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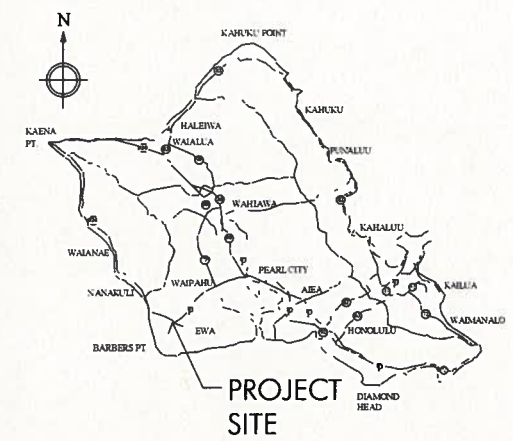
HAWAII COMMUNITY DEVELOPMENT AUTHORITY

BUILDING 77

HCDA DEVELOPMENT PERMIT PROJECT PLANS

LOCATION MAP



HUNT DEVELOPMENT GROUP, LLC ON BEHALF OF: KALAELOA BOQ, LLC

BUILDING 77
91-1245 FRANKLIN D ROOSEVELT AVE
KALAELOA, HI 96707

TMK: 91013011

VICINITY MAP

HCDA LAND USES

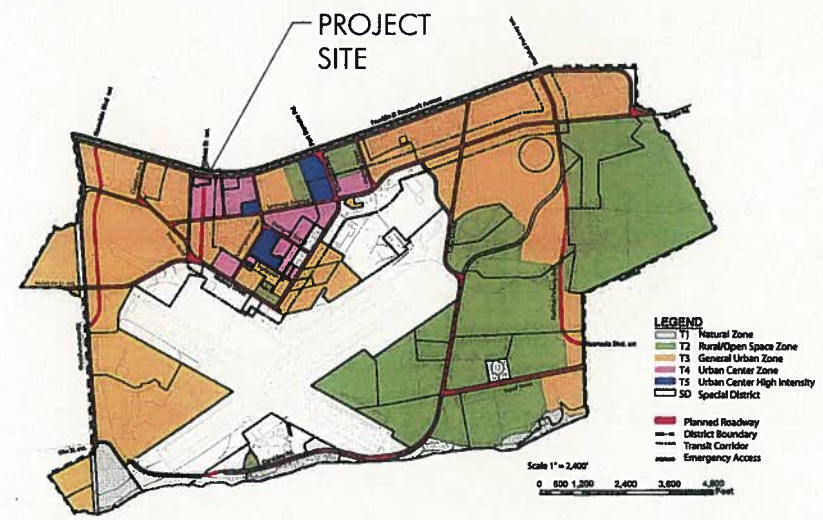


IMAGE COURTESY HCDA - REGULATING PLAN

TMK PARCEL

PROJECT DATA

PROJECT DESCRIPTION:

THE PROPOSED SCOPE OF WORK ADDRESSES IMPROVEMENTS TO THE EXISTING BUILDING AS RELATED TO ITS EXISTING USE AND OCCUPANCY. INTERIOR FINISHES AND PLUMBING IMPROVEMENTS WILL OCCUR AS DENOTED. EXTERIOR IMPROVEMENTS TO THE EXISTING FACILITIES ARE UNDERTAKEN AS RENOVATION TO EXISTING FACILITIES. **BUILDING ENVELOPE AND SETBACKS ARE MAINTAINED AND WILL NOT CHANGE. NO CHANGE OF USE OR OCCUPANCY IS UNDERTAKEN IN THIS SCOPE OF WORK.**

CODE NOTES: EXISTING CONDITIONS TO REMAIN BASED ON EXISTING USE AND ALLOWABLE EXCEPTIONS PROVIDED BY IBC CHAPTER 34.

APPLICABLE CODES:

2006 INTERNATIONAL EXISTING BUILDING CODE w/ LOCAL AMENDMENTS,
CITY AND COUNTY OF HONOLULU, LUO

*THE AMERICANS WITH DISIBILITIES ACT (ADAAG OR ADA) ACCESSIBILITIES GUIDELINES FOR BUILDINGS AND FACILITIES HAS BEEN USED AS REFERENCES IN CREATING THESE DOCUMENTS.

*THE ARCHITECTURAL BARRIERS ACT (ABA) FOR BUILDINGS AND FACILITIES HAS BEEN USED AS REFERENCES IN CREATING THESE DOCUMENTS.

*ANSI/ICC 117.1-2003 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES STANDARD HAS BEEN USED AS REFERENCE IN CREATING THESE DOCUMENTS.

BUILDINGS ORIGINAL CONSTRUCTION PREDATES THE FAIR HOUSING ACT AND IS NOT REQUIRED TO COMPLY WITH THOSE STANDARDS (PER FHA SECTION 3a).

*CONSTRUCTION SHALL COMPLY TO SECTION 2304.11 OF THE INTERNATIONAL BUILDING CODE AND APPLICABLE LOCAL AMENDMENT TO SECTION 2304.11 REGARDING DECAY AND TERMITE PROTECTION

TAX MAP KEY:	91013011
ADDRESS:	91-1245 FRANKLIN D ROOSEVELT AVE KALAELOA, HI 96707
ZONING:	(E) F-1 (NAVY) / (F) T-4
HCDA LAND USE:	(F) URBAN CENTER
OCCUPANCY GROUP:	(E TO REMAIN) R-2
CONSTRUCTION TYPE:	(E TO REMAIN) TYPE IIIB
FLOOD ZONE:	D
TSUNAMI EVACUATION:	NO
LOT AREA:	4.4 ACRES 191,813 SF
LOT COVERAGE:	BUILDING: 26,057 SF OTHER STRUCTURES: 1,892 SF PAVEMENT: 59,708 SF SIDEWALK: 10,796 SF TOTAL COVERAGE: 98,454 SF (51%)
DENSITY:	20-40 UNITS PER ACRE (PER CDD RULES 15-215-40 & FIGURE 1.3) 4.4 ACRE SITE x 20-40 UNITS / ACRE = 88-176 UNITS 100 UNITS (E) TO REMAIN
HEIGHT LIMIT:	(F) 60' (65' PER CDD RULES FIGURE 1.12 FOR WAKEA EXTENSION)
PROPOSED HEIGHT:	30' (E TO REMAIN)
NO. OF STORIES:	3 (E TO REMAIN)
SETBACKS:	FRONT: 5' - 15' (PER CDD RULES 15-215-39) SIDE AND REAR: 0 (PER CDD RULES 15-215-39)
RECREATION SPACE:	55 SF PER DWELLING UNIT (PER CDD RULES 15-215-45) 55 SF x 100 UNITS = 5,500 SF; 20,088 SF PROVIDED
OPEN SPACE:	20% OF LOT (PER CDD RULES 15-215-46) 20% OF 191,813 SF = 38,363 SF REQUIRED; 124,091 SF PROVIDED (including recreation space)
BUILDING TYPE:	COURTYARD - BT.7 (PER CDD RULES)
BUILDING MASSING:	PER BT.7 - COURTYARD SECOND AND THIRD FLOORS ARE ALLOWED TO BE 100% RATIO OF FIRST STORY. (E) THREE STORY STRUCTURE MAINTAINS 100% RATIO OF UPPER FLOORS.
FRONTAGE TYPE:	MINIMUM FRONTAGE FOR T4 URBAN CENTER IS 60% (PER CDD RULES FIGURE 1.6) (E) NON-CONFORMING STRUCTURE (PER 15-215-89)

BUILDING NET FLOOR AREA CALCULATIONS

1ST FLOOR INTERIOR LIVING AREA:	15,694 SF
CIRCULATION:	4,768 SF
ACCESSORY USE:	1,430 SF
B-WING INTERIOR AREA:	1,669 SF
2ND FLOOR INTERIOR LIVING AREA:	16,668 SF
CIRCULATION:	4,300 SF
ACCESSORY USE:	924 SF
3RD FLOOR INTERIOR LIVING AREA:	16,668 SF
CIRCULATION:	4,300 SF
ACCESSORY USE:	924 SF
TOTAL BUILDING NET FLOOR AREA:	**67,345 SF**

PARKING DATA

PARKING REQUIRED:	100 SPACES
PER HCDA GUIDELINES	RESIDENTIAL: 1/ UNIT = 1 x 100 = 100 STALLS BUSINESS: 1/450 SF = 1,661 / 450 = 4 STALLS (PER CDD RULES 15-215-47.E) PARKING 151-200 STALLS REQ 6 HC STALLS (2010 ADAAG TABLE 208.2) 6 HC REQ. (1 VAN PER ADAAG 208.2.4)
LOADING STALLS:	1 STALL FOR FLOOR AREAS 20,000 TO 150,000 (PER CDD RULES 15-215-47 L) AT 66,095 SF ONLY 1 STALL REQ
PARKING PROVIDED:	156 SPACES 6 HC PROV. (1 VAN)

SHEET INDEX

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H-0.01 PLOT PLAN
H-0.02 OPEN SPACE PLAN
H-0.03 PEDESTRIAN, BICYCLE, & VEHICULAR CIRCULATION

CIVIL
C-04 SITE LAYOUT AND GRADING PLAN
C-05 CURB RAMP PLAN AND DETAIL
C-06 CURB RAMP PLAN AND DETAIL
C-07 SITE UTILITY PLAN
C-08 TRAFFIC CONTROL PLAN

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L-02 LANDSCAPE PLANTING PLAN

ARCHITECTURE
H-1.01 LEVEL 1 PLAN
H-1.02 LEVEL 2 & 3 PLAN
H-1.03 ROOF PLAN
H-2.01 NORTH & SOUTH ELEVATIONS
H-2.02 EAST, WEST, COURTYARD ELEVATIONS
H-3.01 SECTIONS
H-4.01 UNIT PLAN & WALL SECTIONS

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BUILDING 77

HUNT DEVELOPEMENT GROUP, LLC

91-1245 FRANKLIN D ROOSEVELT AVE
KALAELOA, HI 96707

APARTMENT RESIDENCE

TMK: 91013011

HCDA DEVELOPMENT PERMIT PROJECT PLANS

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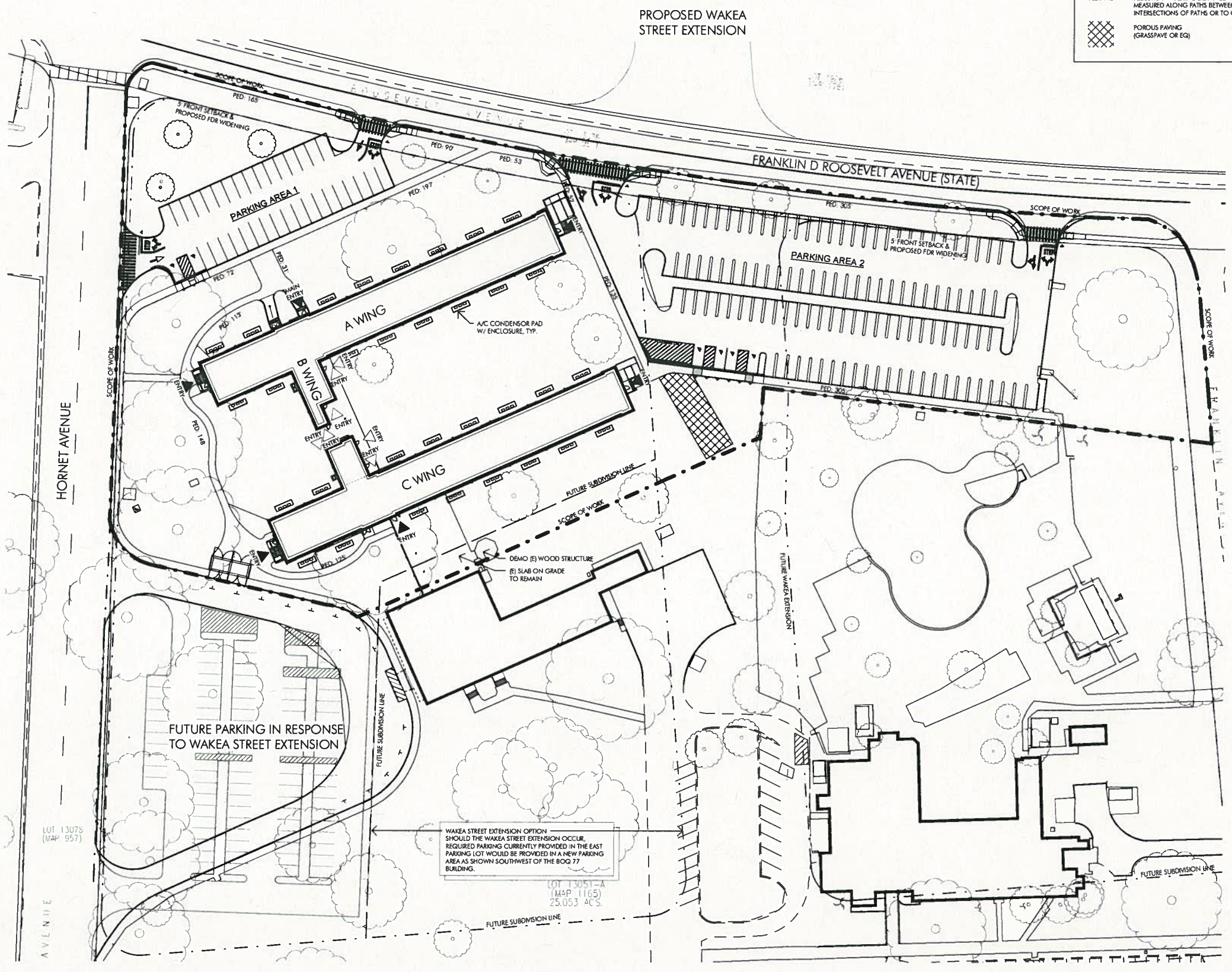
COVER SHEET

SHEET NUMBER	JOB NUMBER
H-0.00	21309
	SCALE 12" = 1'-0"

SITE LEGEND:	
ENTRY	ENTRANCE TO BUILDING
PED: 148'	PEDESTRIAN WALKING DISTANCE MEASURED ALONG PATHS BETWEEN INTERSECTIONS OF PATHS OR TO CURBS
	POROUS PAVING (GRASSPAVE OR EQ)

SITE NOTES:
1. HCDA BUILD TO LINE NOT APPLICABLE TO EXISTING NON-CONFORMING STRUCTURE.



