WHITE
 - 100 ALUMINUM STOREFRONT AND AWNING WINDOWS FACTORY PAINT TO MATCH CLEAR ANODIZED
 - 101 METAL AWNING, PAINT TO MATCH CLEAR ANODIZED
 - 102 FIBERGLASS BAHAMA SHUTTER AND SUPPORTS, PAINT TO MATCH WHITE
 - 103 HOLLOW METAL DOORS, PAINT TO MATCH WALL
 - 104 FIBERGLASS BRACKETS PAINT TO MATCH SOFFIT
 - 105 STANDING SEAM METAL ROOF, HPM SHUR-LOCK 22GA. ALUMINUM, COUNTRY RED, 12" PANELS
 - 106 THRU-COLOR PORCELAIN TILE, STONEPEAK COTTAGE COLLECTION, COLOR: MOUNTAIN RETREAT, 6"x24" HORIZONTAL LAYOUT
 - 107 FIBER CEMENT BOARD



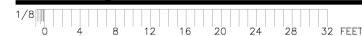
Building Section 2



2



Building Section 1



1

WALL TYPES



- 12 EXTERIOR WALL: 2 X 6 STUD WALL
- 13 INTERIOR UNIT WALLS: 2X4 STUD WALL TYPICAL UNLESS OTHERWISE NOTED
- 14 CORRIDOR WALL AT UNIT ENTRY DOOR: 2 X 4 STUD WALL
- 15 UNIT SEPARATION: 2 X 4 STUD WALL
- 16 PLUMBING WALL AT UNIT SEPARATION WALL - 2X4 STUD WALL WITH ADDITIONAL 2 X 6 STUD WALL FOR PLUMBING ON ONE SIDE
- 17 UNIT SEPARATION WALL AT STAIRS
- 18 PLUMBING WALL: 2 X 6 STUD WALL

Building Sections

Hale Uhiwai Nalu Addition

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Kapolei, HI 96707

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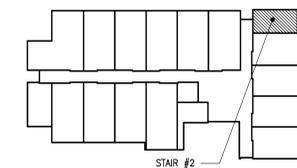
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A301



KEYNOTES #

ENLARGED PLAN NOTES:

- 121 24" DIAMETER TRASH CHUTE & DISCHARGE WITH 90 MINUTE SELF-CLOSING DOOR: SEE DETAIL 18/A730.
 - 122 TRASH CHUTE EXHAUST FLUE: SEE DETAILS 6 & 7/A750.
 - 123 ELEVATOR RELIEF VENT, 3 S.F. MIN. FREE AIR VENT W/ SS INSECT SCREEN.
 - 124 DOOR ASSEMBLY WITH MAGNETIC HOLD OPEN.
 - 125 FLOOR DRAIN, 2-STAGE DRAIN ASSEMBLY: SEE DETAIL 1/A740.
 - 126 ELEVATOR EQUIPMENT ROOM, FIRE RATING SAME AS ELEVATOR SHAFT.
 - 127 3500 LB. ELEVATOR VERIFY DIMENSION WITH MANUFACTURER: SEE DETAILS 15 THRU 18/A004 FOR ACCESSIBILITY REQUIREMENTS.
 - 128 PROVIDE ADDRESS SIGNAGE WITH MINIMUM 10" NUMBERS WITH COLOR CONTRASTING TO BUILDING COLOR.
- PUBLIC STAIR NOTES
- 132 HANDRAIL MOUNTED 36" ABOVE TREAD EXTEND HANDRAIL 12" BEYOND STAIR AT TOP OF RUN AND 23" AT BOTTOM OF RUN, 42" MIN. GUARDRAIL: SEE DETAIL 4/A710.
 - 133 INTERMEDIATE HANDRAIL MOUNTED 36" ABOVE TREAD AND 42" MINIMUM HIGH GUARDRAIL: SEE DETAIL 4/A710.
 - 134 GUARDRAIL 42" MIN ABOVE FINISH FLOOR: SEE DETAIL 2 & 7/A710.
 - 135 PRECAST CONCRETE TREAD WITH CLOSED RISER, MIN 11" TREAD AND MAXIMUM 7" RISER. STAIR TO BE MINIMUM 48" WIDE WITH MINIMUM 80" HEAD CLEARANCE: SEE DETAILS 5, 6 & 7/A710.
 - 136 PRECAST LANDING OVER STEEL FRAME.
 - 137 EXTEND HANDRAIL AS HEADROOM BARRIER.
 - 138 WOOD FLOOR LANDING WITH CONCRETE TOPPING OVER WATERPROOFING SEE DETAILS 1 & 2/A710.
 - 139 CLASS 1 STANDPIPE, MAINTAIN MIN. 44" CLEAR PATH AT LANDING. SEE DETAIL 10/A003.
 - 140 NOT USED.
 - 141 TACTILE STAIRWELL SIGN. SEE DETAIL 1/A004.
 - 142 TACTILE EXIT SIGNAGE. SEE DETAIL 3/A004.
 - 143 STAIRWELL SIGN FOR FIRE PERSONNEL, DETAIL 12/A710. CONFIRM REQUIRED INFORMATION WITH LOCAL FIRE DEPARTMENT.
 - 144 STAIRWAY SCREEN: SEE DETAIL 15/A710.

