

PROPOSED
 PARCEL 10 BUILDING IMPROVEMENTS
 FOR

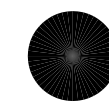
HUNT COMMUNITIES HAWAII

91-1057 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707

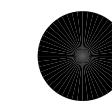
KALAELOA, BARBER'S POINT

TMK NO.: 9-1-013: 097

KAPOLEI



OAHU



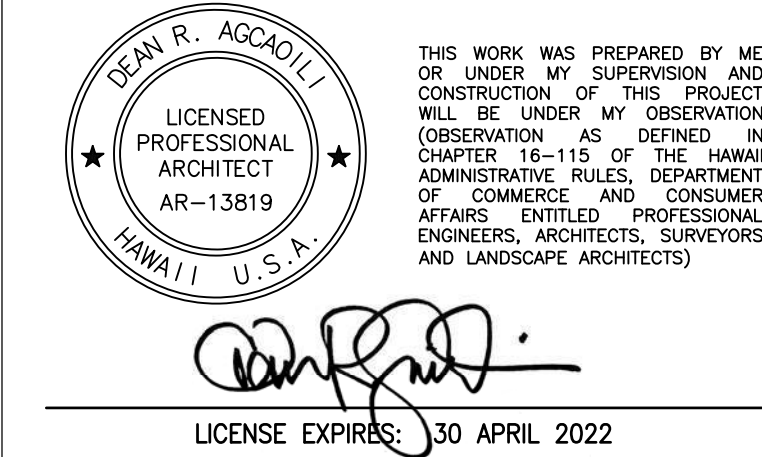
HAWAII

- | | | |
|-----------------------|------------------------------|----------------|
| ● ARCHITECT/PLANNERS | DRA ARCHITECTURE LLC | (808) 292-6287 |
| ● CIVIL ENGINEER | DEMPSY PACIFIC INC. | (808) 277-2043 |
| ● MECHANICAL ENGINEER | MECHANICAL ENTERPRISES, INC. | (808) 591-9038 |
| ● ELECTRICAL ENGINEER | ITANO & ASSOCIATES, INC. | (808) 271-2255 |

EXHIBIT D

PALEKANA PERMITS
 THIRD PARTY CERTIFICATION
 BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

DRA
 Architecture LLC
 ARCHITECTURE DESIGN INTERIORS
 905 MAKAHIKI WAY, MAUKA SUITE
 HONOLULU, HAWAII 96826
 (808) 292-6287



GENERAL NOTES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE BEFORE PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.

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③	05/10/21	OWNER REV. (REDUCED SOW)
②	04/15/21	TPR COMMENTS
①	03/12/21	OWNER REVS (ELEC)
REVISION MARK	• DATE	• DESCRIPTION

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 PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII
 91-1057 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

COVER SHEET SHEET TITLE

JOB NO. 20007-0000 DRAWING NO.
 DRAWN DRA
 CHECKED DRA **CS001**
 DATE DEC 2020 SHEET 1 OF

PROPOSED

PARCEL 10 BUILDING IMPROVEMENTS FOR HUNT COMMUNITIES HAWAII

91-1057 ENTERPRISE AVENUE
TMK NO.: 9-1-013: 097

KAPOLEI

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HAWAII

- ARCHITECT/PLANNERS DRA ARCHITECTURE LLC (808) 292-6287
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INDEX TO DRAWINGS

PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

SHT. NO.	DESCRIPTION
000	TITLE SHEET, INDEX TO DRAWINGS, VICINITY MAP, LOCATION MAP
100	PROJECT DATA, ZONING DATA, FIRE NOTES
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300	ZONING CODE SITE PLAN DATA
400	CODE COMPLIANT DIAGRAMS - OVERALL GROUND FLOOR
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C102	GRADING & POST CONSTRUCTION BMP PLAN
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AD002.0	EXISTING/DEMO PLAN, NOTES
AD002.1	EXISTING/DEMO ROOF PLAN, NOTES
AD003.0	EXISTING/DEMO EXTERIOR ELEVATIONS
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A002.0	FLOOR PLAN (OVERALL), ENLARGED PLAN, GENERAL NOTES
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ED002.3	PARTIAL POWER & SIGNAL PLAN - EXISTING/DEMOLITION
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E003.0	PARTIAL LIGHTING PLAN - NEW
E003.1	PARTIAL LIGHTING PLAN - NEW, LIGHTING CONTROL DIAGRAM
E003.2	PARTIAL POWER & SIGNAL PLAN - NEW
E003.3	PARTIAL POWER & SIGNAL PLAN - NEW
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LICENSE EXPIRES: 30 APRIL 2022

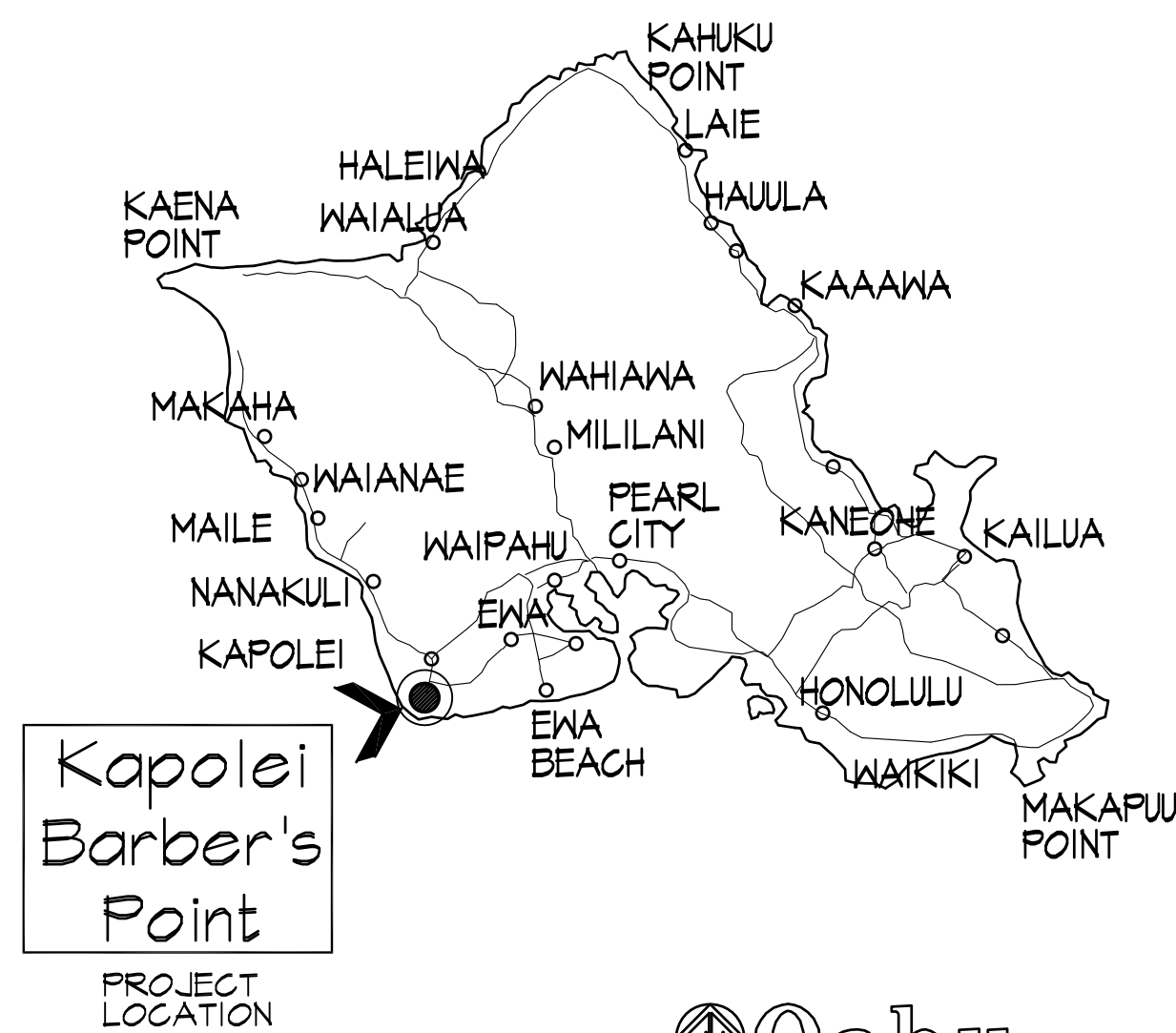
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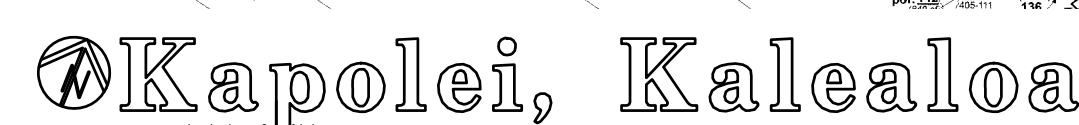
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3	05/10/21	OWNER REV. (REDUCED SOW)
2	04/15/21	TPR COMMENTS
1	03/12/21	OWNER REVS (ELEC)