1 PLOT PLAN
1" = 40'-0"

N

0' 20' 40' 80' 160'

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BOQ 77 REHAB

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PLOT PLAN

SHEET NUMBER	JOB NUMBER
H-0.01	21309
	SCALE: As indicated

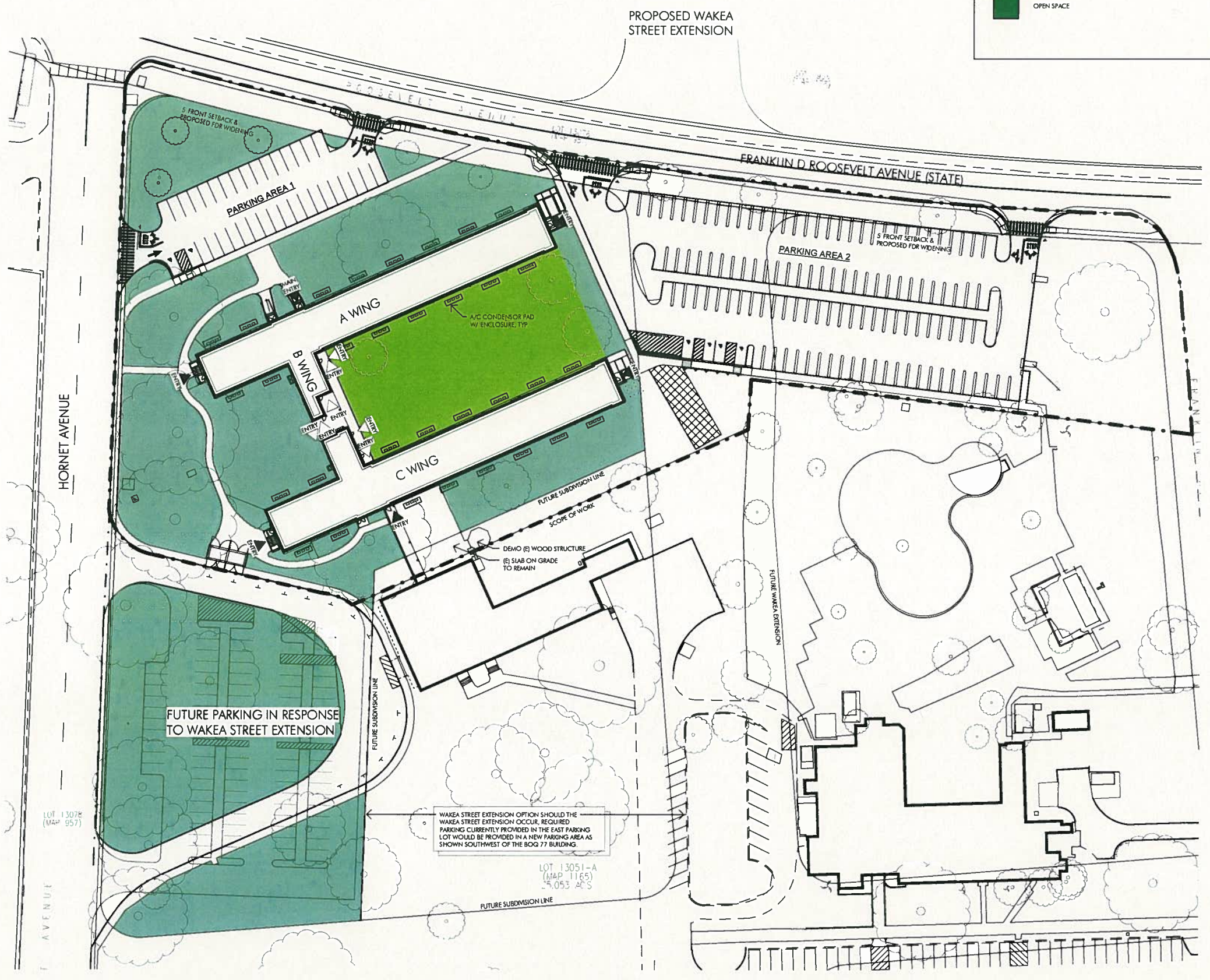
OPEN SPACE PLAN LEGEND:

- RECREATION SPACE
- OPEN SPACE

OPEN SPACE PLAN NOTES:

OPEN SPACE REQUIREMENT:	20% LOT AREA
SUBDIVISION LOT AREA:	191,813 SF
REQUIRED OPEN SPACE (20%):	38,363 SF
PROVIDED OPEN SPACE: (includes recreation space)	124,091 SF (65%)
RECREATION SPACE REQUIREMENT:	55 SF PER DWELLING UNIT
PROPOSED DWELLING UNITS:	100 UNITS
REQUIRED RECREATION SPACE:	5,500 SF
PROVIDED RECREATION SPACE:	20,088 SF

NOTE: BASED UPON FUTURE SUBDIVISION AS ILLUSTRATED.



1 PLOT PLAN
1" = 40'-0"

N

0' 20' 40' 80' 160'

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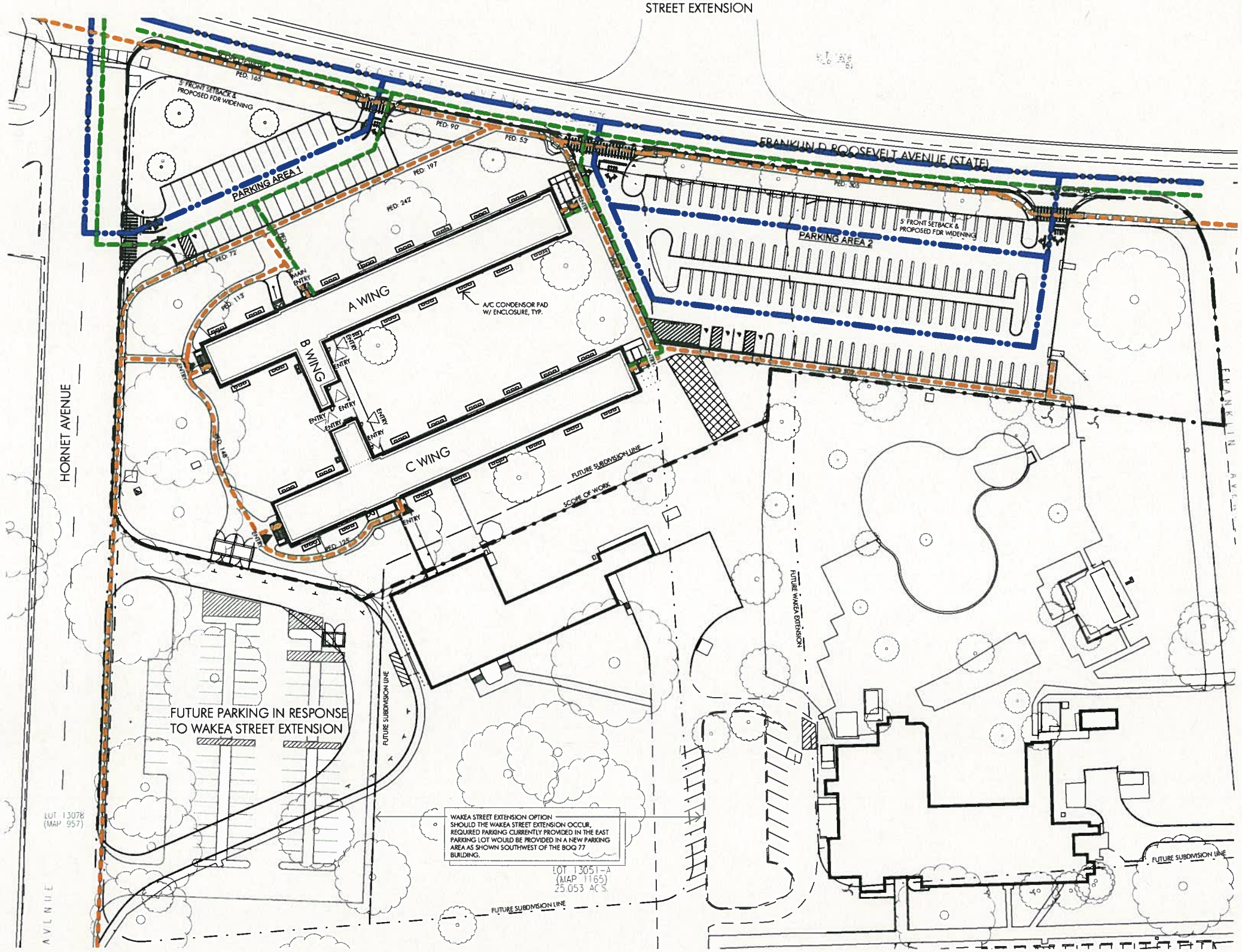
OPEN SPACE PLAN

SHEET NUMBER	JOB NUMBER
H-0.02	21309
	SCALE: As indicated



1 PLOT PLAN
1" = 40'-0"

N

0' 20' 40' 80' 160'

CIRCULATION LEGEND:

- PEDESTRIAN CIRCULATION
- BICYCLE CIRCULATION
- VEHICULAR CIRCULATION

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PEDESTRIAN, BICYCLE, & VEHICULAR CIRCULATION

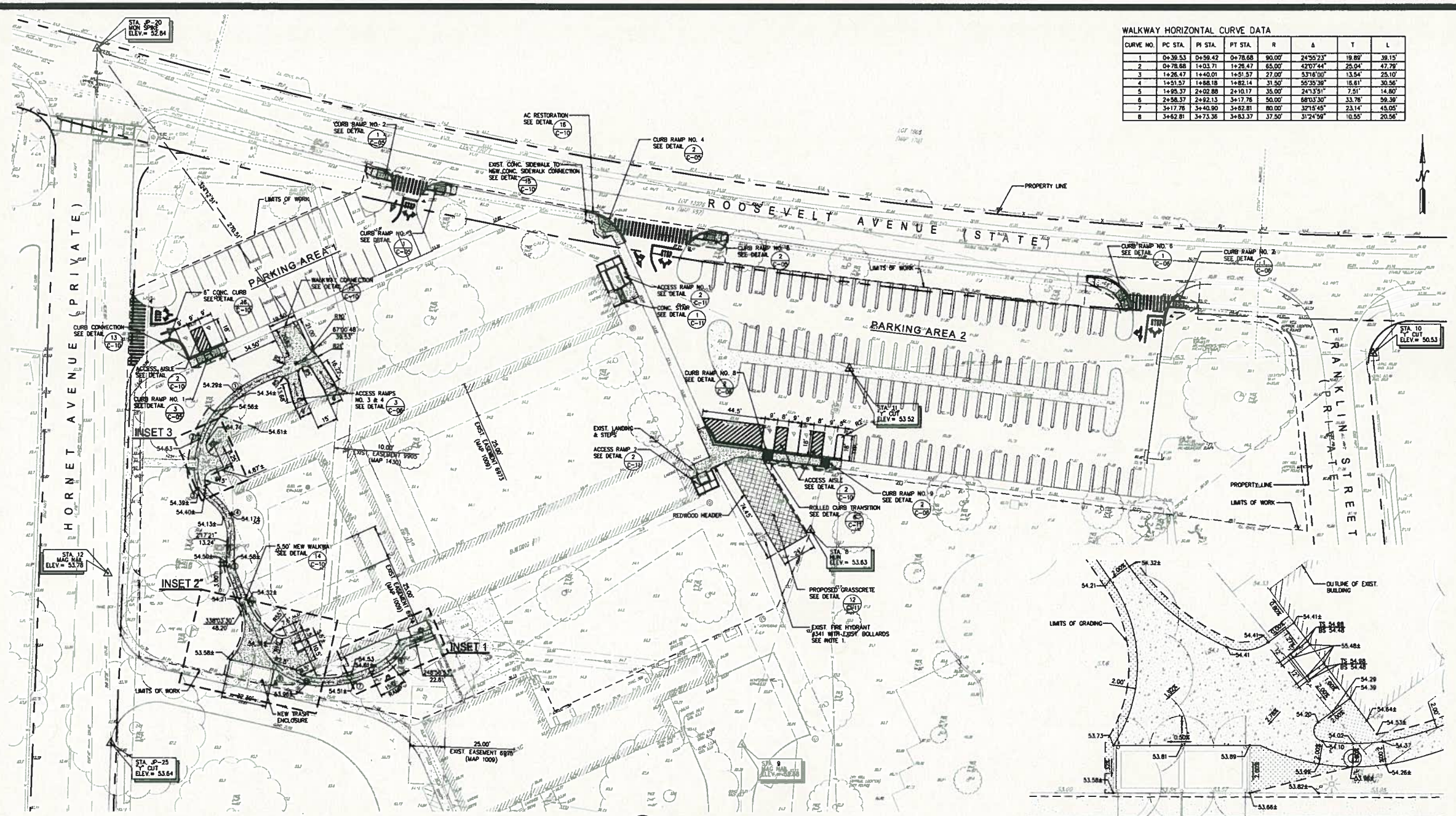
SHEET NUMBER
H-0.03

JOB NUMBER
21309

SCALE
As indicated

WALKWAY HORIZONTAL CURVE DATA

CURVE NO.	PC STA.	PI STA.	PT STA.	R	Δ	T	L
1	0+39.53	0+59.42	0+78.68	80.00'	24°55'23"	19.89'	39.15'
2	0+78.68	1+03.71	1+28.47	65.00'	42°07'44"	25.04'	47.79'
3	1+28.47	1+40.01	1+51.57	27.00'	57°6'00"	13.54'	25.10'
4	1+51.57	1+88.18	1+82.14	31.50'	56°35'38"	18.61'	30.56'
5	1+95.37	2+02.88	2+10.17	35.00'	24°13'51"	7.51'	14.80'
6	2+58.37	2+92.13	3+17.78	50.00'	68°03'30"	33.76'	59.39'
7	3+17.78	3+40.90	3+52.81	80.00'	32°15'45"	23.14'	45.05'
8	3+62.81	3+73.36	3+83.37	37.50'	31°24'59"	10.55'	20.56'