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Stair 2 - Plans and Sections

Hale Uhiwai Nalu Addition

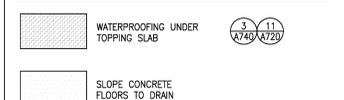
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Kapolei, HI 96707
Tel: 810.688.0100

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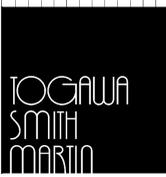
WALKING SURFACE LEGEND



*NOTE: WALKING SURFACE CANNOT EXCEED 2% SLOPE

FIRE LEGEND

- EXIT SIGN
- FIRE EXTINGUISHER, SEE DETAIL 16/A720
- KEY BOX / KNOX BOX
- CLASS 1 STANDPIPE, SEE DETAIL 10/A003

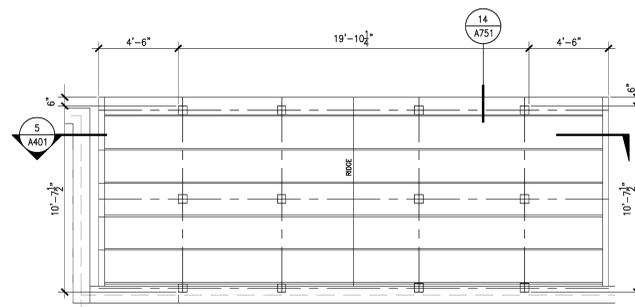


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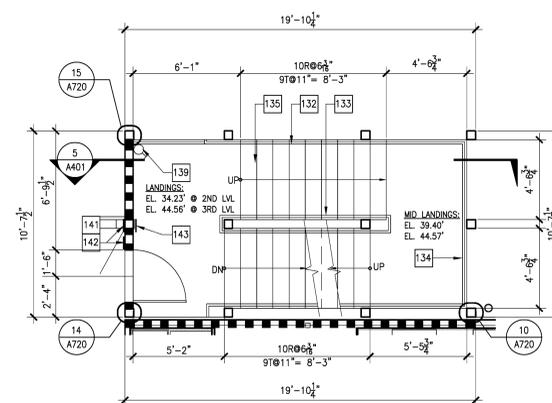
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Stair 2 - Roof Level



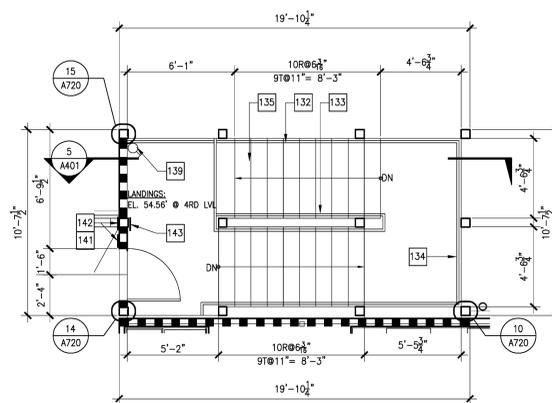
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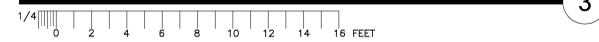
Stair 2 - 2nd-3rd Floor Levels



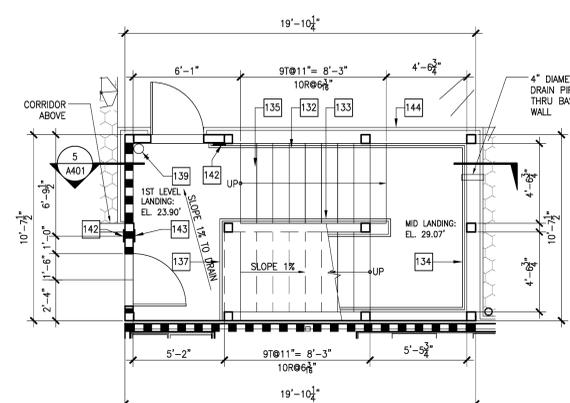
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Stair 2 - Fourth Level