LOCATION MAP



VICINITY MAP



APPROVALS

CITY AND COUNTY OF HONOLULU
REVISED ORDINANCE OF HONOLULU 1990
CHAPTER 32

To the best of my knowledge, this project's design substantially conforms to the Building Energy Conservation Code for:

Building Component Systems
 Electrical Component Systems
 Mechanical Component Systems

Signature: Dean R. Agcaolli Date: 01/24/2021
Title: Principal (Architect)
License No.: AR-13819

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SHEET TITLE

TITLE SHEET
INDEX OF DRAWINGS
VICINITY MAP
LOCATION MAP
PROJECT DATA

JOB NO. 20007-0000	DRAWING NO.
DRAWN DRA	
CHECKED LTS	
DATE DEC 2020	SHEET 1 OF

PROJECT DATA (IBC DATA)

ZONING INFO (HCDA)

PALEKANA PERMITS THIRD PARTY CERTIFICATION
BUILDING CODE ELECTRICAL CODE
MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

Table with 3 columns: ITEM, ALLOWED/REQUIRED, PROVIDED. Rows include OCCUPANCY, CONSTRUCTION TYPE, FIRE RATING CONSTRUCTION, BUILDING SEPARATIONS, FIRE SPRINKLED, FLOOR CALCULATIONS, ACTUAL AREA.

Table with 3 columns: ITEM, ALLOWED/REQUIRED, PROVIDED. Rows include ZONING, LOT AREA, PRIMARY USE, HEIGHT LIMIT, FLOOD ZONE, FRONTAGE OCCUPANCY AT BUILD TO LINE, SETBACKS, MAXIMUM DENSITY, OPEN SPACE, PARKING, LOADING.

PROJECT NOTES

- 1. APPLICABLE CODES:
INTERNATIONAL BUILDING CODE (IBC), 2012 EDITION WITH LOCAL AMENDMENTS
INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2012 EDITION WITH LOCAL AMENDMENTS
INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2015 EDITION WITH LOCAL AMENDMENTS
UNIFORM PLUMBING CODE (UPC), 2012 EDITION WITH LOCAL AMENDMENTS
UNIFORM FIRE CODE (UFC), NFPA 1 2012 EDITION WITH LOCAL AMENDMENTS
NATIONAL ELECTRICAL CODE, 2017 EDITION
DEPARTMENT OF HEALTH (DOH), HAWAII ADMINISTRATIVE RULES, TITLE 11, SH 39 - AIR CONDITIONING & VENTILATION

FIRE NOTES

1.3.6.3 REPAIRS, RENOVATIONS, ALTERATIONS, RECONSTRUCTIONS, CHANGE IN OCCUPANCY, AND ADDITIONS TO BUILDINGS SHALL CONFORM TO THIS CODE, NFPA 101, AND THE BUILDING CODE
1.3.7.1.4.6.1.1 THE PROVISIONS OF 13.7.1.4.6.1 (2) AND 13.7.1.4.6.1 (3) SHALL NOT APPLY TO EXISTING ALARM SYSTEMS.
13.7.1.4.6.1.2 WHERE AMBIENT CONDITIONS PROHIBIT INSTALLATION OF A SMOKE DETECTOR, A HEAT DETECTOR SHALL BE USED.
SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS
ALTERATION OF BUILDINGS
16.4.4.1 WHERE THE BUILDING IS PROTECTED BY FIRE PROTECTION SYSTEMS, SUCH SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING ALTERATION.
16.4.4.2 WHERE ALTERATION REQUIRES MODIFICATION OF A PORTION OF THE FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE AND THE FIRE DEPARTMENT SHALL BE NOTIFIED.
16.4.4.3 WHEN IT IS NECESSARY TO SHUT DOWN THE SYSTEM, THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE ALTERNATE MEASURES OF PROTECTION UNTIL THE SYSTEM IS RETURNED TO SERVICE.
16.4.4.4 THE FIRE DEPARTMENT SHALL BE NOTIFIED WHEN THE SYSTEM IS SHUT DOWN AND WHEN THE SYSTEM IS RETURNED TO SERVICE.
16.5 FIRE SAFETY DURING DEMOLITION
16.5.1 IF A BUILDING INTENDED TO BE DEMOLISHED CONTAINS A SPRINKLER SYSTEM, SUCH SYSTEM SHALL NOT BE RENDERED INOPERATIVE WITHOUT THE APPROVAL OF THE AHJ.
SEC. 18-5.2 RETENTION OF PLANS
18.5.2 RETENTION OF PLANS
FIRE PROTECTION SYSTEMS
13.1 GENERAL
13.1.1 THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE THAT CONSTRUCTION DOCUMENTS FOR ALL FIRE PROTECTION SYSTEMS BE SUBMITTED FOR REVIEW AND APPROVAL AND A PERMIT BE ISSUED PRIOR TO THE INSTALLATION, REHABILITATION, OR MODIFICATION.
13.1.2 THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER TESTING AND MAINTENANCE OF THE EQUIPMENT AND SYSTEMS.
13.1.3 WHEN A FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR MORE THAN 4 HOURS IN A 24-HOUR PERIOD, THE AHJ SHALL BE PERMITTED TO REQUIRE THE BUILDING TO BE EVACUATED OR AN APPROVED FIRE WATCH TO BE PROVIDED FOR ALL PORTIONS LEFT UNPROTECTED BY THE FIRE PROTECTION SYSTEM SHUTDOWN UNTIL THE FIRE PROTECTION SYSTEM HAS BEEN RETURNED TO SERVICE.
13.1.4 PROTECTION OF FIRE ALARM SYSTEM
13.7.1.4.6.1* IN AREAS THAT ARE NOT CONTINUOUSLY OCCUPIED, AND UNLESS OTHERWISE PERMITTED BY 13.7.1.4.6.1.1 OR 13.7.1.4.6.1.2, AUTOMATIC SMOKE DETECTION SHALL BE

DRA Architecture LLC
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HONOLULU, HAWAII 96826
(808) 292-6287

Professional seal for Sean R. Accacili, Licensed Professional Architect AR-13819, Hawaii U.S.A. License expires 30 APRIL 2022.

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Revision table with columns: REVISION MARK, DATE, DESCRIPTION. Entries include 05/10/21 OWNER REV. (REDUCED SOW), 04/15/21 TPR COMMENTS, 03/12/21 OWNER REVS (ELEC).

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T.M.K.: 9-1-013: 097

SHEET TITLE
PROJECT DATA
ZONING DATA
PROJECT NOTES
FIRE NOTES
JOB NO. 20007-0000 DRAWING NO.
DRAWN DRA
CHECKED DRA
DATE DEC 2020 SHEET OF

NAME: R:\UPA Projects\20007-0000 Hunt Co - Kapelei Parcel 10 Building Improvements\1000.dwg DATE: MAY 14, 2021 TIME: 11:20AM BY: DRA