1 C-04 SITE LAYOUT/GRADING PLAN
SCALE: 1" = 30'

LEGEND:

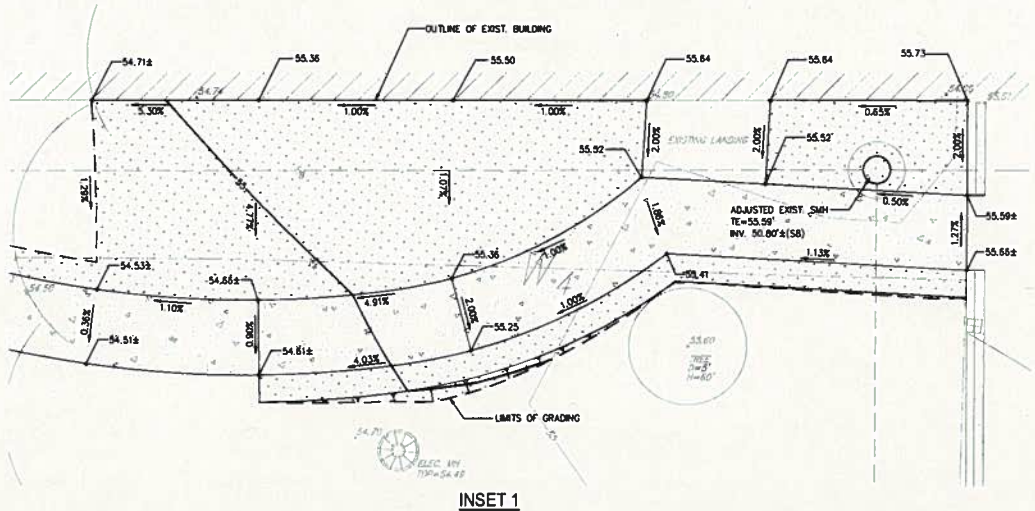
- LIMITS OF WORK
- LIMITS OF GRADING
- TRAVERSE LINE
- PROPERTY LINE
- EXIST. CHAIN LINK FENCE
- CONCRETE PAVEMENT
- GRASSCRETE AREA
- BENCHMARK
- EXIST. TREE

NOTES:

1. CONTRACTOR TO REPAIR ALL BENT AND BROKEN BOLLARDS. CONTRACTOR SHALL WELD SUPPORTING BRACES TO BOLLARDS.
2. CONTRACTOR TO CLEAR ALL VEGETATION IN PARKING AREAS 1 AND 2. EXISTING AC PARKING AREAS SHALL BE RESEALED AND RESTRIPED PER ITS ORIGINAL LAYOUT.
3. CONTRACTOR TO RAMP SIDEWALK TO FINISH GRADE AS REQUIRED.

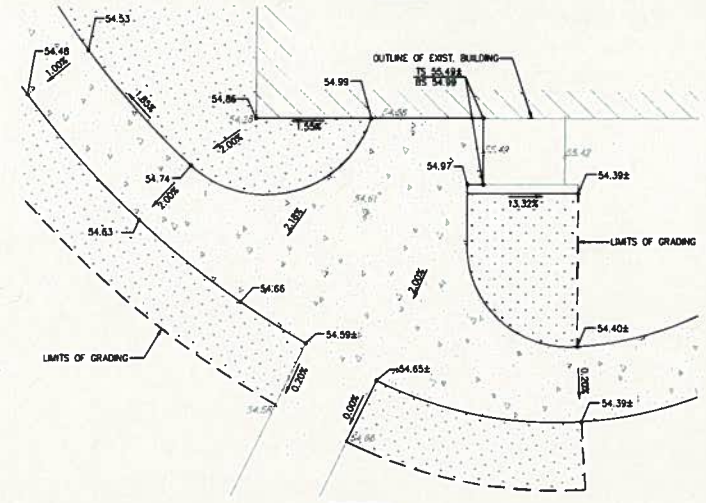
GRAPHICAL SCALE

30' 0 30' 60' 90'
SCALE: 1"=30'



INSET 1

INSET 2



INSET 3

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BOQ 77 REHABILITATION

KALAELOA VENTURES

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MULTIFAMILY RESIDENCE

PROGRESS SUBMITTAL
(NOT FOR CONSTRUCTION)
10-24-2013

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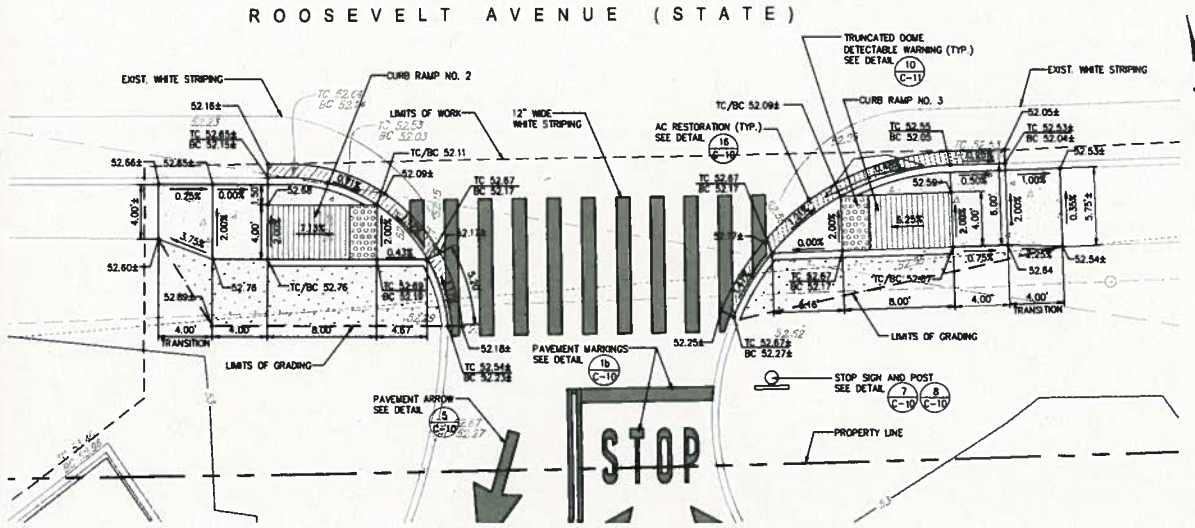
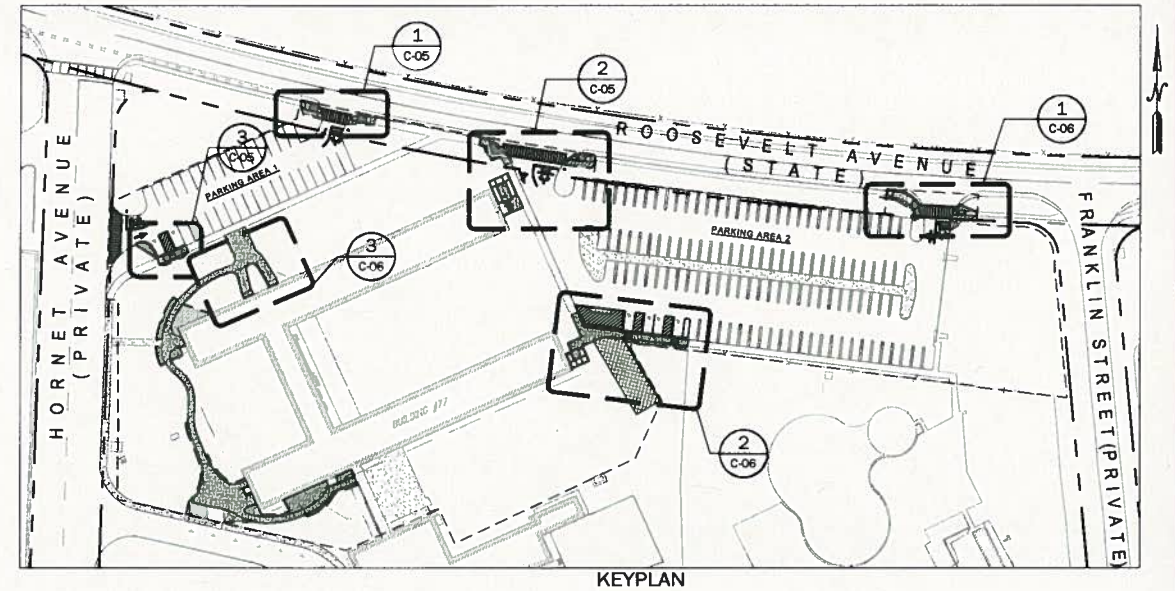
09/05/2013	

SITE LAYOUT/GRADING PLAN

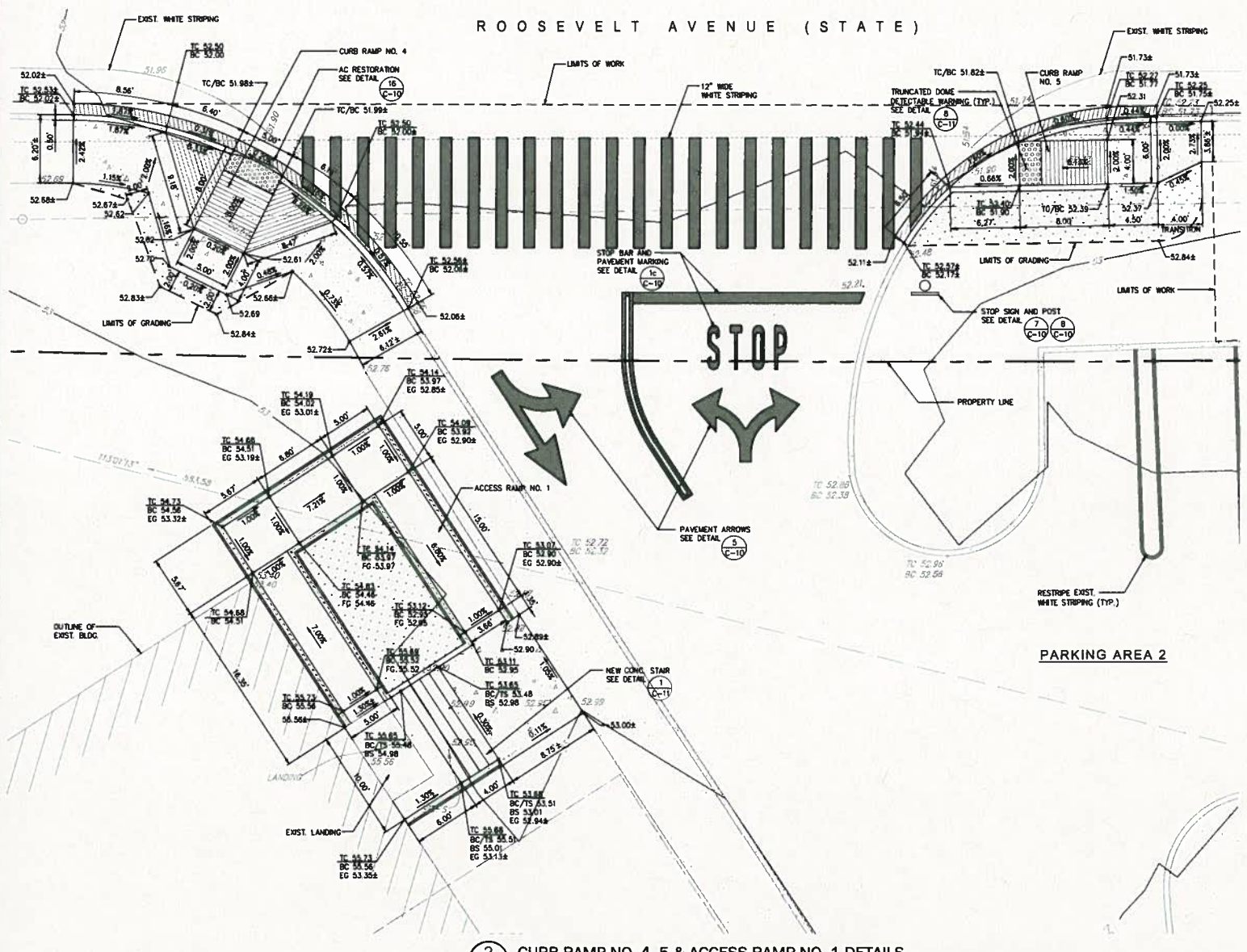
SHEET NUMBER	JOB NUMBER
C-04	21104
Ring 4 of 11	SCALE 1" = 30'



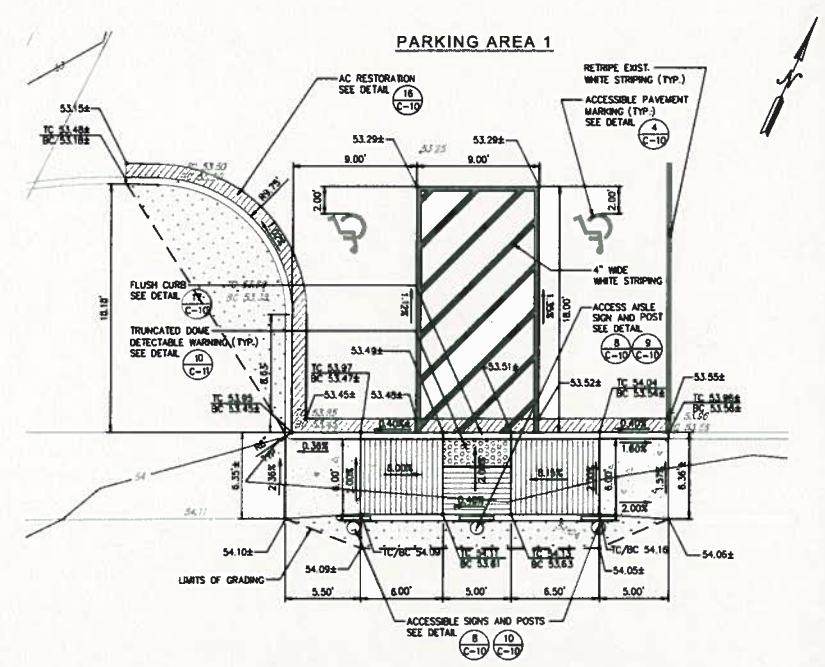
1 C-05 CURB RAMP NO. 2 & 3 DETAILS
SCALE: 1" = 5'