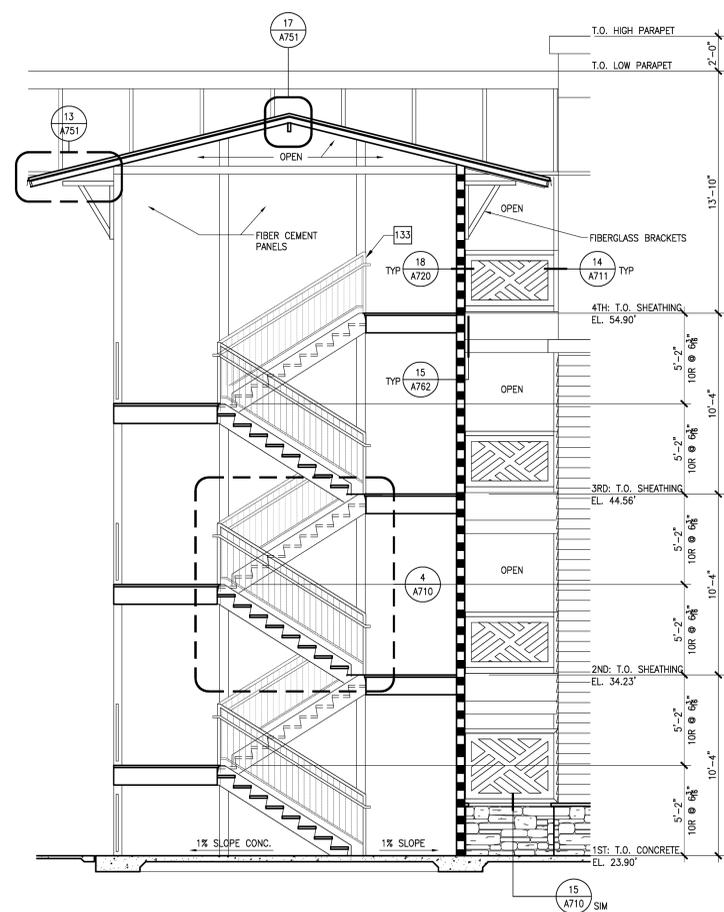
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Stair 2 - 1st Floor Level



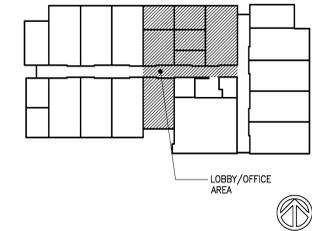
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Stair 2 - Section



5



KEYNOTES #

- COMMON AREA NOTES:
- 240 DRINKING FOUNTAIN: SEE DETAIL 7/A003
 - 241 NOT USED
 - 242 NOT USED
 - 243 APPROVED UNITED STATES POSTAL SERVICE FRONT LOADING MAIL BOXES. VERIFY SIZE WITH MANUFACTURER; SEE DETAIL 13/A772

- CEILING NOTES:
- 51 SUSPENDED T-BAR CEILING SYSTEM WITH 2'X4' ACOUSTICAL CEILING TILES. SEE DETAILS ON SHEET A771.
 - 52 1-HOUR 5/8" GYPSUM BOARD CEILING OVER STEEL STUD/JOIST FRAMING, SUSPENDED FRAMING CEILING SYSTEM OR OVER ACOUSTICAL CHANNELS AT TYPICAL UNITS, OFFICES, FITNESS ROOM.

GENERAL NOTES

1. SUSPENDED ACOUSTICAL CEILING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ASTM C635, ASTM C636, & ASCE 7-05 SECTION 13.5.6. FOR SEISMIC DESIGN CATEGORY D.
2. COORDINATE LAYOUT OF CEILING GRID AND LIGHTING WITH HVAC EQUIPMENT PRIOR TO LAYOUT AND INSTALLATION.

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Enlarged Plans - Common Areas