ABBREVIATIONS

&	AND	CLR	CLEAR	FEC	FIRE EXTINGUISHER CABINET	JAL	JALOUSIE	OC	ON CENTER	RFG	ROOFING	T & B	TOP AND BOTTOM
@	ANGLE	CMU	CONCRETE MASONRY UNITS	FHC	FIRE HOSE CABINET	JAN	JANITRY	OD	OUTSIDE DIAMETER (DIMEN)	RGH	ROUGH	T & G	TONGUE AND GROOVE
@	AT	CO	CLEAN OUT	FIN	FINISH	JB	JOINT	OFCl	OWNER FURNISHED - OWNER'S CLOSET	REG	REGISTER	TACKBD	TACKBOARD
CL	CENTERLINE	COL	COLUMN	FL	FLOOR	JC	JANITORS CLOSET	OFD	OVERFLOW DRAIN	RW	ROBE HOOK OR RIGHT HAND	TB	TOWEL BAR
L	CHANNEL	CONC	CONCRETE	FL	FLOOR	JST	JOIST	OFD	OVERFLOW DRAIN	RLG	RAILING	TBB	TILE BACKER BOARD
O	DIAMETER OR ROUND	COND	CONDITION	FLUR	FLOORING	JD	JOINT	OFCl	OFFICE	RM	ROOM	TC	TOP OF CURB
'	FOOT OR FEET	CONN	CONNECTION	FLRG	FLORESCENT	KT	KNOCK DOWN	OFCl	OWNER FURNISHED	RND	ROUND	TO	TRENCH DRAIN
+	INCH	CONSTR	CONSTRUCTION	FOD	FACE OF (ITEM)	KN	KNOCK OUT	OFCl	OWNER INSTALLED	RO	ROUGH OPENING	TEL	TELEPHONE
%	PERCENT	CONT	CONTINUOUS	FR	FRAME	KIT	KITCHEN	OPNG	OPENING	RWC	RAIN WATER CONDUCTOR	TEMP	TEMPERED
⊥	PERPENDICULAR	CONTR	CONTRACTOR	FRP	FIBER GLASS REINFORCED	KO	KNOCK-OUT	OPP	OPPOSITE	RWD	REDWOOD	THK	THICK
o	ROUND OR NUMBER	COORD	COORDINATE	FT	FOOT OR FEET	L	LENGTH LINE	OH	OPPOSITE HAND	RWL	RAIN WATER LEADER	THRESH	THRESHOLD
□	PROPER LINE	CORR	CORRIDOR	FTD	FACIAL TISSUE DISPENSER	LAB	LABORATORY	OSB	ORIENTED STRAND BOARD	S	SOUTH	THRU	THROUGH
□	SQUARE FOOT	CPT	CERAMIC TILE	FRZ	FLOOR SINK	L	LINEAL FOOT	OSB	ORIENTED STRAND BOARD OVERHEAD	SA	SINGLE ACTING	TO(I)	TOP OF (ITEM)
+	PLUS MINUS	CT	COLD WATER	FT	FOOT OR FEET	LAM	LAMINATE	OVHD	OVERHEAD	SC	SINGLE CORE	TPD	TOILET PAPER DISPENSER
A/C	AIR CONDITIONING	DBL	DOUBLE	FTG	FOOTING	LAV	LAVATORY	PA	PUBLIC ADDRESS SYSTEM	SC	SCALE	TPH	TOILET PAPER HOLDER
AB	ANCHOR BOLT	DEPT	DEPARTMENT	FTR	FURRING	LB	LOAD	PASS	PASSAGE	SCD	SEAT COVER DISPENSER	TRN	TRANSITION
AC	ACQUASIT	DTL	DETAIL	FTG	FOOTING	LBR	LOOKER	PC	POST CONTRACT	SCHD	SCHEDULE	TRN	TRANSITION
ACOUS	ACOUSTICAL	DTL	DETAIL	FTG	FOOTING	LBR	LOOKER	PD	PLASTER DRAIN	SCP	SCUPPER	TRD	TRANSITION
AD	AREA DRAIN	DTL	DETAIL	FTG	FOOTING	LBR	LOOKER	PERIM	PERIMETER	SCR	SHOWER CURTAIN ROD	TS	TOWEL SHELF
ADDEN	ADDENDUM	DIA	DIAMETER	GALV	GALVANIZED IRON	LR	LIVING ROOM	PH	PENTHOUSE	SD	SMOKE DETECTOR	TV	TELEVISION
ADJ	ADJUSTABLE	DIA	DIAMETER	GB	GRAB BAR	LT	LIGHT	PL	PLATE	SDISH	SOAP DISH	TYP	TYPICAL
AF	ABOVE FINISHED FLOOR	DIA	DIAMETER	GFR	GLASS FIBER REINFORCED CONCRETE	LTV	LIGHT TROUGH	PLAM	PLASTIC LAMINATE	SECT	SECTION	UC	UNDERCUT
AGGR	AGGREGATE	DISP	DISPENSER	GALV	GALVANIZED IRON	M	MEN	PLAS	PLASTER	SH	SHelf	UNF	UNDERWRITERS LABORATORY
ALUM	ALUMINUM	DN	DOWN	GI	GLASS	M	MAXIMUM	PLBG	PLYWOOD	SHWR	SHOWER	UNF	UNDERWRITERS LABORATORY
ALT	ALTERNATE	DO	DOOR OPENING	G	GLASS	M	MAXIMUM	PLYVD	PLYWOOD	SHT	SHEET	UNO / UN	UNLESS OTHERWISE NOTED
AND	AND/OR	DR	DOOR	GLUHAM	GULLY/HEM	MAX	MAXIMUM	M	MEN	SHT	SHEET	UNO / UN	UNLESS OTHERWISE NOTED
ACC PNL	ACCESS PANEL	DR	DOWNSPOUT	GRND	GROUND	MSTR	MASTER BEDROOM	PNL	PANEL	SHGT	SHEATHING	UR	URNAL
APPROX	APPROXIMATE	DWG	DRAWING	GR	GRADE	BRDM	BEDROOM	PR	PAIR	SIM	SIMILAR	V	VINYL
ARCH	ARCHITECTURAL	DWR	DRAWER	GS	GYPUSUM SHEATHING	MC	MEDICINE CABINET	PRECST	PRECAST	SL	SLOPE	VAL	VALANCE
ASBESTOS	ASBESTOS	ASB	ASBESTOS	MECH	MECHANICAL	MFR	MANUFACTURER	PREFAB	PREFABRICATED	SLNG	SLIDING	VAR	VARIABLE
ACOUS TILE	ACOUSTICAL TILE	(E)	EXISTING	MEMB	MEMBRANE	MEMB	MEMBRANE	PREP	PREPARATION	SLNT	SLANT	VEST	VESTIBULE
BATH	BATHROOM	EA	EAST	MEMB	MEMBRANE	MEMB	MEMBRANE	PROP	PROPERTY	SHT MTL	SHEET METAL	VCT	VINYL COMPOSITION TILE
BD	BEDROOM	E	EACH	GYP	GYPUSUM WALLBOARD	MD	MOUNTED	QTY	QUANTITY	SND	SANITARY NAPKIN DISPENSER	VRT	VERTICAL
BLDG	BUILDING	E	EAST	GYP	GYPUSUM WALLBOARD	MD	MOUNTED	QTY	QUANTITY	SND	SANITARY NAPKIN DISPENSER	VRT	VERTICAL
BLK	BLOCK	ELEV	ELEVATION	H	HOSE BIB	H	HOLLOW CORE	H	HEAD	HDCP	HANDICAPPED	HARDWOOD	HARDWOOD
BLKG	BLOCKING	ELEV	ELEVATION	H	HOSE BIB	H	HOLLOW CORE	H	HEAD	HDCP	HANDICAPPED	HARDWOOD	HARDWOOD
BM	BEAM	ELEV	ELEVATION	H	HOSE BIB	H	HOLLOW CORE	H	HEAD	HDCP	HANDICAPPED	HARDWOOD	HARDWOOD
BOH	BACK OF HOUSE	EMER	EMERGENCY	H	HOSE BIB	H	HOLLOW CORE	H	HEAD	HDCP	HANDICAPPED	HARDWOOD	HARDWOOD
BOT	BOTTOM	ENCL	ENCLOSURE	H	HOSE BIB	H	HOLLOW CORE	H	HEAD	HDCP	HANDICAPPED	HARDWOOD	HARDWOOD
BDRM	BEDROOM	EQS	ELECTRICAL	H	HOSE BIB	H	HOLLOW CORE	H	HEAD	HDCP	HANDICAPPED	HARDWOOD	HARDWOOD
BRG	BEARING	EP	ELECTRICAL PANEL BOARD	H	HOSE BIB	H	HOLLOW CORE	H	HEAD	HDCP	HANDICAPPED	HARDWOOD	HARDWOOD
BRKT	BRAKET	EQ	EQUIPMENT	H	HOSE BIB	H	HOLLOW CORE	H	HEAD	HDCP	HANDICAPPED	HARDWOOD	HARDWOOD
BS	BATH SIDES	EQT	EQUIPMENT	H	HOSE BIB	H	HOLLOW CORE	H	HEAD	HDCP	HANDICAPPED	HARDWOOD	HARDWOOD
BSMT	BASEMENT	EWC	ELECTRIC WATER COOLER	HVAC	HEATING VENTILATION AIR	CONDITIONING	MUN	MOUNTING	HTR	HEATING	VENTILATION AIR	CONDITIONING	MUN
BTWN	BETWEEN	EXH	EXHAUST	HVAC	HEATING VENTILATION AIR	CONDITIONING	MUN	MOUNTING	HTR	HEATING	VENTILATION AIR	CONDITIONING	MUN
BUR	BUILT-UP ROOFING	EXP	EXPANSION	HW	HOT WATER	N	NEW	NORTH	N	NEW	NORTH	N	NEW
CAB	CABINET	EXT	EXTERIOR	ID	INSIDE DIAMETER DIMENSION	(N)	NEW	NORTH	N	NEW	NORTH	N	NEW
CB	CATCH BASIN	IMP PLAS	IMPERIAL PLASTER	IN	INCH	INCL	INCLUDING	NO	NUMBER	NSM	NOT TO SCALE	NTS	NOT TO SCALE
CBT PLAS	CEMENT PLASTER	FA	FABRICATE	IN	INCH	INCL	INCLUDING	NO	NUMBER	NSM	NOT TO SCALE	NTS	NOT TO SCALE
CMT	CEMENT	FAB	FABRICATE	IN	INCH	INCL	INCLUDING	NO	NUMBER	NSM	NOT TO SCALE	NTS	NOT TO SCALE
CR	CERAMIC	FCU	FAN COIL UNIT	INSL	INSULATION	RESIL	RESILIENT	REST	RESTROOM	REV	REVISED OR REVISION	RF	ROOF OR RESILIENT FLOORING
CIP	CAST-IN-PLACE	FDN	FOUNDATION	INT	INTERIOR	INVT	INVERT	ID	INSIDE DIAMETER DIMENSION	(N)	NEW	NORTH	N
CJ	CONTROL JOINT	FDN	FOUNDATION	INT	INTERIOR	INVT	INVERT	ID	INSIDE DIAMETER DIMENSION	(N)	NEW	NORTH	N
CLS	CEILING	FE	FIRE EXTINGUISHER	IN	INCH	INCL	INCLUDING	NO	NUMBER	NSM	NOT TO SCALE	NTS	NOT TO SCALE
CLO	CLOSET	FE	FIRE EXTINGUISHER	IN	INCH	INCL	INCLUDING	NO	NUMBER	NSM	NOT TO SCALE	NTS	NOT TO SCALE