KEYPLAN



2 C-05 CURB RAMP NO. 4, 5 & ACCESS RAMP NO. 1 DETAILS
SCALE: 1" = 5'



3 C-05 CURB RAMP NO.1 DETAIL
SCALE: 1" = 5'

LEGEND:

- PROPERTY LINE
- LIMITS OF GRADING
- LIMITS OF WORK
- EXIST. WATERLINE W/ SIZE
- EXIST. SEWERLINE W/ SIZE
- EXIST. MAJOR CONTOUR
- EXIST. MINOR CONTOUR
- EXIST. SPOT ELEVATION
- EXIST. FIRE HYDRANT
- EXIST. SEWER MANHOLE

NOTES:

1. ALL EXISTING SIDEWALKS WITHIN WORK LIMITS SHALL BE INSPECTED FOR ADA COMPLIANCE AND INTEGRITY.
2. AFTER INSPECTION, IF THE EXISTING SIDEWALKS DOES NOT COMPLY TO ADA STANDARDS OR IS DAMAGED IN ANYWAY THAT DOESN'T PERFORM TO IT'S PURPOSE, THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK TO COMPLY TO ADA STANDARDS AND IT'S INTEGRITY.
3. ALL CURB RAMPS IN THIS PROJECT SHALL FOLLOW HDOT STANDARD, CCH STANDARD DET. R-25A AND AMERICANS WITH DISABILITY ACT.

GRAPHICAL SCALE

5' 0 5' 10' 15'

SCALE: 1"=5'

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BOQ 77 REHABILITATION

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10-24-2013

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△ 09/05/2013	△
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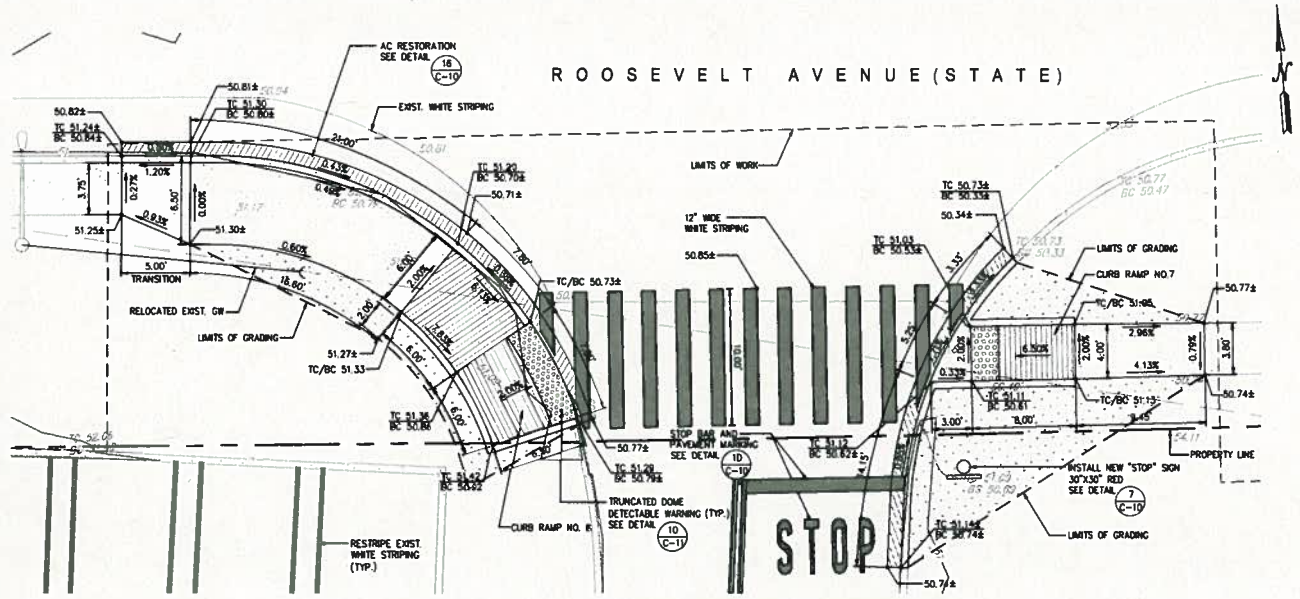
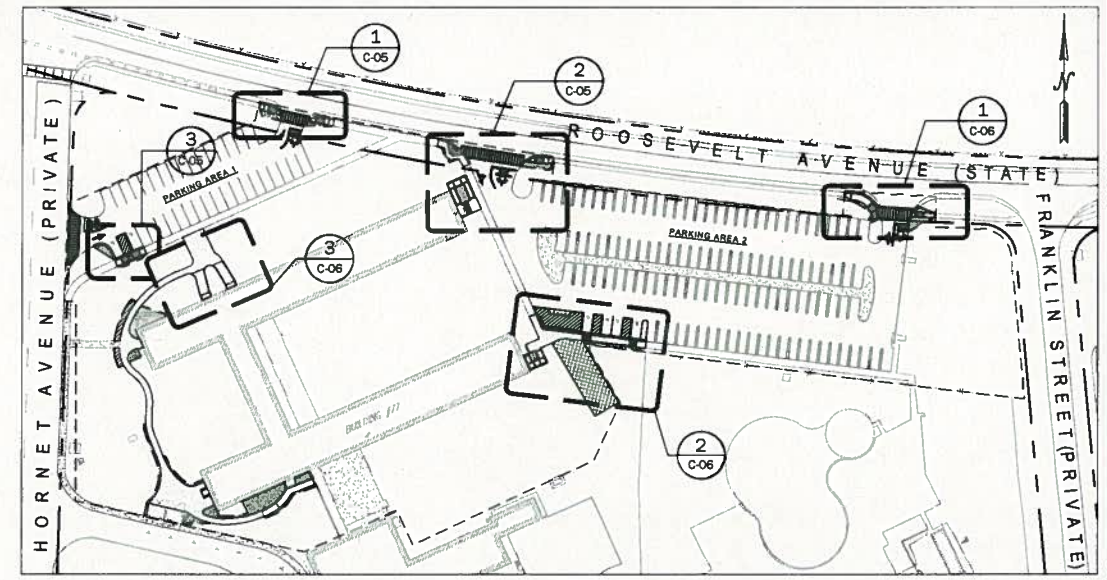
CURB RAMP PLAN AND DETAIL - 1

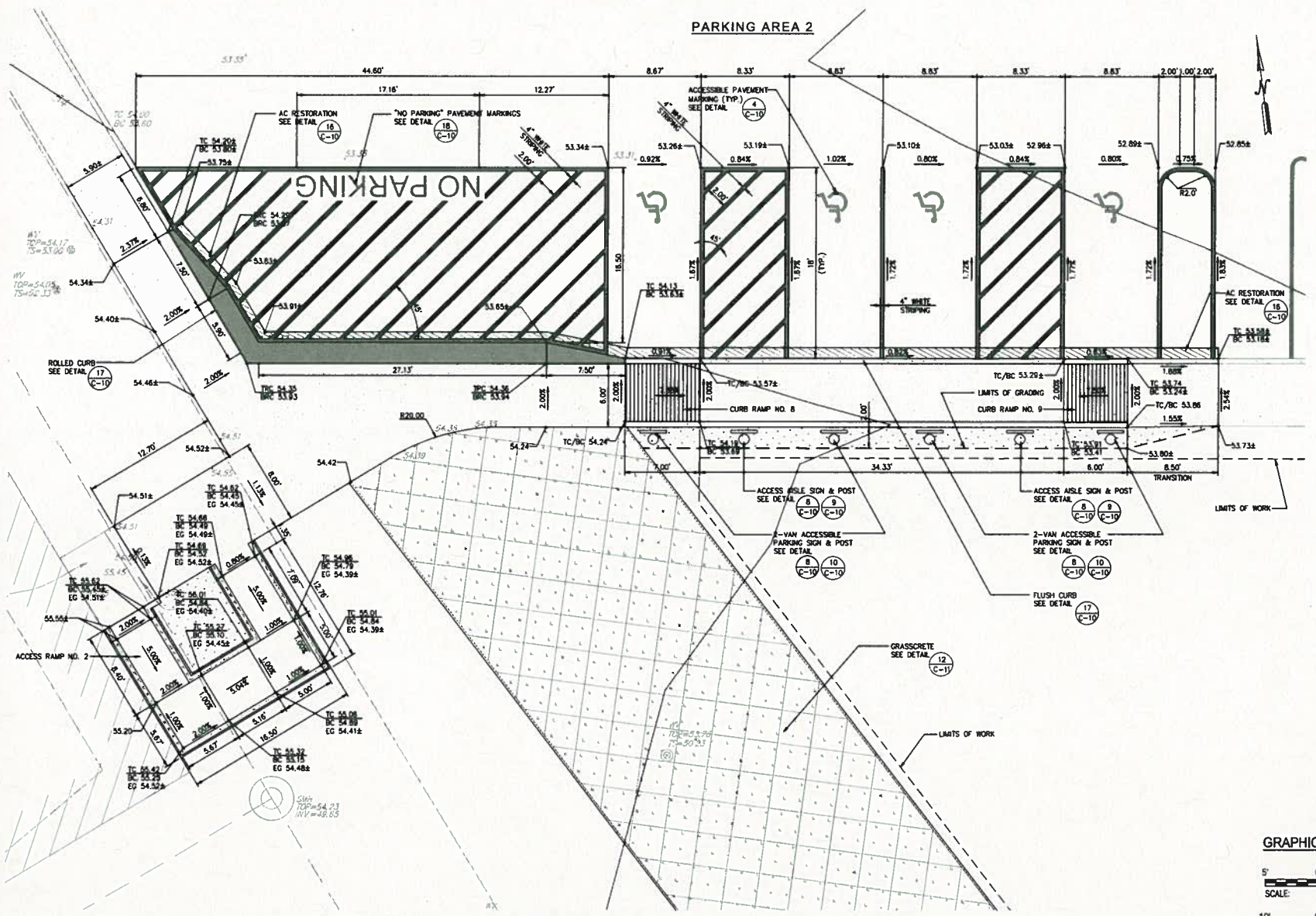
SHEET NUMBER	JOB NUMBER
C-05	21104
Ring 5 of 11	SCALE AS SHOWN



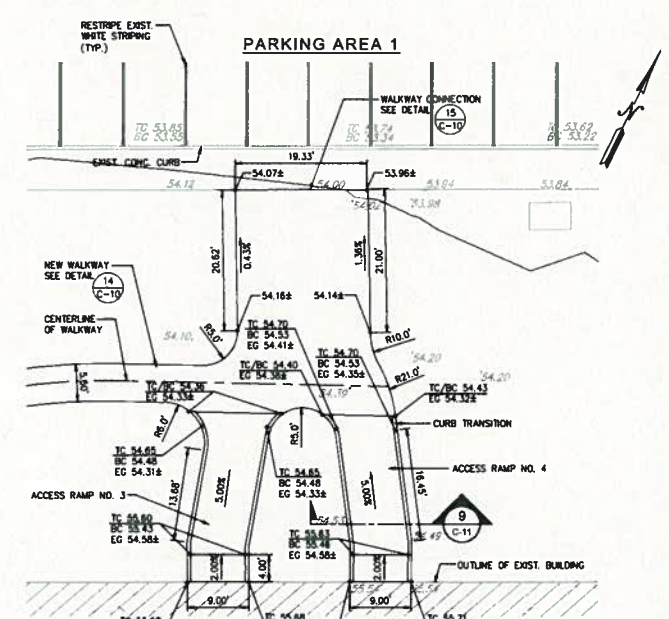
1 C-06 CURB RAMP NO.6 & 7 DETAILS
SCALE: 1" = 5'



KEYPLAN



2 C-06 CURB RAMP NO. 8, 9 & ACCESS RAMP NO. 2 DETAILS
SCALE: 1" = 5'



3 C-06 ACCESS RAMPS NO. 3 & 4 DETAILS
SCALE: 1" = 10'

LEGEND:

- PROPERTY LINE
- LIMITS OF WORK
- LIMITS OF GRADING
- EXIST. WATERLINE W/ SIZE
- EXIST. SEWERLINE W/ SIZE
- EXIST. MAJOR CONTOUR
- EXIST. MINOR CONTOUR
- EXIST. SPOT ELEVATION
- EXIST. FIRE HYDRANT
- EXIST. SEWER MANHOLE

GRAPHICAL SCALE:

5' 0 5' 10' 15'
SCALE: 1"=5'

10' 0 10' 20' 30'
SCALE: 1"=10'

NOTES:

1. ALL EXISTING SIDEWALKS WITHIN WORK LIMITS SHALL BE INSPECTED FOR ADA COMPLIANCE AND INTEGRITY.
2. AFTER INSPECTION, IF THE EXISTING SIDEWALKS DOES NOT COMPLY TO ADA STANDARDS OR IS DAMAGE IN ANYWAY THAT DOESN'T PERFORM TO IT'S PURPOSE, THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK TO COMPLY TO ADA STANDARDS AND IT'S INTEGRITY.
3. ALL CURB RAMPS IN THIS PROJECT SHALL FOLLOW HDOT STANDARD, CCH STANDARD DET. R-25A AND AMERICANS WITH DISABILITY ACT.