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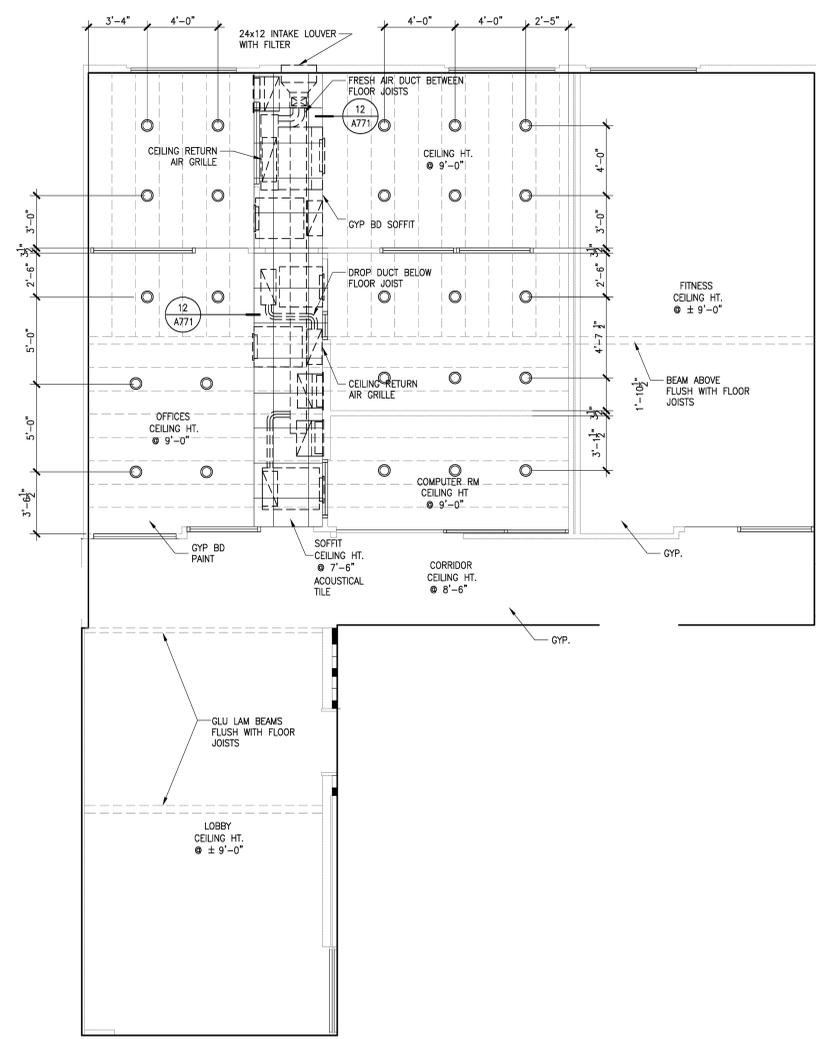
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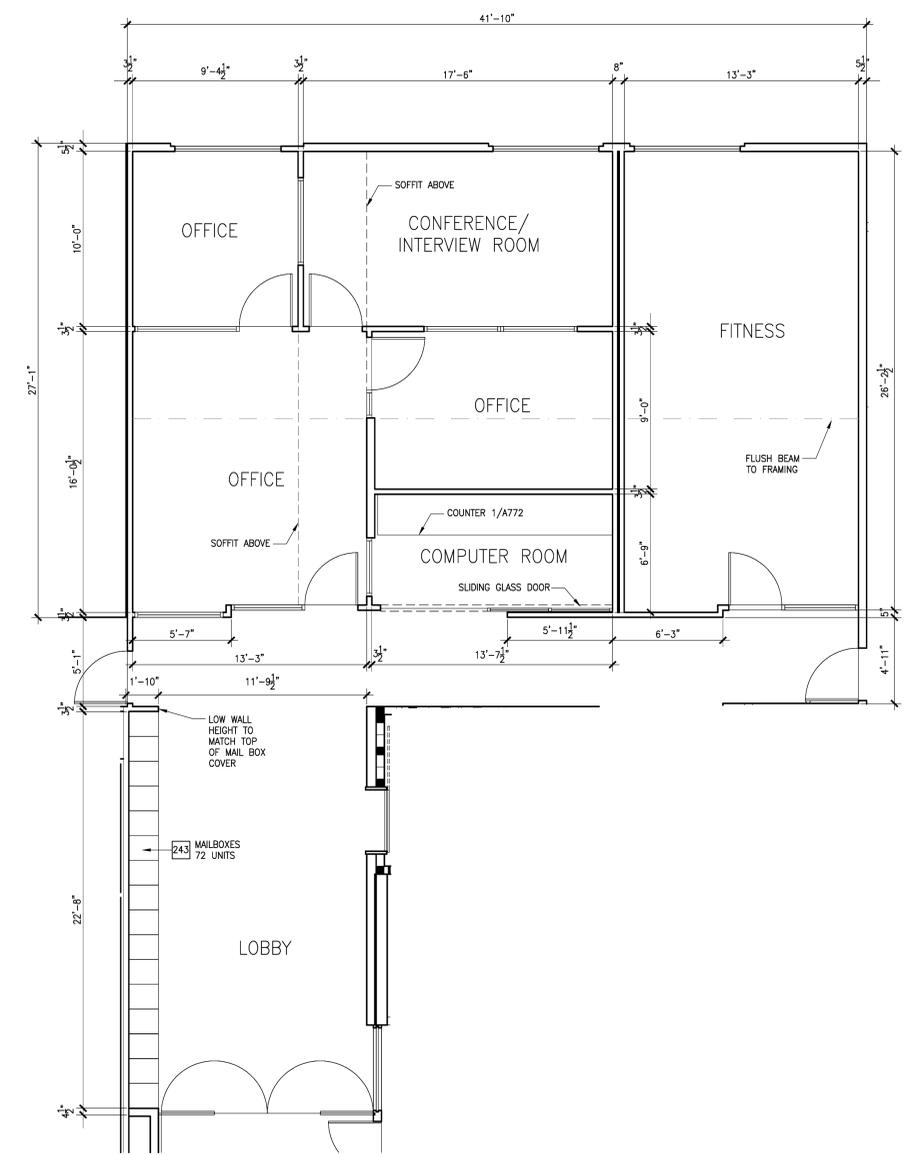
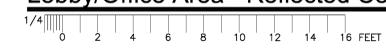