SYMBOLS LEGEND

PALEKANA PERMITS THIRD PARTY CERTIFICATION

□ BUILDING CODE □ ELECTRICAL CODE □ MECHANICAL CODE □ ZPRB (LAND USE ORDINANCE) □ STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

REVISION

1. NORTH ARROW (PROJECT REFERENCE)

2. BUILDING SECTION IDENTIFICATION NUMBER OR LETTER NUMBER OF SHEET ON WHICH SECTION IS DRAWN

3. DETAIL IDENTIFICATION NUMBER NUMBER OF SHEET ON WHICH DETAIL IS DRAWN

4. SECTION NUMBER SECTION DETAIL

5. SHEET NUMBER WHERE WALL SECTION IS DRAWN

6. SECTION NUMBER

7. WALL SECTION

8. SHEET NUMBER WHERE WALL SECTION IS DRAWN

9. ELEVATION LEVEL

10. WINDOW MARK

11. STOREFRONT MARK

12. LOUVER MARK

13. TOP OF WALL

14. TOP OF CURB

15. TOP OF PAVEMENT

16. NEW FINISH GRADE

17. EXISTING GRADE

18. WALL OR PARTITION TYPE

19. SURFACED MOUNTED FIRE EXTINGUISHER WITH BOX, MAX 150' APART

20. RECESSED MOUNTED FIRE EXTINGUISHER WITH FIRE RATED BOXES, MAX 150' APART

21. ROOM IDENTIFICATION ROOM NAME ROOM NUMBER ROOM AREA (SF) NUMBER REQUIRED EGRESS CAPACITY NUMBER ALLOWED ROOM NAME OCCUPANCY GROUP OCCUPANCY LOAD FACTOR (SF/OCCUPANT) OCCUPANCY LOAD (# OF PERSONS) NUMBER OF REQUIRED EXITS ROOM AREA (SF) EXIT WIDTH (IN INCHES) ALLOWED EXIT CAPACITY (# OF PERSONS) ACTUAL EXIT LOAD (# OF PERSONS)

22. KEY TO ELEVATIONS

23. FRONT KEY TO EXTERIOR ELEV. REAR

24. KEY TO ELEVATIONS

25. DOOR MARK

26. WINDOW MARK

27. STOREFRONT MARK

28. LOUVER MARK

29. TOP OF WALL

30. TOP OF CURB

31. TOP OF PAVEMENT

32. NEW FINISH GRADE

33. EXISTING GRADE

34. ELEVATION LEVEL

35. WALL OR PARTITION TYPE

36. SURFACED MOUNTED FIRE EXTINGUISHER WITH BOX, MAX 150' APART

37. RECESSED MOUNTED FIRE EXTINGUISHER WITH FIRE RATED BOXES, MAX 150' APART

DEMOLITION NOTES

1. THE CONTRACTOR SHALL EXECUTE THE WORK IN CONFORMANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
2. CONTRACTOR SHALL EXAMINE THE PROJECT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK.
3. THE CONTRACTOR SHALL REVIEW AND EXAMINE THE CONTRACT DOCUMENTS. IF ANY CONFLICTS OR DISCREPANCIES ARE IDENTIFIED, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION TO THE ARCHITECT PRIOR TO COMMENCING WITH THE WORK.
4. THE CONTRACTOR SHALL NOT ALLOW DEBRIS AND RUBBISH TO ACCUMULATE ON THE JOB SITE. REMOVE, TRANSPORT AND DISPOSE OF DEBRIS AND RUBBISH DAILY IN A LAWFUL MANNER THAT PREVENTS SPILLAGE ON STREETS OR ADJACENT PROPERTY.
5. BURNING OF ANY DEBRIS IS NOT PERMITTED.
6. THE CONTRACTOR SHALL SERVE PROPER NOTICE AND CONSULT WITH THE OWNER/BUILDING MANAGER REGARDING ANY TEMPORARY DISCONNECTION OF COMPUTER CABLEING, ELECTRICAL, TELEPHONE, PLUMBING, GAS, SEWAGE OR OTHER UTILITY LINES. WHERE TEMPORARY DISCONNECTION IS REQUIRED, ALL SUCH LINES SHALL BE PROPERLY DISCONNECTED, TERMINATED OR RELOCATED BEFORE COMMENCING WITH THE WORK.
7. THE CONTRACTOR SHALL PROPERLY PROTECT FROM WEAR & DAMAGE ALL EXISTING UTILITIES, PROPERTY AND EXISTING WORK THAT ARE SCHEDULED TO REMAIN.
8. THE CONTRACTOR SHALL SAW-CUT ALL CONCRETE AND ASPHALT CONCRETE PRIOR TO REMOVAL. OVERCUTTING IS NOT PERMITTED. ALL CONCRETE AND ASPHALT CONCRETE SAW CUTTING SHALL BE WATER-APPLIED FOR DUST CONTROL.
9. KEEP DUST WITHIN ACCEPTABLE LEVELS AT ALL TIMES, INCLUDING NON-WORKING HOURS, WEEKENDS & HOLIDAYS, IN CONFORMANCE WITH CHAPTER 31 - AIR POLLUTION OF THE STATE DEPARTMENT OF HEALTH, PUBLIC HEALTH REGULATIONS, LATEST EDITION.
 - a. ONLY WET GRINDING ON CUTTING OF CONCRETE AND MASONRY WILL BE ALLOWED.
 - b. DURING LOADING OPERATIONS, WATER DOWN DEBRIS AND WASTE MATERIALS TO ALLAY DUST.
10. THE CONTRACTOR SHALL UTILIZE LAWFUL AND PROPER METHODS FOR DUST CONTROL ASSOCIATED WITH THE WORK.
11. THE CONTRACTOR SHALL COORDINATE AND EXECUTE ALL WORK IN AN ORDERLY AND CAREFUL MANNER AND SHALL REPAIR ANY DAMAGE TO EXISTING ITEMS "TO REMAIN."
12. THE CONTRACTOR IS RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF WORK UNDER CONTRACT WITH THE CONTRACTOR.
13. THE PROJECT LIMITS/LIMITS OF WORK SHALL BE GENERALLY INDICATED ON THE PLAN AS A REFERENCE ONLY. THE CONTRACTOR IS REQUIRED TO COMPLETE ANY WORK OUTSIDE THE "PROJECT LIMITS" REFERENCE, IF SUCH WORK IS MATERIAL TO, AND NECESSARY TO COMPLETE THE PROJECT, AND SUCH WORK IS DEFINED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL MAINTAIN SAFE WORKING CONDITIONS AT ALL TIMES. THE CONTRACTOR SHALL ERECT TEMPORARY BARRICADES AND PROVIDE TEMPORARY LIGHTING AS REQUIRED TO PREVENT THE PUBLIC FROM ENTERING INTO THE PROJECT AREA AT ALL TIMES. BARRICADES SHALL BE A MINIMUM OF 7'-0" IN HEIGHT. THIS WORK SHALL BE INCLUDED IN THE CONTRACT AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
14. THE CONTRACTOR SHALL PERFORM THE WORK WITH MINIMUM INTERFERENCE TO STREETS, DRIVEWAYS, SIDEWALKS, EXISTING SHOPPING AND PUBLIC AREAS, ETC.
15. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL CONSULT WITH THE OWNER REGARDING ANY ITEMS THAT SHOULD BE SALVAGED/RECOVERED. THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND "TURNOVER" OF THESE ITEMS WITH THE OWNER.
16. THE CONTRACTOR IS RESPONSIBLE TO ARREST ANY RUST OR OXIDATION AND THREAT TO ALL EXPOSED METAL PRIOR TO FINISHING OR COVERING.
17. USE OF EXPLOSIVES ARE PROHIBITED.
18. ASBESTOS AND HAZARDOUS MATERIALS: IF ASBESTOS-CONTAINING OR ANY OTHER HAZARDOUS MATERIALS IS ENCOUNTERED OR SUSPECTED, THE CONTRACTOR SHALL IMMEDIATELY INFORM THE OWNER AND TAKE PROPER PRECAUTIONS. HAZARDOUS MATERIAL ABATEMENT MEASURES SHALL BE THE RESPONSIBILITY OF THE OWNER AND NOT PART OF THIS CONTRACT, UNLESS SPECIFICALLY STATED.
19. BRANCH CIRCUIT LIGHTING & POWER SHALL BE COMPLETELY DEMOLISHED AND DISPOSED OF. (SEE ELECTRICAL DEMOLITION PLANS) REMOVE ALL EXISTING WIRING