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BOQ 77 REHABILITATION

KALAELOA VENTURES

737 BISHOP ST.
MAUKA TOWER SUITE 2750

MULTIFAMILY RESIDENCE

PROGRESS SUBMITTAL
(NOT FOR CONSTRUCTION)
10-24-2013

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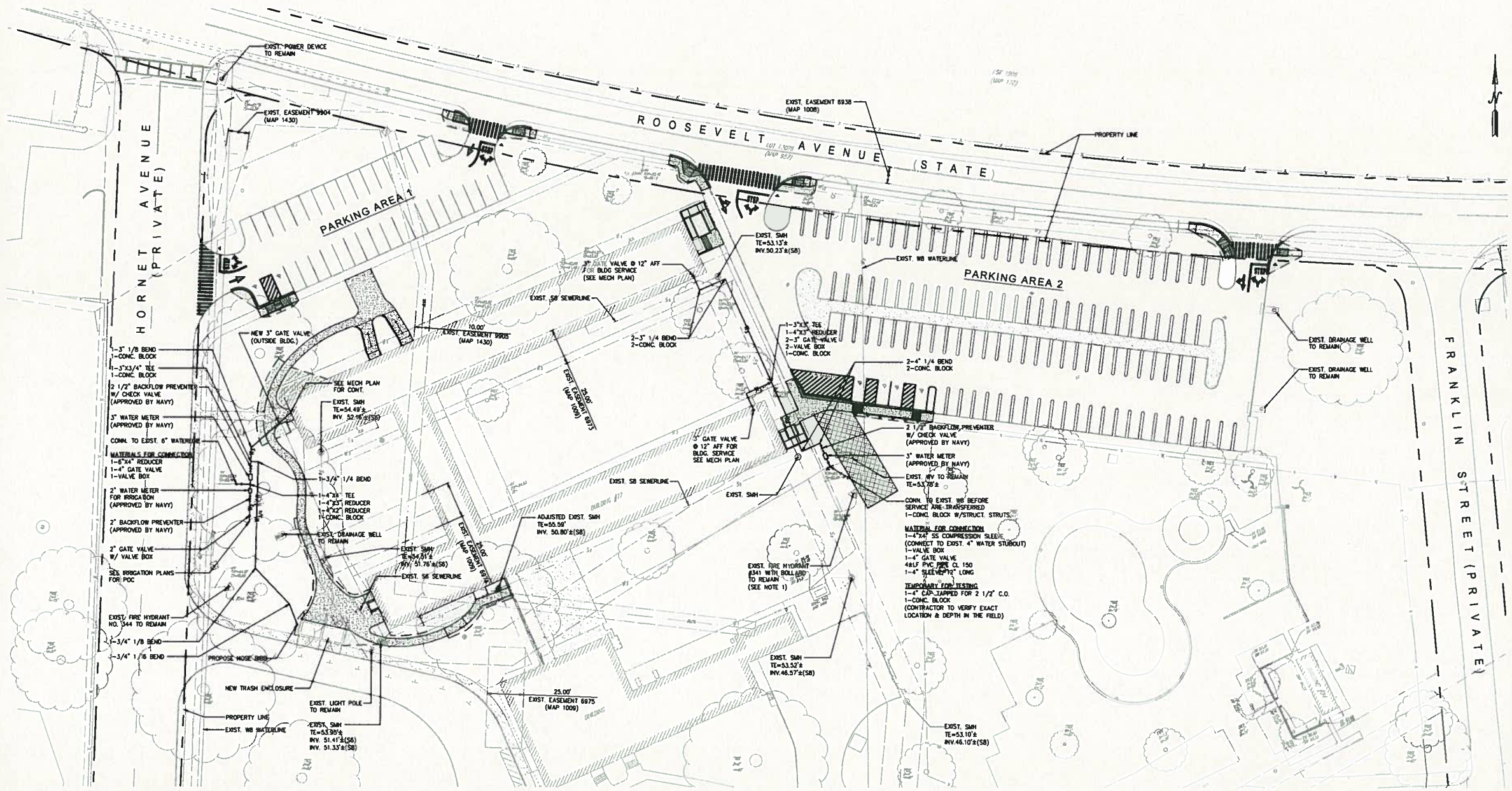
08/05/2013	

CURB RAMP PLAN AND DETAIL - 2

SHEET NUMBER	JOB NUMBER
C-06	21104
Ring 6 of 11	SCALE AS SHOWN



1 C-07 SITE UTILITY PLAN
SCALE: 1" = 30'

NOTE:

1. CONTRACTOR TO REPAIR ALL BENT AND BROKEN BOLLARDS. CONTRACTOR SHALL WELD SUPPORTING BRACE TO BOLLARDS.

LEGEND:

	PROPERTY LINE
W4	WATERLINE W/ SIZE
W4	EXIST. WATERLINE W/ SIZE
S4	EXIST. SEWERLINE W/ SIZE
X X	EXIST. CHAINLINK FENCE
	EXIST. FIRE HYDRANT
	EXIST. SEWER MANHOLE

GRAPHICAL SCALE

30' 0 30' 60' 90'
SCALE: 1"=30'

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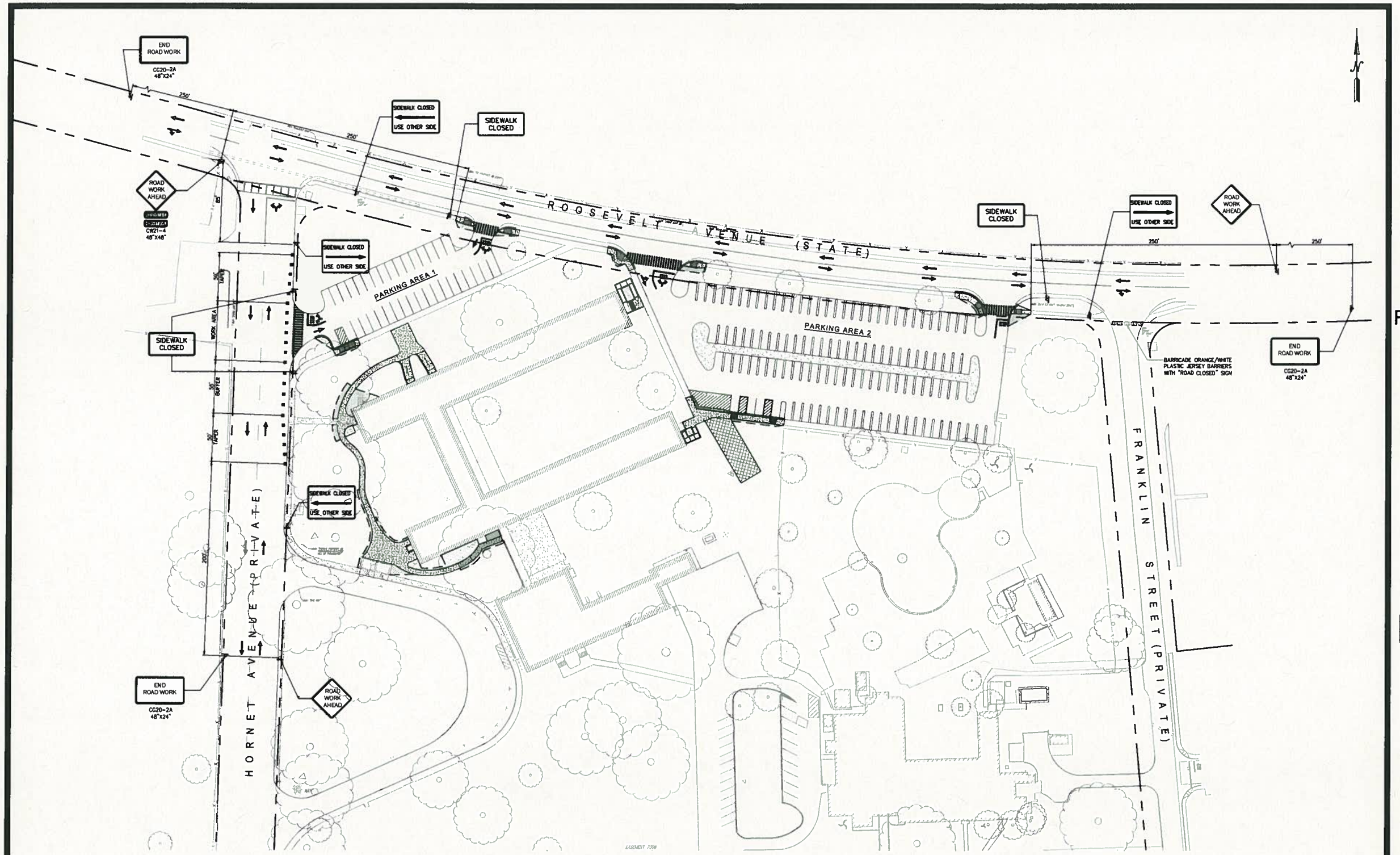
09/05/2013	

SITE UTILITY PLAN

SHEET NUMBER	JOB NUMBER
C-07	21104
Ring 7 of 11	SCALE 1" = 30'



1 C-08 TRAFFIC CONTROL PLAN
SCALE: 1" = 40'

LEGEND:

- SIGN
- CONE/DELINEATOR
- DIRECTION OF TRAVEL
- BARRICADE

SIGN:

- ROAD WORK AHEAD — CW21-4 48"X48"
- END ROAD WORK — CG20-2A 48"X24"
- SIDEWALK CLOSED / USE OTHER SIDE — RG-3L 48"X24"
- SIDEWALK CLOSED — R9-9 24"X12"

NOTE:

1. ALL TRAFFIC SIGNS NEED TO BE RETRO-REFLECTIVE AND HIGH INTENSITY TYPE.
2. CONTRACTOR TO FOLLOW ALL MUTCD AND STATE REQUIREMENTS.

GRAPHICAL SCALE
40' 0 40' 80' 120'
SCALE: 1"=40'

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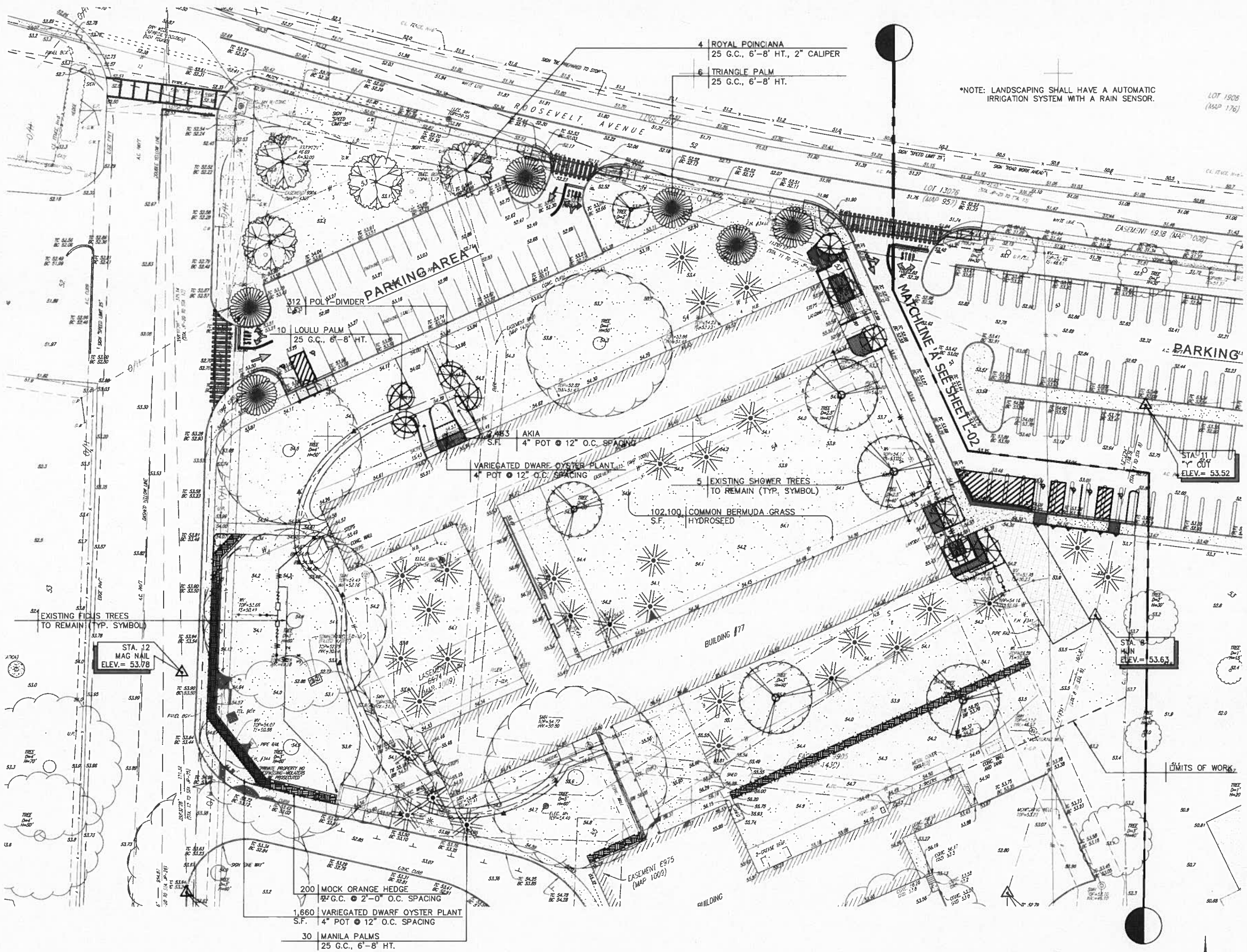
TRAFFIC CONTROL PLAN

SHEET NUMBER	JOB NUMBER
C-08	21104
Ring 8 of 11	SCALE 1" = 30'



1 L-01 LANDSCAPE PLANTING PLAN 1
SCALE: 1" = 20'

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LANDSCAPE PLANTING PLAN

SHEET NUMBER	JOB NUMBER
L-01	21104
Ring of	SCALE 1" = 20'

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HONOLULU, HAWAII 96817
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EMAIL:irvinhigashi@hawaiiantel.net

*NOTE: LANDSCAPING SHALL HAVE A AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR.