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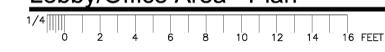
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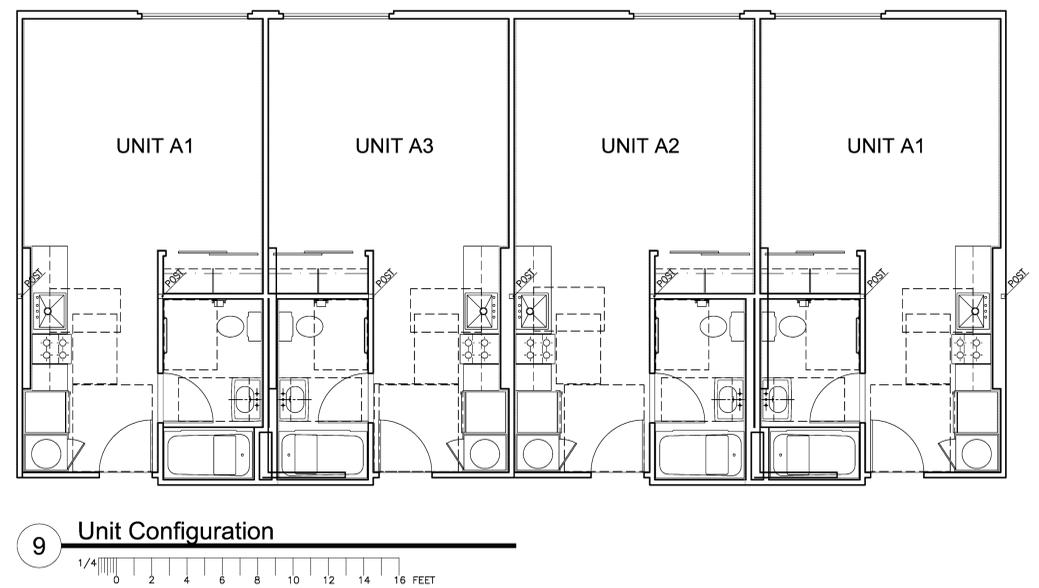
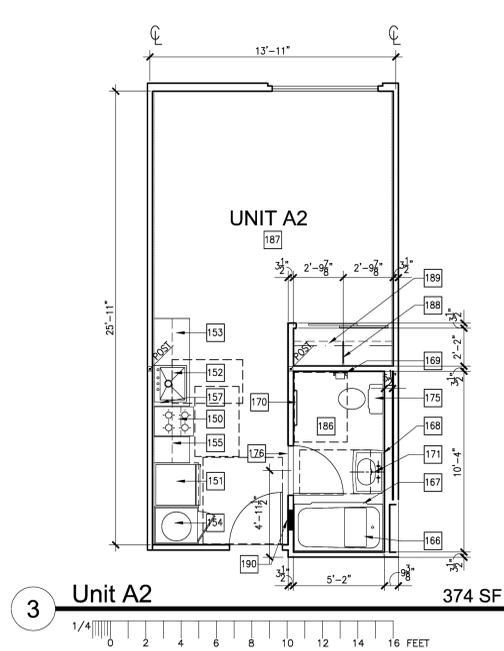
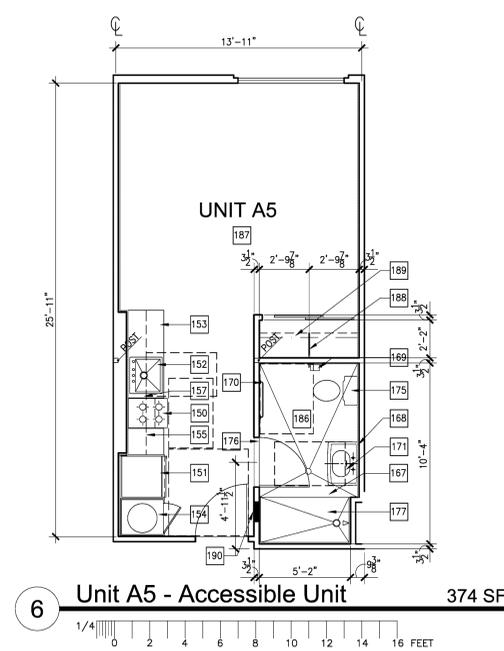
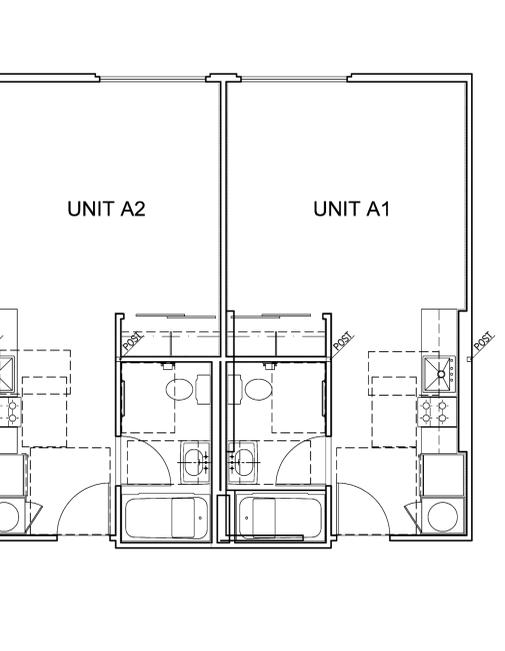