GENERAL NOTES

1. LAWS AND ORDINANCES: AS USED HEREIN SHALL MEAN ALL COUNTY, STATE AND NATIONAL CODES, ORDINANCES, STANDARDS, RULES AND REGULATIONS OF ANY NATURE WHICH ARE PERTINENT TO, OR REGULATORY OVER, THE WORK COVERED BY THE CONTRACT DOCUMENTS OF THIS PROJECT. ALL CONTRACTORS SHALL COMPLY FULLY WITH ALL APPLICABLE LAWS AND ORDINANCES. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND THE LATEST CITY AND COUNTY OF HONOLULUI/STATE OF HAWAII AMENDMENTS, OR THE RESPECTIVE AMENDMENTS BY EACH COUNTY HAVING JURISDICTION OF THE PROJECT. ALL DEMOLITION AND CONSTRUCTION WORK SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND THIS CHAPTER, NFPA 1 2012.
2. CONFLICT: IN THE CASE OF ANY CONFLICT WHEREIN THE METHODS, OR STANDARDS OF INSTALLATION, OR THE SPECIFIED MATERIALS ARE NOT EQUAL TO, OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. IN THE CASE OF A DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS, BUT NOT DIRECTLY RELATED TO THE PROVISIONS OF CODES, OR ORDINANCES, THE CONTRACTOR SHALL 1) PROVIDE THE BETTER QUALITY, OR GREATER QUANTITY OF WORK, OR 2) COMPLY WITH THE MORE STRINGENT REQUIREMENT IN ACCORDANCE WITH THE OWNER'S/ARCHITECT'S INTERPRETATION. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ALL CONFLICTS.
3. CONDITIONS OF THE WORK: THE INFORMATION INDICATED ON THE DRAWINGS ARE BASED ON LIMITED FIELD INVESTIGATIONS AND ON THE AVAILABLE RESOURCES AT THE TIME OF DOCUMENT PREPARATION. AS A RESULT, THE ACCURACY AND COMPLETENESS OF THE INFORMATION IS NOT GUARANTEED. THE CONTRACTOR SHALL, THEREFORE, VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS WITH ACTUAL FIELD MEASUREMENTS, EXAMINE THE JOB SITE, VERIFY ALL FIELD CONDITIONS AND PROVIDE THE LABOR AND MATERIALS REQUIRED TO COMPLETE THE INTENDED WORK. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL MANNER THAT IS OF ACCEPTABLE WORKMANSHIP OF THE RESPECTIVE TRADES. THE CONTRACTOR SHALL NOTIFY THE OWNER, OR ARCHITECT, PRIOR TO THE COMMENCEMENT OF WORK. IF THERE ARE ANY DIMENSIONAL DISCREPANCIES, OR IF THERE ARE ANY CONDITIONS THAT EXIST WHICH MAY PREVENT THE CONTRACTOR'S PERFORMANCE OF WORK, AND/OR OF ANY AND ALL ADDITIONAL WORK THAT MAY BE REQUIRED AS A RESULT OF THE OBSERVED CONDITIONS.
4. OMISSIONS: OMISSIONS OF THE DRAWINGS, OR SPECIFICATIONS, OR THE OMISSIONS OF DETAILS OF WORK WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED, OR INCORRECTLY DESCRIBED DETAILS OF THE WORK, BUT SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, OR OWNER, VERBALLY OF SUCH OMISSIONS AND PROVIDE A WRITTEN STATEMENT OF THE OMISSIONS WITHIN (5) WORKING DAYS OF VERBAL NOTIFICATION.
5. INTENT OF THE DRAWINGS: THE DRAWINGS ARE INTENDED TO DEFINE AND ESTABLISH THE PHYSICAL REQUIREMENTS OF THE PROJECT, I.E., THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK, BASED ON RECOGNIZED STANDARDS, EVEN IF NOT ACTUALLY SHOWN, BUT REASONABLY INFERRED. ALL WORK SHOWN IS "NEW" UNLESS OTHERWISE NOTED AS "EXISTING." THE CONTRACTOR SHALL REVIEW AND VERIFY THE INFORMATION ON ALL DRAWINGS BEFORE PERFORMING THE WORK AND NOTIFY THE OWNER, OR ARCHITECT, OF ANY DISCREPANCIES. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS/TRADES TO ACHIEVE THE DESIGN INTENT AND SPECIFIED REQUIREMENTS AND IS RESPONSIBLE TO COMPLETE ANY AND ALL WORK ASSOCIATED WITH SUCH COORDINATION.
6. COMPLETION OF THE WORK: THE CONTRACTOR SHALL IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING, PATCHING, REPAIRING, RESTORING AND THE LIKE NECESSARY TO COMPLETE THE WORK AND RESTORE ANY DAMAGED OR AFFECTED SURFACES RESULTING FROM THE WORK OF THIS CONTRACT TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER, OR HIS AGENT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO SAFETY PRECAUTION.
7. PERMITS AND FEES: THE CONTRACTOR IS RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS AND LICENSES FOR THE WORK AND OBTAIN ALL GOVERNMENTAL AGENCY CERTIFICATES AND FILE A NOTICE OF COMPLETION.
8. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE THE INSTALLATION, MATERIALS AND WORKMANSHIP OF ALL WORK FOR (1) ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. HOWEVER, PRODUCT AND SYSTEM WARRANTIES SHALL BE EFFECTIVE FROM THE "DATE OF ACCEPTANCE" BY THE OWNER/ARCHITECT AND FOR THE PERIOD ESTABLISHED BY THE MANUFACTURER/INSTALLER, OR AS SPECIFICALLY DEFINED IN THE OWNER/CONTRACTOR AGREEMENT.
9. CLEAN UP: THE CONTRACTOR SHALL CLEAN AND REMOVE ANY TRASH, DIRT, DEBRIS AND SPILLAGE ARISING FROM THE WORK DAILY TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT, INCLUDING: CLEANING OF DIRT, PUTTY, PAINT, DUST, ETC. FROM AREAS COUNTER TOPS, DOOR AND WINDOW FRAMES AND FRAMES.
10. RECORD DRAWINGS: THE CONTRACTOR SHALL PROVIDE THE OWNER AND LANDLORD WITH A SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS OF THE WORK. (NOT REQUIRED FOR PROJECT SOLELY INVOLVING DEMOLITION).
11. DIMENSIONS: UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS, ALL DIMENSIONS ARE TAKEN TO THE FACE OF FINISH.
12. THIS PROJECT CONFORMS TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES TO THE BEST OF OUR KNOWLEDGE.
13. PENETRATIONS: PENETRATIONS SHALL BE FIRE-STOPPED AND OPENINGS SHALL BE PROTECTED THROUGH FIRE-RATED WALLS, FLOOR, ROOF AND CEILING ASSEMBLIES AS REQUIRED BY THE 2006 IBC CHAPTER 7.