PLANT LIST:

Trees and Palms	Size and Conditions	Quantity
Royal Poinciana Tree	25 g.c., 6'-8' height, 2" caliper	8
Loulu Palm	25 g.c., 6'-8' height	10
Manila Palm	25 g.c., 6'-8' height	30
Triangle Palm	25 g.c., 6'-8' height	12

Shrubs	Size and Conditions	Quantity
Mock Orange Hedge	each, 2 g.c.; @ 2'-0" o.c. spacing	200

Ground Covers	Size and Conditions	Quantity
Variegated Dwarf Oyster Plant	s.f.; 4" pot @ 12" o.c. spacing	1,660
Akia	s.f.; 4" pot @ 12" o.c. spacing	2,463
Common Bermuda Grass	s.f.; hydro-seeded (5 lbs. / 1,000 s.f.)	128,054

Miscellaneous	Size and Conditions	Quantity
Clear & Grub Existing Weeds	s.f.	132,177
Poly Divider	l.f.,	312
Organic Nutrient Soil Conditioner	lbs.; 5 lbs./1000 s.f. (132,177 s.f.)	660
Irrigation System	s.f.	132,177
Maintenance Period	Months	3
Organic Non-Nutrient Soil Conditioner	c.y., 1" layer (132,177 s.f.) roto-till 4" deep	408

1 / L-02 LANDSCAPE PLANTING PLAN 2
SCALE: 1" = 20'

GRAPHICAL SCALE
20' 0 20' 40' 80'
SCALE: 1"=20'

BOQ 77 REHABILITATION

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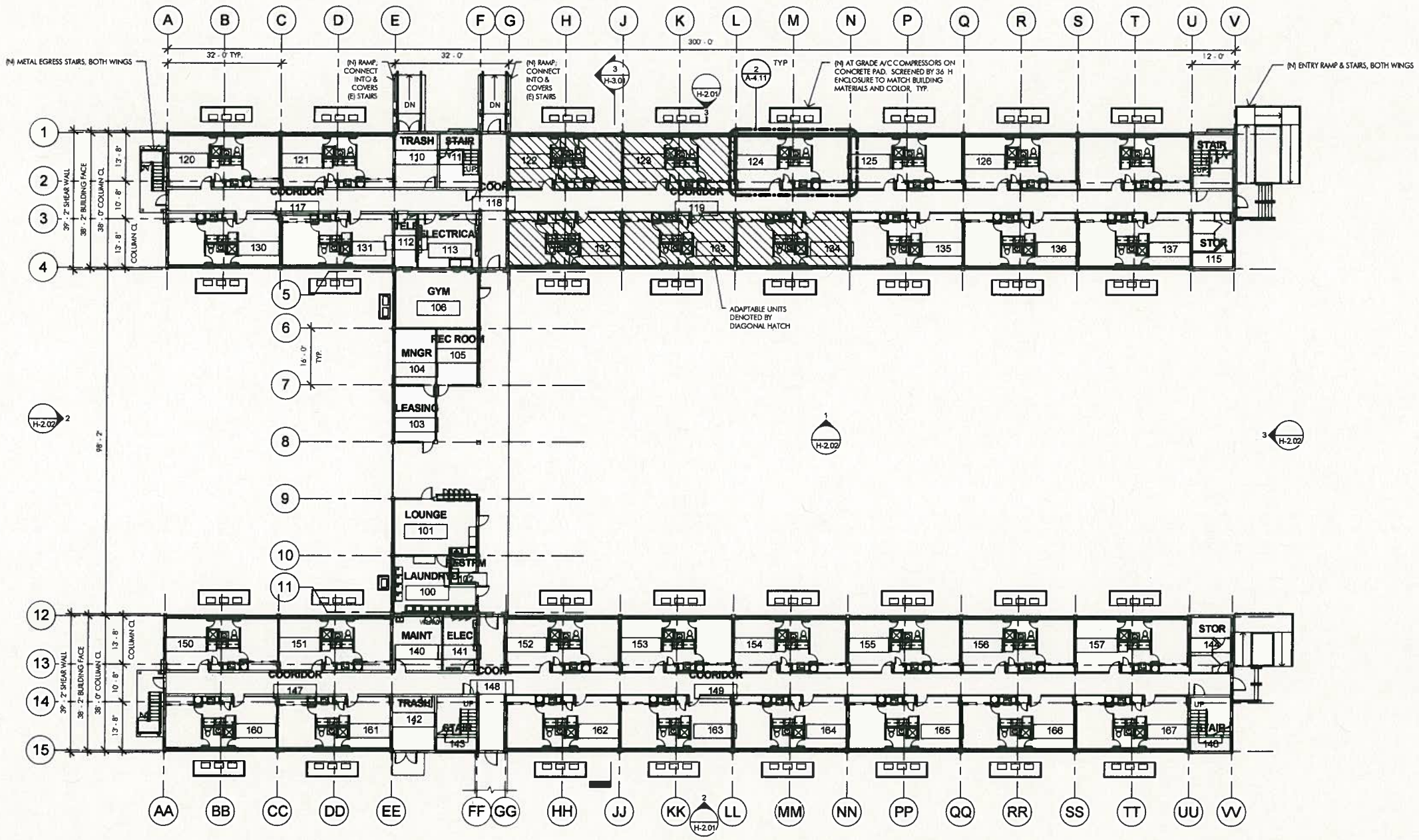
LANDSCAPE PLANTING PLAN

SHEET NUMBER	JOB NUMBER
L-02	21104
Ring of	SCALE 1" = 20'



1 LEVEL 1 PLAN
1/16" = 1'-0"

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APARTMENT RESIDENCE

TMK: 91013011

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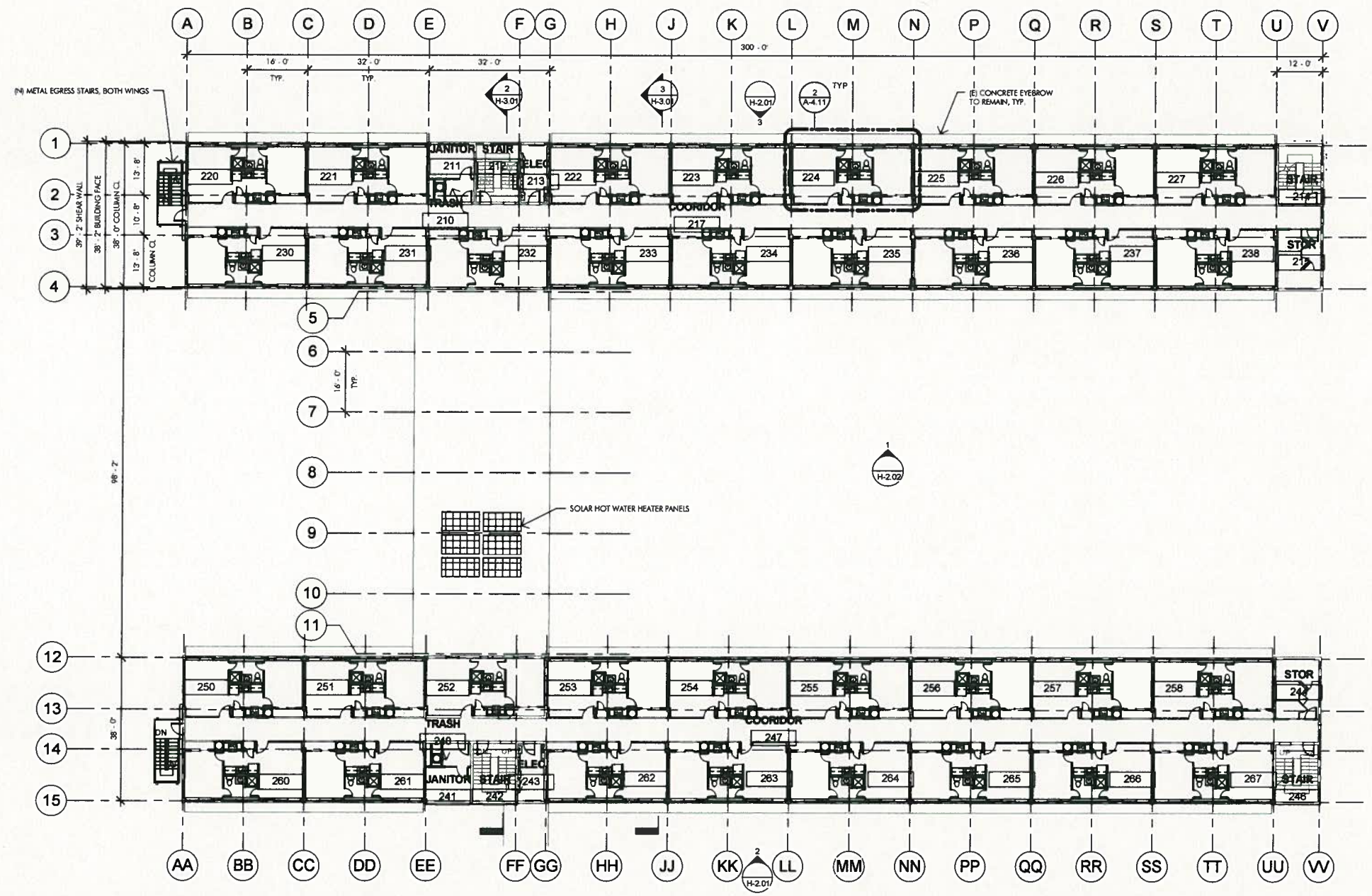
LEVEL 1 PLAN

SHEET NUMBER	JOB NUMBER
H-1.01	21309
	SCALE 1/16" = 1'-0"



1 LEVEL 2 & 3 PLAN
1/16" = 1'-0"

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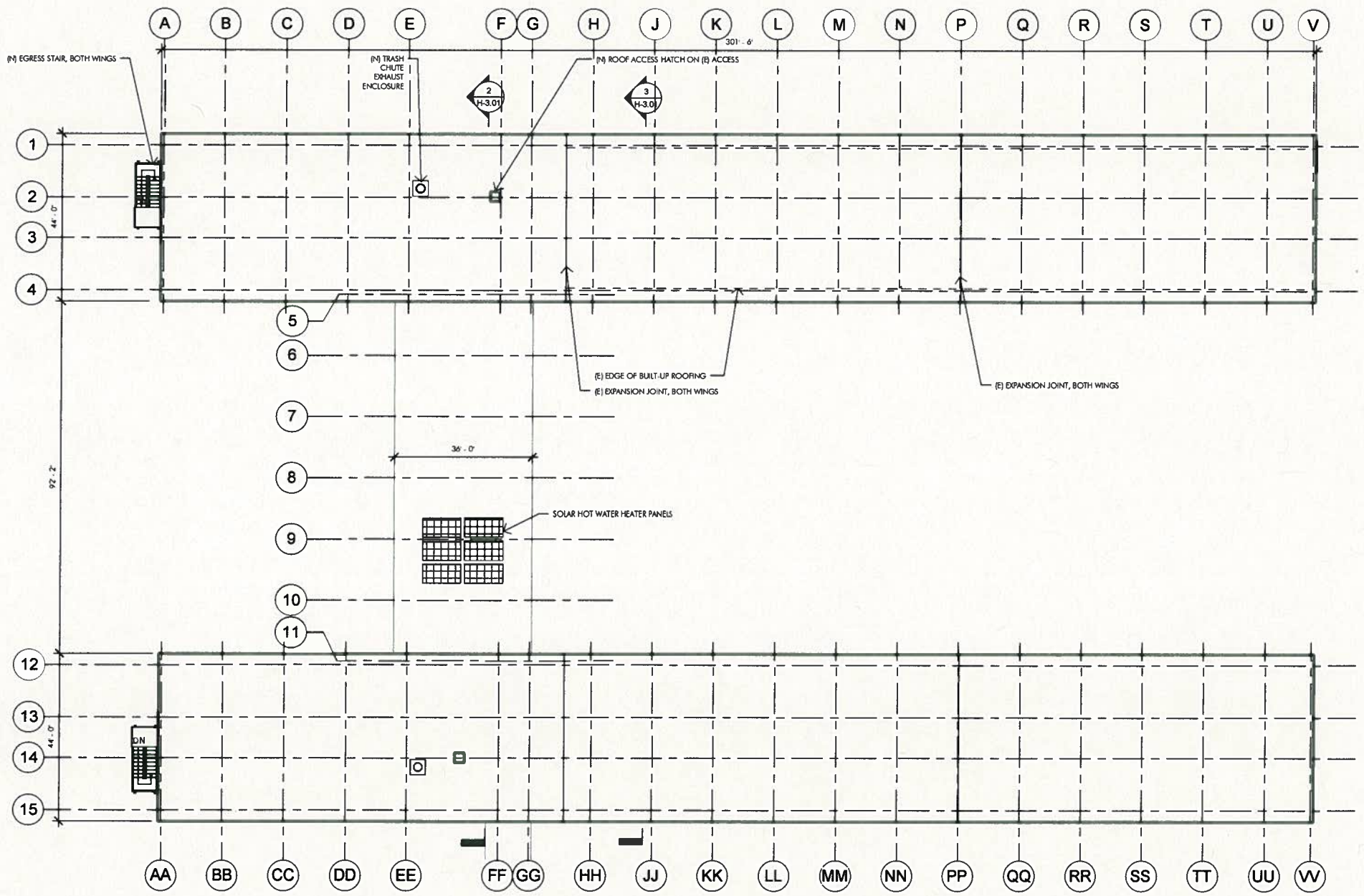
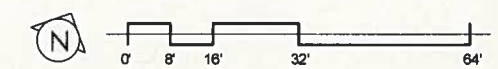
LEVEL 2 & 3 PLAN