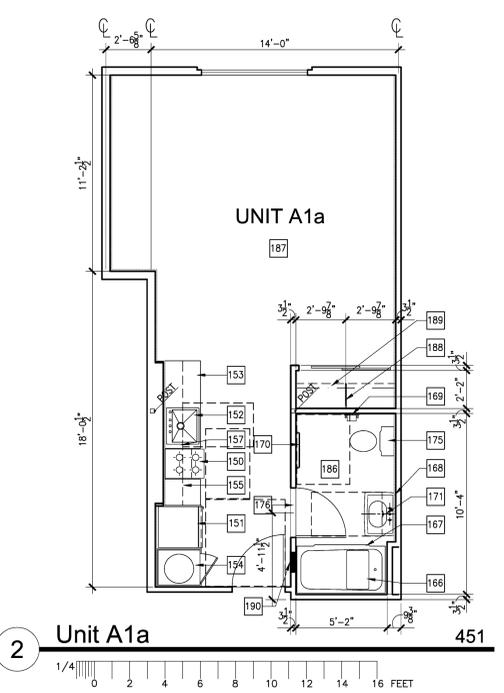
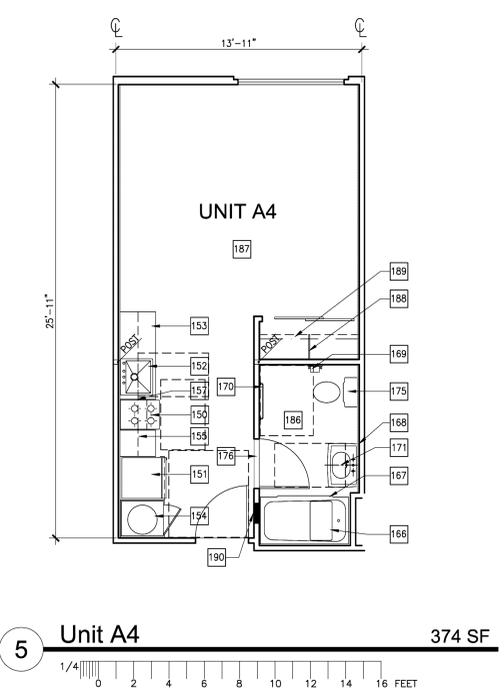
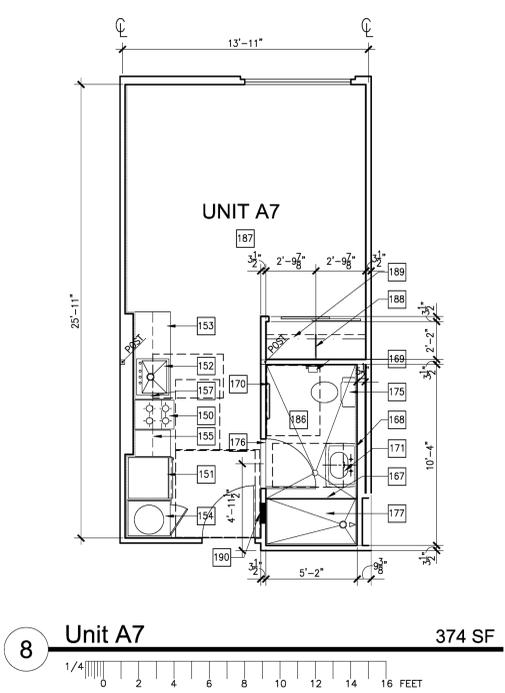
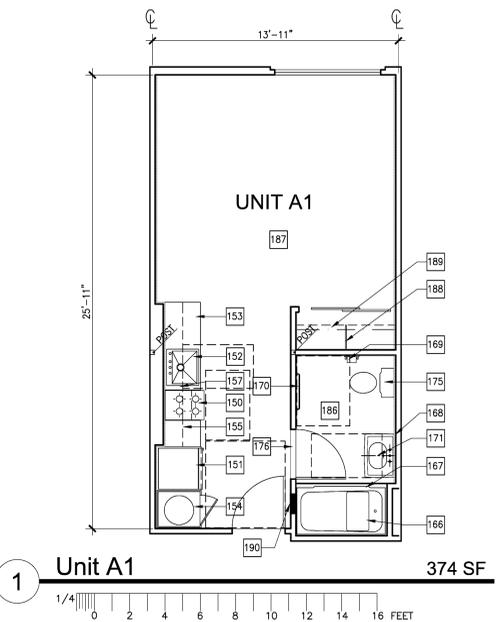
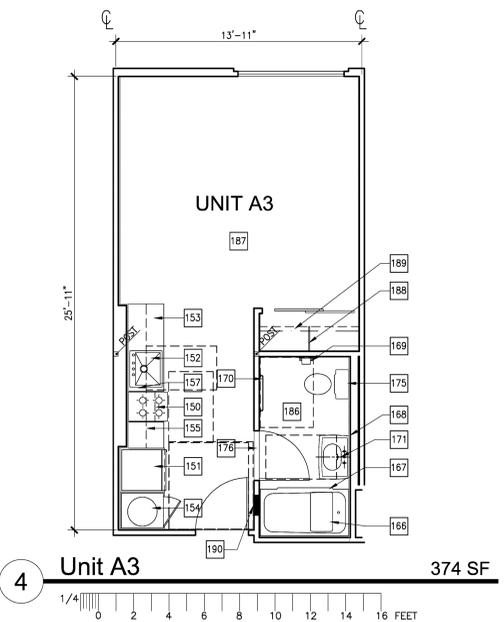
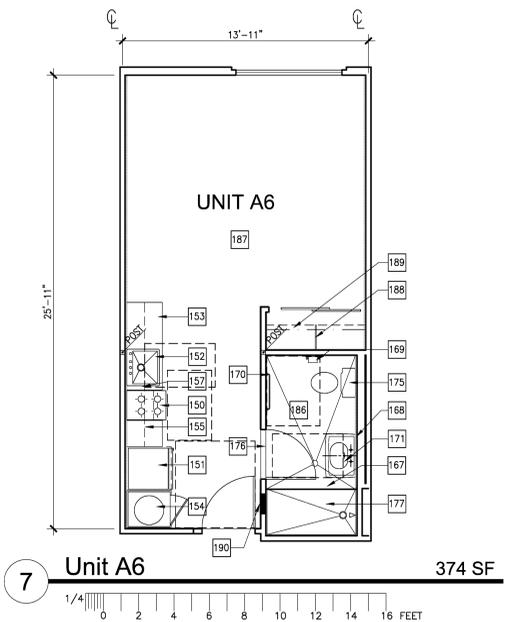