DRA Architecture LLC
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SEAN R. AGCAGILL
 LICENSED PROFESSIONAL ARCHITECT
 AR-13819
 LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES
 CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE BEFORE PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF DRA ARCHITECTURE LLC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED BELOW AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

REVISION MARK • DATE • DESCRIPTION

PROPOSED PROJECT

PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII

91-1057 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

SHEET TITLE

ABBREVIATIONS
 SYMBOLS LEGEND
 DEMOLITION NOTES
 GENERAL NOTES
 FIRE CODE NOTES

JOB NO. 20007-0000 DRAWING NO.
 DRAWN DRA
 CHECKED DRA
 DATE DEC 2020 SHEET 200 OF

CONSL PERMIT SET (05/11/21)

NAME: R:\BPA_Projects\2007-0000 Hunt Co - Kapolei Parcel 10 Building Improvements\3000.dwg DATE: MAR 18, 2021 TIME: 11:43:51M BY: DRA

TABLE 1016.2 (2021 IBC)
EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY	WITHOUT SPRINKLER SYSTEM (feet)	WITH SPRINKLER SYSTEM (feet)
A, E, F-1, M, R, S-1	200	250
I-1	Not Permitted	250
B	200	300
F-2, S-2, U	300	400
H-1	Not Permitted	75
H-2	Not Permitted	100
H-3	Not Permitted	150
H-4	Not Permitted	175
H-5	Not Permitted	200
I-2, I-3, I-4	Not Permitted	200

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

MISC. CODE INFO

- EXIT WIDTH FACTORS (IBC SECTION 1005 & SECTION 1024.6) w/ SPRINKLERS

OCCUPANCY	STAIRWAYS (INCHES/OCCUPANT)	OTHER (INCHES/OCCUPANT)
M, S-1	0.2	0.15
- TWO MEANS OF EGRESS WHEN OCCUPANT LOAD EXCEEDS (IBC TABLE 1015.1)

OCCUPANCY	MAX OCCUPANT LOAD
M	49
S-1	29
- EXIT TRAVEL DISTANCE (IBC TABLE 1016.2 & SECTION 1014.3) - w/ SPRINKLER

OCCUPANCY	MAX TRAVEL (FT)	COMMON PATH OF TRAVEL (FT)
M	250	75
S-1	250	100

DRA
Architecture LLC
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(808) 292-6287

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION (OBSERVATION AS DEFINED IN CHAPTER 16-115 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS ENTITLED PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS)

LICENSE EXPIRES: 30 APRIL 2022

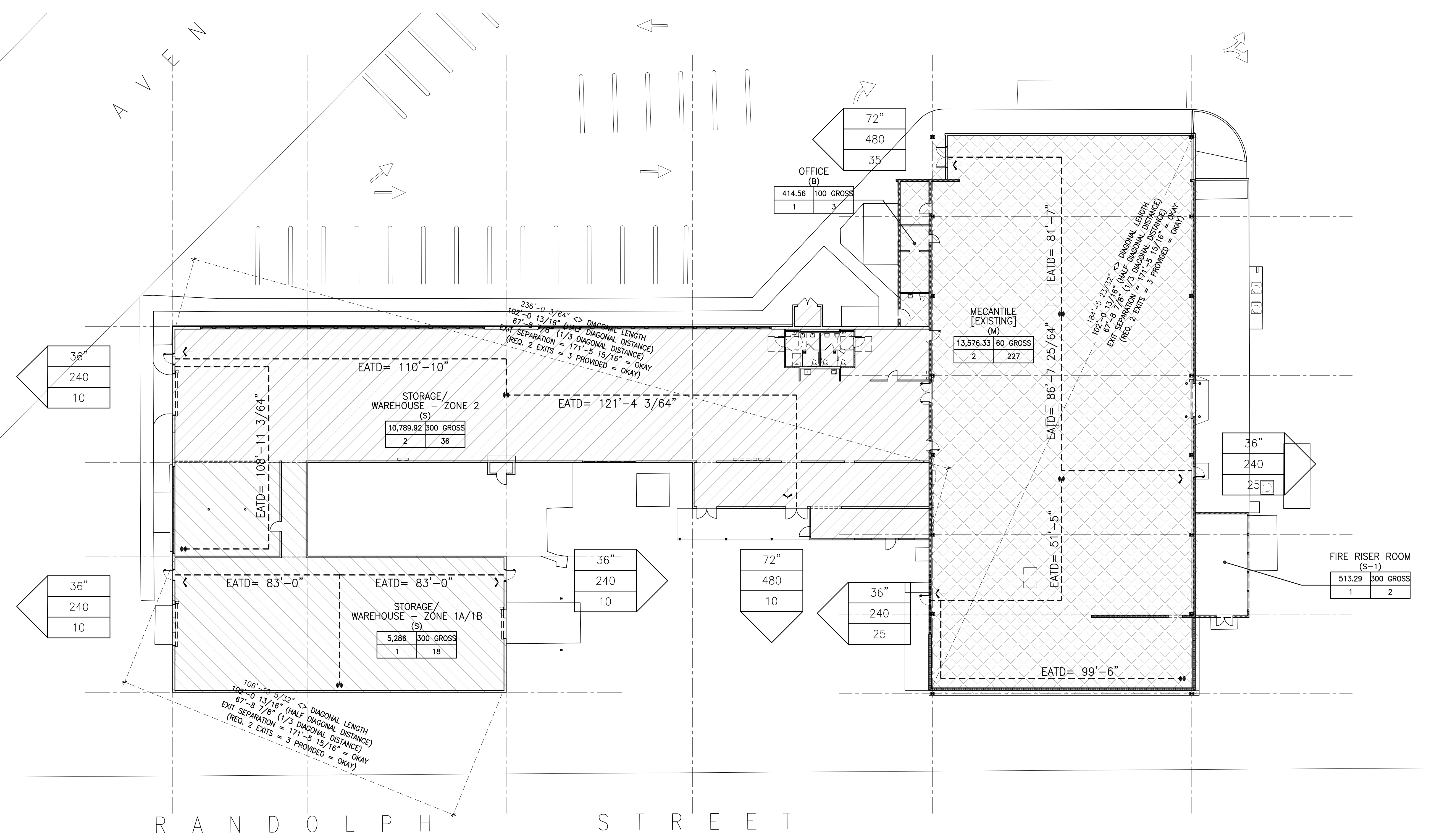
GENERAL NOTES
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REVISION MARK	DATE	DESCRIPTION
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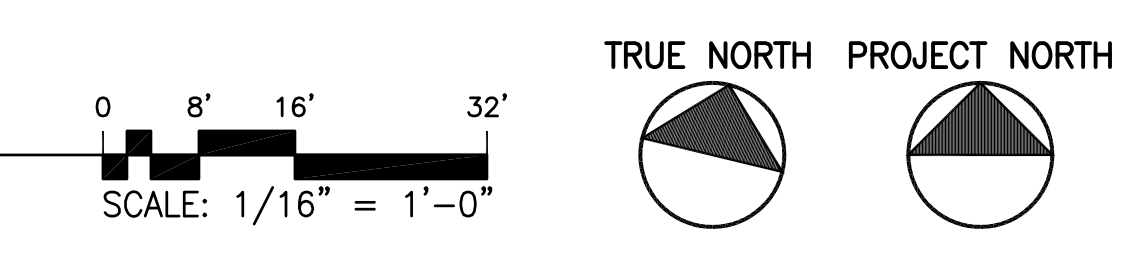
PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
CODE COMPLIANT DIAGRAMS
FIRE NOTES

JOB NO. 20007-0000	DRAWING NO.
DRAWN DRA	300
CHECKED DRA	SHEET OF
DATE DEC 2020	



A CODE COMPLIANCE DIAGRAM - OVERALL FLOOR
SCALE: 1" = 25'



CONSTRUCTION NOTES:

1. ALL APPLICABLE CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SEPTEMBER 1986, AND STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, SEPTEMBER 1984, AS AMENDED OF THE DEPARTMENT OF PUBLIC WORKS (DPW), CITY & COUNTY OF HONOLULU AND THE COUNTIES OF KAUAI, MAUI, AND HAWAII.
2. THE UNDERGROUND PIPES, CABLES OR DUCT LINES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING THE AREA. WHEREVER CONNECTIONS OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR THE NEW LINES.
3. NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCK, SOIL OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW INTO EXISTING CITY DRAINAGE SYSTEMS, OR ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS NECESSARY.
4. THE GENERAL CONTRACTOR OF THE PROJECT SHALL BE RESPONSIBLE FOR CONFORMANCE WITH APPLICABLE PROVISIONS OF THE HAWAII ADMINISTRATIVE RULES, TITLE II, CHAPTER 54, "WATER QUALITY STANDARDS," AND TITLE II, CHAPTER 55, "WATER POLLUTION CONTROL," AS WELL AS CHAPTER 14 OF THE REVISED ORDINANCES OF HONOLULU, AS AMENDED. BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED AT ALL TIMES DURING CONSTRUCTION.

THE DEVELOPER/OWNER OF THE PROJECT SHALL OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE(S) FOR THE FOLLOWING:

- I. STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES THAT DISTURB ONE (1) ACRE OR MORE, AND
- II. DISCHARGES OF HYDROTESTING EFFLUENT, DEWATERING EFFLUENT, AND WELL DRILLING EFFLUENT TO STATE WATERS.