SHEET NUMBER	JOB NUMBER
H-1.02	21309
	SCALE 1/16" = 1'-0"



1 ROOF PLAN - HCDA
1/16" = 1'-0"



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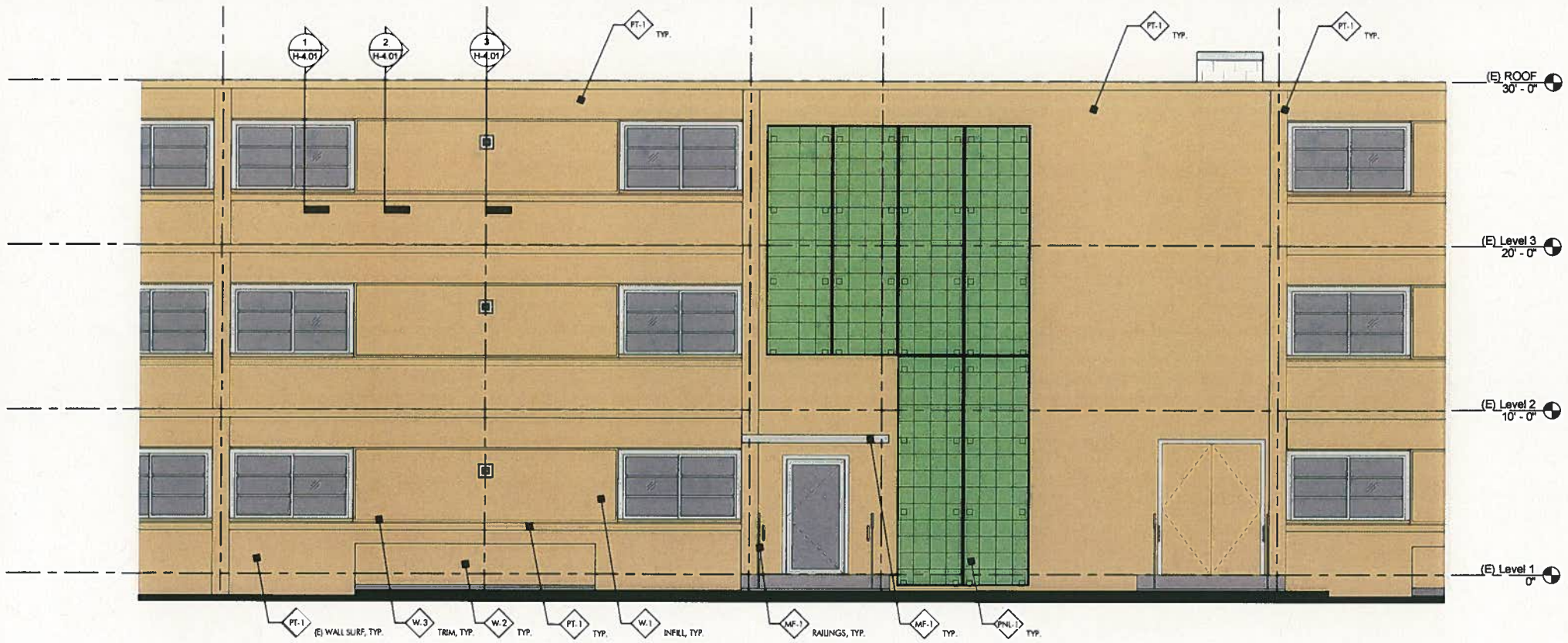
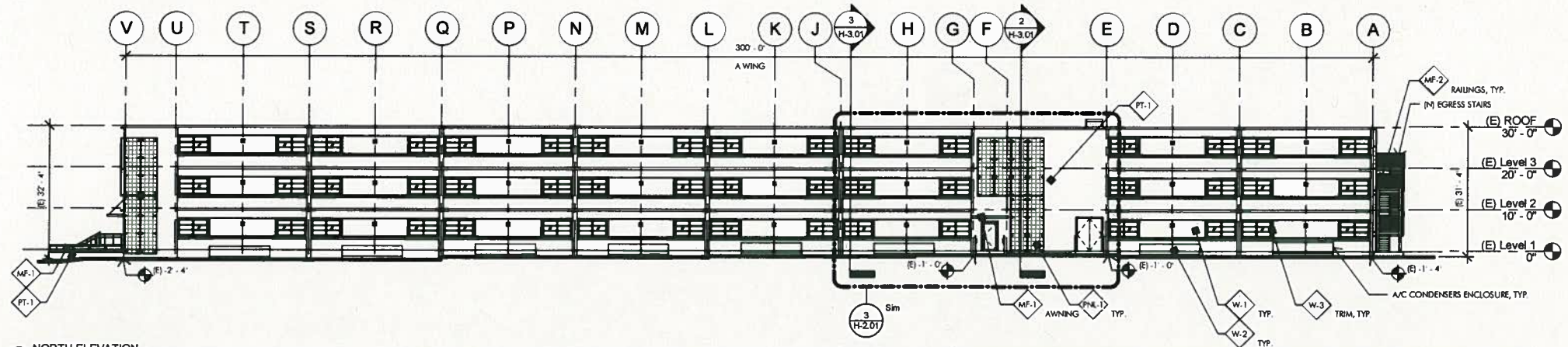
ROOF PLAN

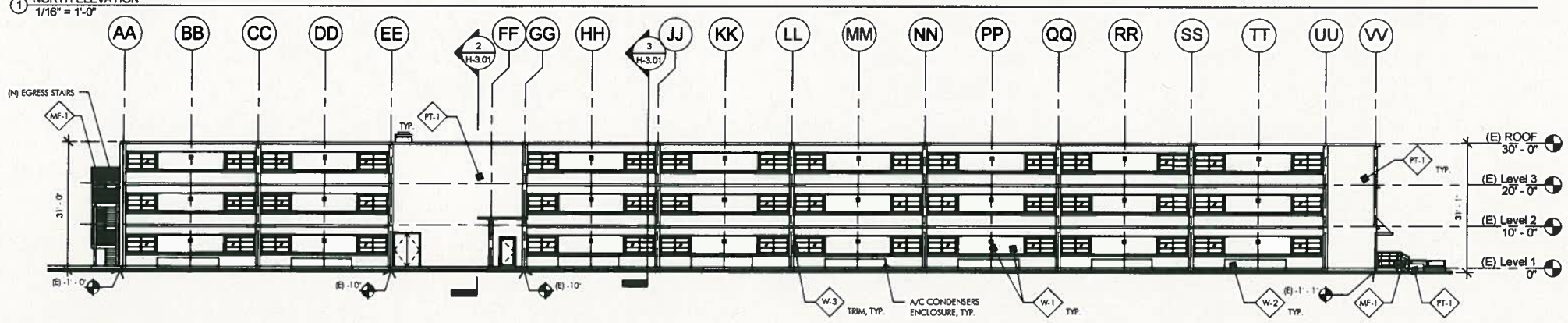
SHEET NUMBER	JOB NUMBER
H-1.03	21309
	SCALE 1/16" = 1'-0"



3 ENLARGED NORTH ENTRY ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"



2 SOUTH ELEVATION - HCDA
1/16" = 1'-0"

EXTERIOR FINISH LEGEND

X.X FINISH TAG

EXTERIOR FINISHES:

MF-1	ALL MISC METAL FINISHES COLOR: ALUMINUM FINISH
MF-2	RAILINGS COLOR: ALUMINUM FINISH
PNL-1	VERTICAL GREEN TRELLIAGE FRAME FINISH: ALUMINUM FINISH
PT-1	SPOT PRIME AND PAINT WITH 2 COATS BLDG COLOR 1: NAVY TAN
W-1	HARDI PANEL SIDING COLOR: MATCH PT-1
W-2	HARDI PANEL SIDING - A/C ENCLOSURES COLOR: MATCH PT-1
W-3	HARDI TRIM COLOR: MATCH MF-1

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2/3/2014	

NORTH & SOUTH ELEVATIONS

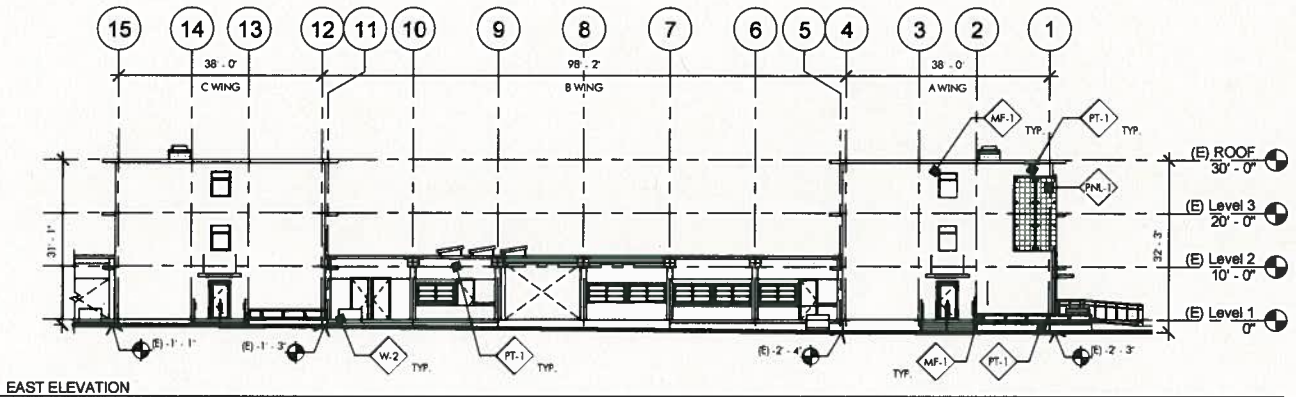
SHEET NUMBER	JOB NUMBER
H-2.01	21309
	SCALE As indicated

EXTERIOR FINISH LEGEND

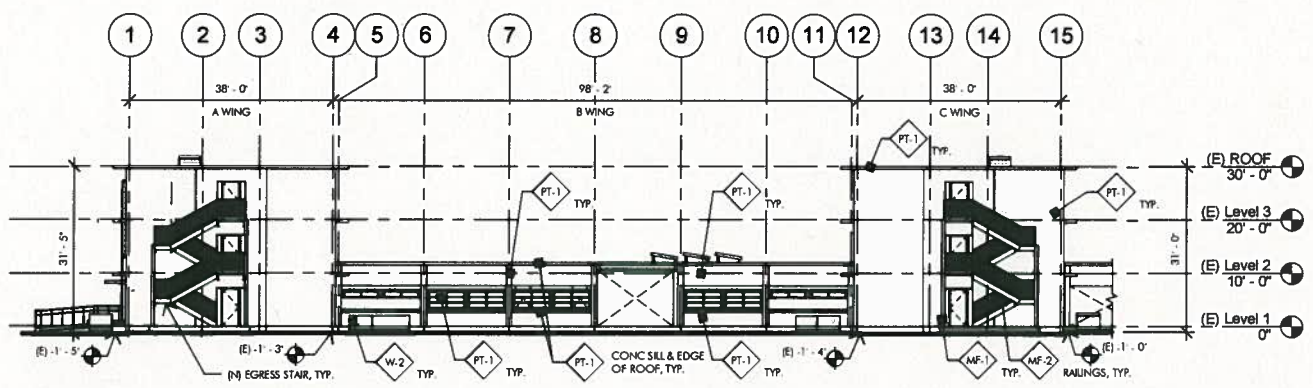
X.X — FINISH TAG

EXTERIOR FINISHES:

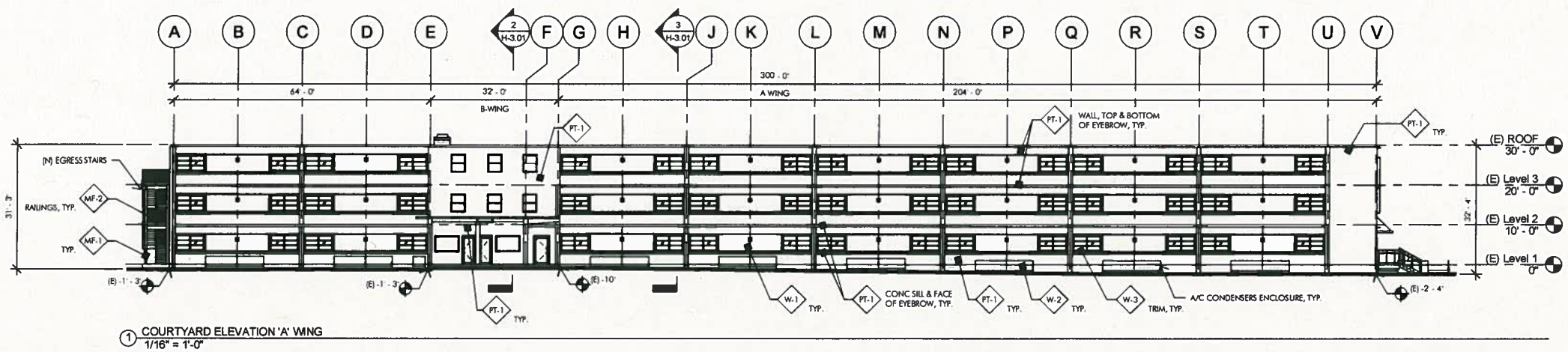
MF-1	ALL MISC METAL FINISHES COLOR: ALUMINUM FINISH
MF-2	RAILINGS COLOR: ALUMINUM FINISH
PNL-1	VERTICAL GREEN TRELLIAGE FRAME FINISH: ALUMINUM FINISH
PT-1	SPOT PRIME AND PAINT WITH 2 COATS BLDG COLOR 1: NAVY TAN
W-1	HARDI PANEL SIDING COLOR: MATCH PT-1
W-2	HARDI PANEL SIDING - A/C ENCLOSURES COLOR: MATCH PT-1
W-3	HARDI TRIM COLOR: MATCH MF-1