Lobby/Office Area - Reflected Ceiling Plan 2



Lobby/Office Area - Plan 1





KEYNOTES #

- UNIT KITCHEN NOTES:**
- 150 20" WIDE, ELECTRIC RANGE - FRONT CONTROLS REQUIRED.
 - 151 28" WIDE X 29 1/8" DEEP REFRIGERATOR TO FIT IN MAXIMUM 30" WIDE SPACE. PROVIDE ELECTRICAL OUTLET AT +42" AND COLD WATER TAP IN RECESSED WALL BOX. SEE DETAIL 5/A002.
 - 152 25" WIDE SINGLE-BOWL SINK. W/ CLEAR KNEE SPACE BELOW. SEE DETAIL 6/A002; 5/A003 FOR KNEE CLEARANCE.
 - 153 34" HIGH KITCHEN COUNTER TOP. GRANITE W/ 5" SPLASH - PROVIDE 30" WORK SPACE. SEE DETAIL 5/A003 FOR KNEE CLEARANCE.
 - 154 PANTRY: W/3 ADJUSTABLE SHELVES, 30" MAX. DEPTH. WATER HEATER ABOVE. SEE 8 & 11/A772.
 - 155 UPPER CABINET W/LOWEST SHELF AT A MAXIMUM 52" AFF: SEE DETAILS 4/A772.
 - 156 LOWER CABINETS: PROVIDE 48" MINIMUM CLEAR SPACE BETWEEN OPPOSING FACE OF BASE CABINETS, COUNTER TOPS AND WALLS. SEE 2 & 3/A772.
 - 157 20" WIDE REDIRCULATING RANGE HOOD