IN ACCORDANCE WITH STATE LAW, ALL DISCHARGES RELATED TO PROJECT CONSTRUCTION OR OPERATIONS ARE REQUIRED TO COMPLY WITH STATE WATER QUALITY STANDARDS (HAWAII ADMINISTRATIVE RULES, CHAPTER II-54). BEST MANAGEMENT PRACTICES SHALL BE USED TO MINIMIZE OR PREVENT THE DISCHARGE OF SEDIMENT, DEBRIS, AND OTHER POLLUTANTS TO STATE WATERS. PERMIT COVERAGE IS AVAILABLE FOR THE DEPARTMENT OF HEALTH, CLEAN WATER BRANCH AT [HTTP://HEALTH-HAWAII.GOV/CWB](http://health-hawaii.gov/cwb). THE OWNER/DEVELOPER IS RESPONSIBLE FOR OBTAINING OTHER FEDERAL, STATE, OR LOCAL AUTHORIZATIONS AS REQUIRED BY LAW.

5. THE CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEERING BRANCH, DEPARTMENT OF PLANNING AND PERMITTING, AT 768-8084 TO ARRANGE FOR INSPECTIONAL SERVICES AND SUBMIT TWO (2) SETS OF APPROVED CONSTRUCTION PLANS SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK.
6. CONFINED SPACE FOR ENTRY BY CITY PERSONNEL, INCLUDING INSPECTORS, INTO A PERMIT REQUIRED CONFINED SPACE AS DEFINED IN 29 CFR PART 1910.146(B), THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING:
 - I. ALL SAFETY EQUIPMENT REQUIRED BY THE CONFINED SPACE REGULATIONS APPLICABLE TO ALL PARTIES OTHER THAN THE CONSTRUCTION INDUSTRY, TO INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING:
 - A. FULL BODY HARNESSES FOR UP TO TWO PERSONNEL.
 - B. LIFELINE AND ASSOCIATED CLIPS.
 - C. INGRESS/EGRESS AND FALL PROTECTION EQUIPMENT.
 - D. TWO-WAY RADIOS (WALKIE-TALKIES) IF OUT OF LINE-OF-SIGHT.
 - E. EMERGENCY (ESCAPE) RESPIRATOR (TEN (10) MINUTE DURATION).
 - F. CELLULAR TELEPHONE TO CALL FOR EMERGENCY ASSISTANCE.
 - G. CONTINUOUS GAS DETECTOR (CALIBRATED) TO MEASURE OXYGEN, HYDROGEN SULFIDE, CARBON MONOXIDE AND FLAMMABLES (CAPABLE OF MONITORING AT A DISTANCE AT LEAST TWENTY (20) FEET AWAY).
 - H. PERSONAL MULTI-GAS DETECTOR TO BE CARRIED BY INSPECTOR.
 - II. CONTINUOUS FORCED AIR VENTILATION ADEQUATE TO PROVIDE SAFE ENTRY CONDITIONS.
 - III. ONE ATTENDANT/RESCUE PERSONNEL TOPSIDE (TWO, IF CONDITIONS WARRANT IT).

7. PURSUANT TO CHAPTER 6E, HRS, IN THE EVENT ANY ARTIFACTS OR HUMAN REMAINS ARE UNCOVERED DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL IMMEDIATELY SUSPEND WORK AND NOTIFY THE HONOLULU POLICE DEPARTMENT, THE STATE DEPARTMENT OF LAND AND NATURAL RESOURCES-HISTORIC PRESERVATION DIVISION (692-8051). IN ADDITION, FOR NON-CITY PROJECTS, THE CONTRACTOR SHALL INFORM THE CIVIL ENGINEERING BRANCH, D.P.P. (768-8084), AND FOR CITY PROJECTS, NOTIFY THE RESPONSIBLE CITY AGENCY.

GRADING NOTES:

1. ALL GRADING WORK SHALL BE DONE IN ACCORDANCE WITH CHAPTER 14, ARTICLES 13, 14, 15 AND 16, AS RELATED TO GRADING, SOIL EROSION AND SEDIMENT CONTROL OF THE REVISED ORDINANCES OF HONOLULU, 1990, AS AMENDED.
2. NO CONTRACTOR SHALL PERFORM ANY GRADING OPERATION SO AS TO CAUSE FALLING ROCKS, SOIL OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS NECESSARY.
3. THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS CONTAINED IN THE HAWAII ADMINISTRATIVE RULES, TITLE II, CHAPTER 60J, "AIR POLLUTION CONTROL."
4. THE UNDERGROUND PIPES, CABLES OR DUCT LINES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING THE AREA. WHEREVER CONNECTIONS OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR THE NEW LINES.
5. ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE SITE.
6. ALL SLOPES AND EXPOSED AREAS SHALL BE SODDED, PLANTED OR HAVE PERMANENT GRAVEL, LANDSCAPING (3" THICK WITH 3/4" TO 1-1/2" DIAMETER AGGREGATE) OR PAVEMENTS AS SOON AS FINAL GRADES HAVE BEEN ESTABLISHED. PLANTING SHALL NOT BE DELAYED UNTIL ALL GRADING WORK HAS BEEN COMPLETED. GRADING TO FINAL GRADE SHALL BE CONTINUOUS, AND ANY AREA WITHIN WHICH WORK HAS BEEN INTERRUPTED OR DELAYED SHALL BE PLANTED.
7. FILLS ON SLOPES STEEPER THAN 5:1 SHALL BE KEYED.
8. THE CITY SHALL BE INFORMED OF THE LOCATION OF THE BORROW/DISPOSAL SITE FOR THE PROJECT WHEN THE APPLICATION FOR A GRADING PERMIT IS MADE. THE BORROW/DISPOSAL SITE MUST ALSO FULFILL THE REQUIREMENTS OF THE GRADING ORDINANCE.
9. NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE DIRECTOR, D.P.P., PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS CONTAINED IN THE HAWAII ADMINISTRATIVE RULES, TITLE II, CHAPTER 46, "COMMUNITY NOISE CONTROL."
10. THE LIMITS OF THE AREA TO BE GRADED SHALL BE FLAGGED BEFORE THE COMMENCEMENT OF THE GRADING WORK.
11. THE GENERAL CONTRACTOR OF THE PROJECT SHALL BE RESPONSIBLE FOR CONFORMANCE WITH APPLICABLE PROVISIONS OF THE HAWAII ADMINISTRATIVE RULES, TITLE II, CHAPTER 54, "WATER QUALITY STANDARDS," AND TITLE II, CHAPTER 55, "WATER POLLUTION CONTROL," AS WELL AS CHAPTER 14 OF THE REVISED ORDINANCES OF HONOLULU, AS AMENDED. BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED AT ALL TIMES DURING CONSTRUCTION.

THE DEVELOPER/OWNER OF THE PROJECT SHALL OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE(S) FOR THE FOLLOWING:

- I. STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES THAT DISTURB ONE (1) ACRE OR MORE, AND
- II. DISCHARGES OF HYDROTESTING EFFLUENT, DEWATERING EFFLUENT, AND WELL DRILLING EFFLUENT TO STATE WATERS.

IN ACCORDANCE WITH STATE LAW, ALL DISCHARGES RELATED TO PROJECT CONSTRUCTION OR OPERATIONS ARE REQUIRED TO COMPLY WITH STATE WATER QUALITY STANDARDS (HAWAII ADMINISTRATIVE RULES, CHAPTER II-54). BEST MANAGEMENT PRACTICES SHALL BE USED TO MINIMIZE OR PREVENT THE DISCHARGE OF SEDIMENT, DEBRIS, AND OTHER POLLUTANTS TO STATE WATERS. PERMIT COVERAGE IS AVAILABLE FOR THE DEPARTMENT OF HEALTH, CLEAN WATER BRANCH AT [HTTP://HEALTH-HAWAII.GOV/CWB](http://health-hawaii.gov/cwb). THE OWNER/DEVELOPER IS RESPONSIBLE FOR OBTAINING OTHER FEDERAL, STATE, OR LOCAL AUTHORIZATIONS AS REQUIRED BY LAW.

12. WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE ANY EARTH MOVING PHASE OF THE GRADING IS INITIATED.
13. TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN-PLACE AND ESTABLISHED.
14. TEMPORARY EROSION CONTROL PROCEDURES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO APPLICATION FOR GRADING PERMIT.
15. IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
16. BUILDING PERMIT FOR RETAINING WALLS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF GRADING WORK ON SITE.
17. FOR NON-CITY PROJECTS, THE CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEERING BRANCH, D.P.P. AT 768-8084 TO ARRANGE FOR INSPECTIONAL SERVICES AND SUBMIT TWO (2) SETS OF APPROVED CONSTRUCTION PLANS SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK FOR CITY PROJECTS. THE CONTRACTOR SHALL COORDINATE INSPECTIONAL SERVICES WITH THE RESPONSIBLE CITY AGENCY.
18. PURSUANT TO CHAPTER 6E, HRS, IN THE EVENT ANY ARTIFACTS OR HUMAN REMAINS ARE UNCOVERED DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL IMMEDIATELY SUSPEND WORK AND NOTIFY THE HONOLULU POLICE DEPARTMENT, THE STATE DEPARTMENT OF LAND AND NATURAL RESOURCES-HISTORIC PRESERVATION DIVISION (692-8051). IN ADDITION, FOR NON-CITY PROJECTS, THE CONTRACTOR SHALL INFORM THE CIVIL ENGINEERING BRANCH, D.P.P. (768-8084), AND FOR CITY PROJECTS, NOTIFY THE RESPONSIBLE CITY AGENCY.