3 EAST ELEVATION
1/16" = 1'-0"



2 WEST ELEVATION
1/16" = 1'-0"



1 COURTYARD ELEVATION 'A' WING
1/16" = 1'-0"

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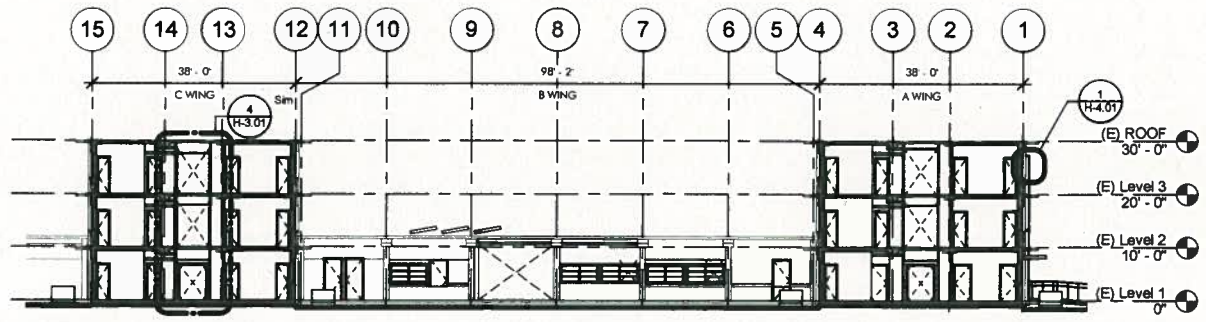
EAST, WEST, COURTYARD ELEVATIONS

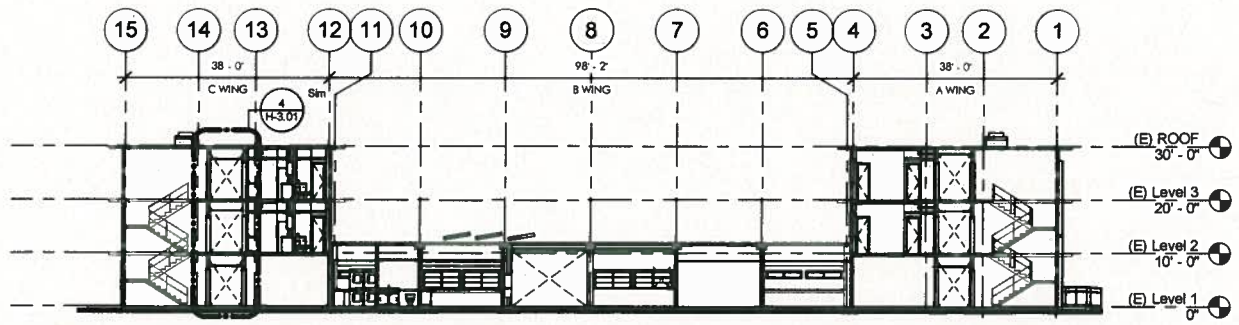
SHEET NUMBER: H-2.02

JOB NUMBER: 21309

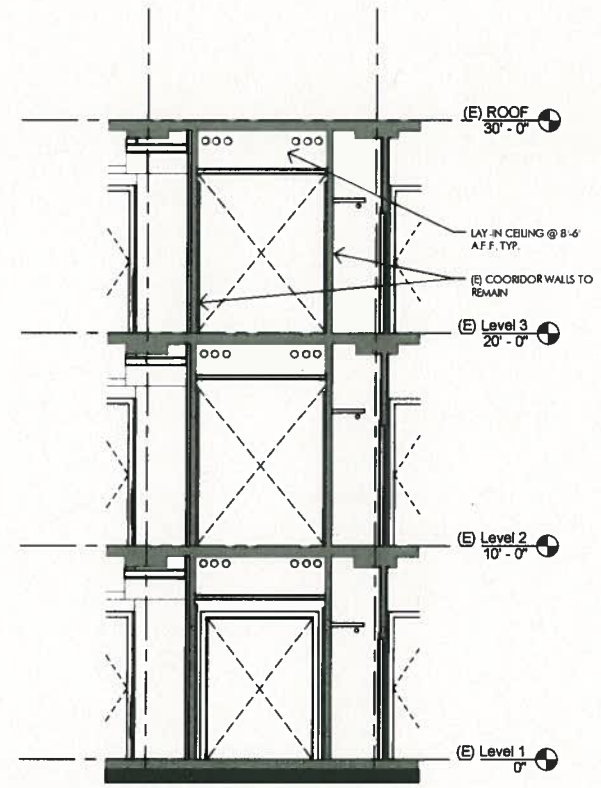
SCALE: As indicated



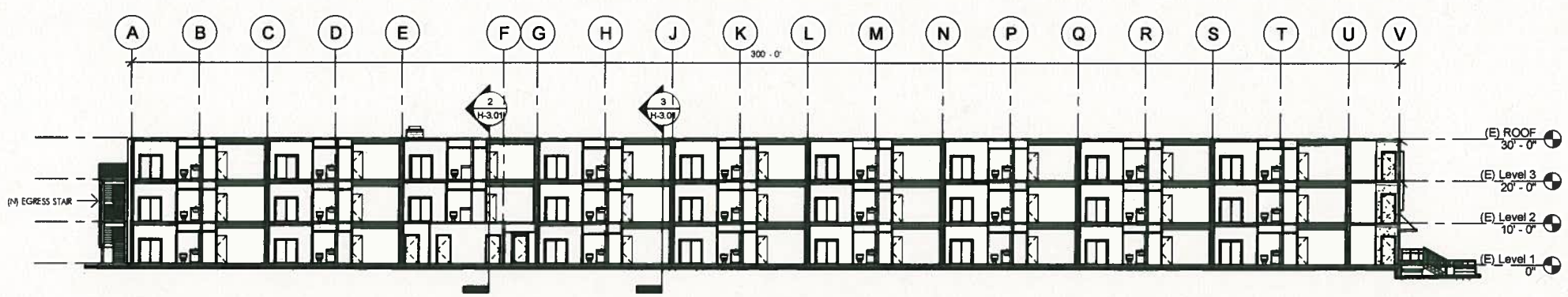
3 CROSS SECTION
1/16" = 1'-0"



2 CROSS SECTION @ B WING & STAIRS
1/16" = 1'-0"



4 COORIDOR SECTION
1/4" = 1'-0"



1 LONGITUDINAL SECTION
1/16" = 1'-0"

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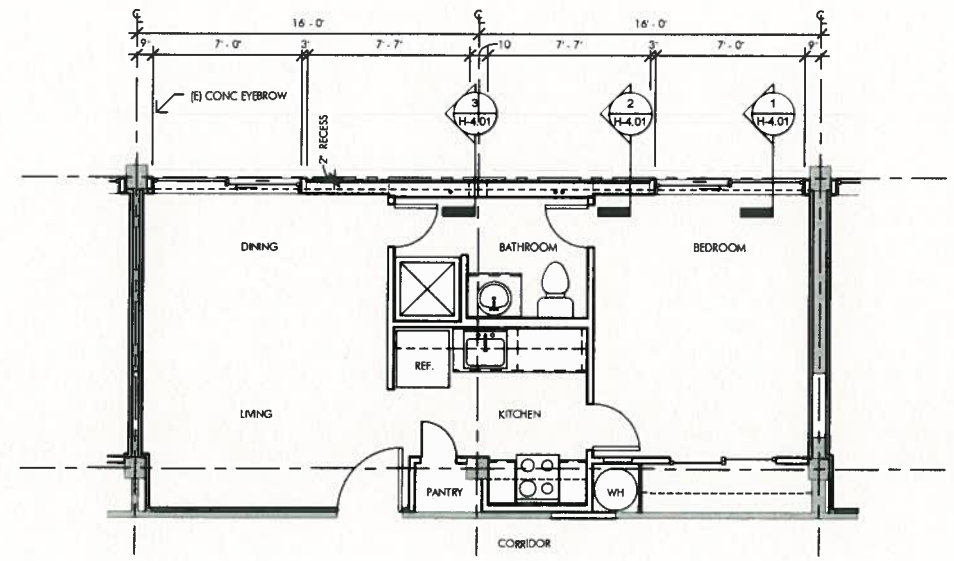
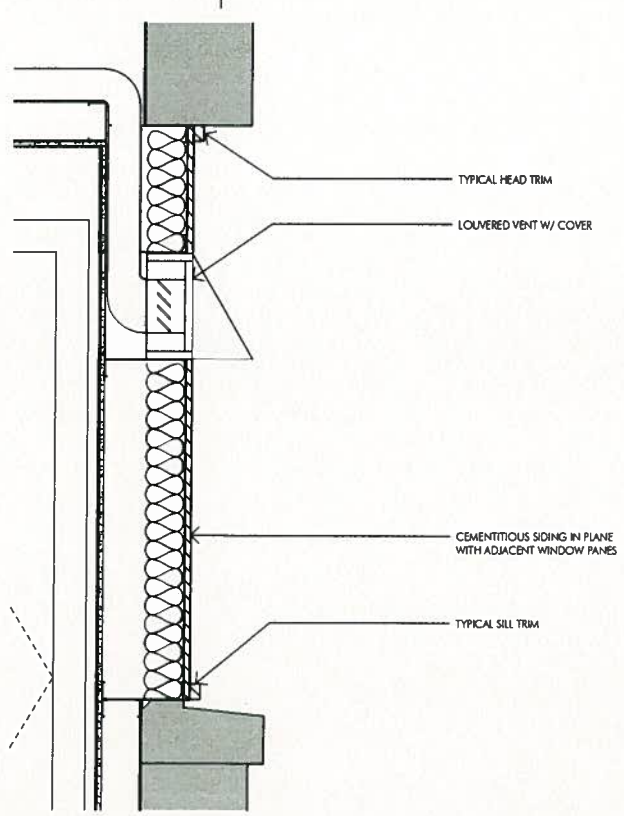
SECTIONS

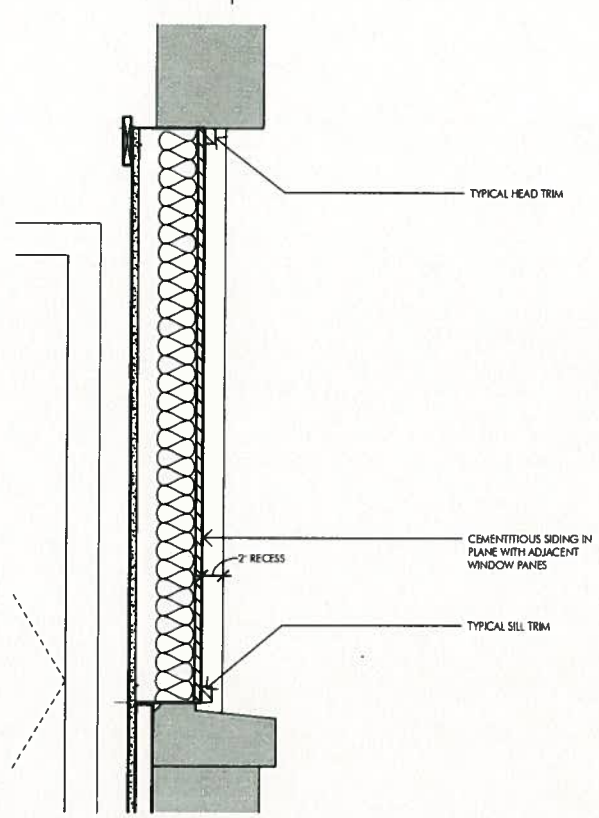
SHEET NUMBER	JOB NUMBER
H-3.01	21309
	SCALE: As indicated



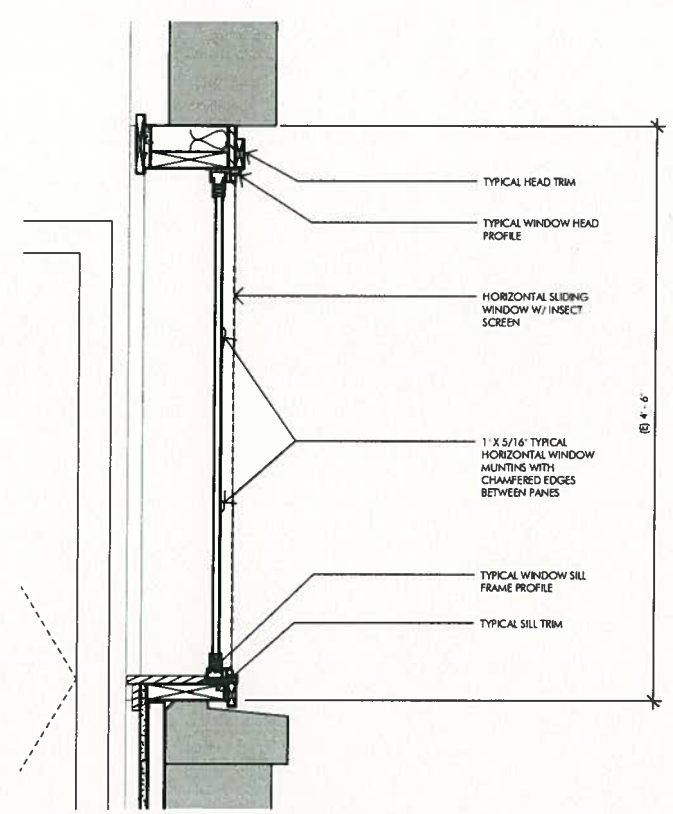
4 TYPICAL UNIT FLOOR PLAN
1/4" = 1'-0"



3 INFILL SECTION AT BATH SLIDER
1 1/2" = 1'-0"



2 INFILL SECTION AT HARDIE PANEL
1 1/2" = 1'-0"



1 INFILL SECTION AT SLIDER
1 1/2" = 1'-0"

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UNIT PLAN & WALL SECTIONS

SHEET NUMBER	JOB NUMBER
H-4.01	21309
	SCALE: As indicated