KEYNOTES #

- UNIT BATHROOM NOTES:**
- 166 TUB: 30" X 60" FIBERGLASS TUB. TILE SURROUND, MIN. 70" HIGH ABOVE DRAIN W/CENTER LINE OF CONTROL 15" FROM OPEN SIDE OF TUB & SLIP RESISTANT FLOOR. SEE DETAIL 9/A772.
 - 167 SHOWER CURTAIN ROD MOUNTED @ +/- 74" A.F.F. HIGH
 - 168 MIRROR: 42" HIGH, MOUNTED 38" A.F.F. (40" MAX A.F.F.): SEE DETAILS 14/A002 & 5/A772.
 - 169 TOILET PAPER HOLDER - MOUNTED WITH CENTERLINE OF HOLDER 19" A.F.F.: SEE DETAIL 14/A002.
 - 170 TOWEL BAR: 24" LONG AT +40" A.F.F. W/2 X 6 BACKING: SEE DETAIL 14/A002.
 - 171 WALL-MOUNTED LAVATORY 34" MAX. HEIGHT TO TOP OF LAVATORY RIM. SEE DETAIL 5/A003 FOR KNEE CLEARANCE.
 - 172 2 X 8 MIN. WALL GRAB BAR BACKING, MIN 40" LONG: SEE DETAIL 19/A002.
 - 173 PROVIDE WALL BACKING FOR FUTURE GRAB BAR. SEE DETAIL 19/A002.
 - 174 2 X 8 MINIMUM GRAB BAR BACKING: 30" WIDE MIN. AT BOTH ENDS OF TUB; FULL LENGTH OF WALL AT SHOWERS: SEE DETAIL 19/A002.
 - 175 TOILET WITH MINIMUM CLEARANCE: SEE DETAILS 8 & 14/A002.
 - 176 MARBLE THRESHOLD AT BATHROOM DOOR: SEE DETAIL 15/A760.
 - 177 30" DEEP X 60" WIDE TILED SHOWER FLOOR & SURROUND, SEE DETAIL 15/A002.

KEYNOTES #

- GENERAL UNIT NOTES:**
- 186 TILE FLOOR OVER GYPCRETE AND ACOUSTIMAT II.
 - 187 VINYL FLOOR OVER GYPCRETE AND ACOUSTIMAT II.
 - 188 SINGLE CLOTHES ROD WITH WOOD SHELF MOUNTED AT 68" AFF
 - 189 DOUBLE CLOTHES ROD WITH SINGLE WOOD SHELF MOUNTED AT 80" & 40" A.F.F.
 - 190 ELECTRICAL PANEL
 - 191 MECHANICAL SOFFIT @ 8'-0" A.F.F.

GENERAL UNIT NOTES

1. AT ALL UNIT ENTRY DOORS, PROVIDE MINIMUM 24" INSIDE LEVEL AREA AT EXTERIOR DOORS AND MINIMUM 18" WIDE LEVEL AREA AT INTERIOR DOORS PAST THE STRIKE SIDE OF THE DOOR. PROVIDE A 12" MINIMUM LEVEL AREA PAST THE DOOR ON THE PUSH SIDE OF THE DOORS WITH A CLOSER AND A LATCH: SEE DETAIL 1/A002.
2. AT INTERIOR DOORS PROVIDE AN 18" WIDE LEVEL AREA PAST THE STRIKE SIDE OF DOOR: SEE DETAIL 2/A002.
3. PROVIDE 1-HR PROTECTION AT ALL LIGHT, DUCT & SIMILAR PENETRATIONS INTO 1-HR CEILING: SEE DETAILS 12 THRU 14/A720.
4. BATHROOM EXHAUST FAN TO BE CAPABLE OF 5 AIR CHANGES/HR DIRECTED TO THE OUTSIDE. VERIFY MECH. & ACOUSTICAL REQUIREMENTS.
5. DOORBELLS
6. VERIFY CASEWORK DIMENSIONS WITH APPLIANCES BEING PROVIDED.

COMMUNICATION FEATURES

- 266 WHERE A BUILDING ALARM SYSTEM IS PROVIDED, THE SYSTEM WIRING SHALL BE EXTENDED TO THE SMOKE DETECTION SYSTEM WITHIN THE UNIT. (2010 ADA 809.5.1)
- 267 SMOKE DETECTORS AND ALARM APPLIANCES SHALL COMPLY WITH NFPA 72. (2010 ADA 809.5.1.2)
- 268 ALL VISIBLE ALARM APPLIANCES SHALL BE ACTIVATED UPON ACTIVATION OF BUILDING FIRE ALARM OR SMOKE DETECTION. (2010 ADA 809.5.1.2 & 809.5.2.1)
- 269 A HARD-WIRED ELECTRIC DOORBELL SHALL BE PROVIDED AT THE PRIMARY ENTRY DOOR WHICH WILL TRIGGER AN AUDIBLE TONE AND VISIBLE SIGNAL. WHERE VISIBLE DOORBELL SIGNALS ARE LOCATED IN SLEEPING AREAS, THEY SHALL HAVE CONTROLS TO DEACTIVATE THE SIGNAL. (2010 ADA 809.5.5.1)
- 270 PEEPHOLES SHALL BE PROVIDED AT THE PRIMARY ENTRY DOOR AT STANDARD HEIGHT AND SHALL ALLOW A MINIMUM 180° RANGE OF VIEW. (2010 ADA 809.5.2.2 ADVISORY)
- 271 A SYSTEM PERMITTING VOICE COMMUNICATION (INCLUDING A CLOSED-CIRCUIT SYSTEM) BETWEEN A VISITOR AND RESIDENT SHALL BE CAPABLE OF SUPPORTING VIDEO AND TTY COMMUNICATION. (2010 ADA 809.5.6)

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Unit Plans

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