GRADING NOTES (CONTINUED):

19. FOR ALL PROJECTS, WHICH WILL DISTURB ONE (1) ACRE OR MORE OF LAND, THE CONTRACTOR SHALL NOT START CONSTRUCTION UNTIL A NOTICE OF GENERAL PERMIT COVERAGE (NGPC) IS RECEIVED FROM THE DEPARTMENT OF HEALTH, STATE OF HAWAII, AND HAS SATISFIED ANY OTHER APPLICABLE REQUIREMENTS OF THE NPDES PERMIT PROGRAM. ALSO, FOR NON-CITY AND NON-GOVERNMENTAL PROJECTS, THE CONTRACTOR SHALL PROVIDE A WRITTEN COPY OF THE NPDC TO THE PERMITTING AND INSPECTION SECTION, CIVIL ENGINEERING BRANCH, D.P.P., AT LEAST SEVEN (7) CALENDAR DAYS BEFORE THE START OF THE CONSTRUCTION. FOR CITY OR OTHER GOVERNMENTAL PROJECTS, THE CONTRACTOR SHOULD PROVIDE A WRITTEN COPY OF THE NGPC TO THE APPROPRIATE CITY DEPARTMENT OR GOVERNMENTAL AGENCY PER THEIR REQUIREMENTS.
20. ALL GRADING AND CONSTRUCTION WORK SHALL IMPLEMENT MEASURES TO ENSURE THAT THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE WILL BE REDUCED TO THE MAXIMUM EXTENT PRACTICABLE AND WILL NOT CAUSE OR CONTRIBUTE TO AN EXCEEDANCE OF WATER QUALITY STANDARDS.
21. NON-COMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK, AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY. ALL COSTS INCURRED SHALL BE BILLED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECT TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.
22. FOR BENCH MARK, SEE 5-FEET C102.

DISABILITY AND COMMUNICATION ACCESS BOARD (DCAB) REQUIREMENTS:

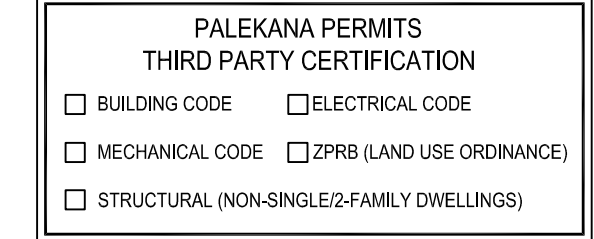
1. THIS PROJECT SHALL MEET THE ACCESSIBILITY REQUIREMENTS OF HAWAII REVISED STATUTES (HRS) 103-50 AND AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) SECTIONS 4.11 (4) AND 4.3.

FIRE NOTES:

- 18.2.3.1 REQUIRED ACCESS.
- 18.2.3.1.1 APPROVED FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING, OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED OR RELOCATED.
- 18.2.3.2.1 A FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50FT OF AT LEAST ONE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING.
- 18.2.3.2.2 FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150FT FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- 18.2.3.2.2.1 WHEN BUILDINGS ARE PROTECTED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM THAT IS INSTALLED IN ACCORDANCE WITH NFPA 13, NFPA 13D, OR NFPA 13R, THE DISTANCE IN 18.2.3.2.2 SHALL BE PERMITTED TO BE INCREASED TO 450 FT.
- 18.3 WATER SUPPLIES AND FIRE HYDRANTS
- 18.3.1 A WATER SUPPLY APPROVED BY THE COUNTY, CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO ALL PREMISES UPON WHICH FACILITIES OR BUILDINGS, OR PORTIONS THEREOF, ARE HEREAFTER CONSTRUCTED, OR MOVED INTO OR WITHIN THE COUNTY. WHEN ANY PORTION OF THE FACILITY OR BUILDING IS IN EXCESS OF 150FT FROM A WATER SUPPLY ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW SHALL BE PROVIDED WHEN REQUIRED BY THE AHJ. FOR ON-SITE FIRE HYDRANT REQUIREMENTS SEE SECTION 18.3.3.
- EXCEPTIONS:
1. WHEN FACILITIES OR BUILDINGS, OR PORTIONS THEREOF, ARE COMPLETELY PROTECTED WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM, THE PROVISIONS OF SECTION 18.3.1 MAY BE MODIFIED BY THE AHJ.
 2. WHEN WATER SUPPLY REQUIREMENTS CANNOT BE INSTALLED DUE TO TOPOGRAPHY OR OTHER CONDITIONS, THE AHJ MAY REQUIRE ADDITIONAL FIRE PROTECTION AS SPECIFIED IN SECTION 18.3.2, AS AMENDED IN THIS CODE.
 3. WHEN THERE ARE NOT MORE THAN TWO DWELLINGS, OR TWO PRIVATE GARAGES, CARPORTS, SHEDS AND AGRICULTURAL OCCUPANCIES, THE REQUIREMENTS OF SECTION 18.3.1 MAY BE MODIFIED BY THE AHJ.

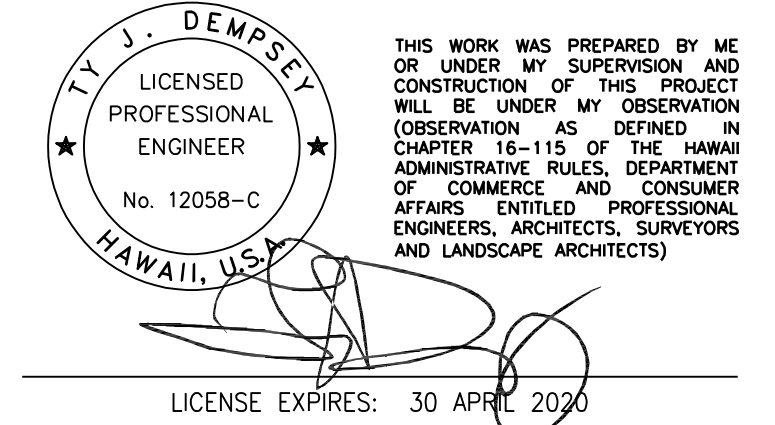
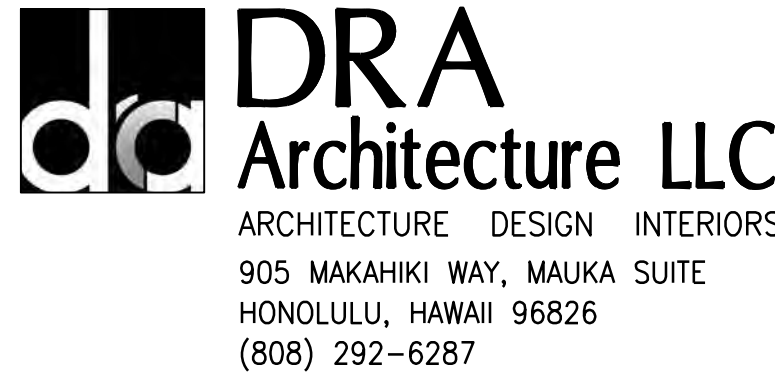
ABBREVIATIONS:

AC, A/C	ASPHALTIC CONCRETE	EP	ELECTRICAL POLE	S	SEWER, SLOPE, SPREAD
ADA	AMERICANS WITH DISABILITIES ACT	EW	EACH WAY	SDMH	STORM DRAIN MAN-HOLE
APP, APPROX	APPROXIMATE	EXIST, EX	EXIST, EXISTING	SF	SQUARE FOOT
ARV	AIR RELIEF VALVE			SH-T	SHEET
ATB	ASPHALT TREATED BASE	FHWA	FEDERAL HIGH-WAY ADMINISTRATION	SL	STREET LIGHT
		FL	FLOOD LINE	SLB	STREET LIGHT BOX
		FPS	FEET PER SECOND	SMH	SEWER MAN-HOLE
BC	BOTTOM OF CURB / BOLT CIRCLE	FT	FEET	SYMM	SYMMETRICAL
BDC	BOTTOM OF DROP CURB			SST/SS	STAINLESS STEEL
BFP	BACKFLOW PREVENTER	GD	GROUND	ST	STREET
BLK(S)	BLOCK(S)	GP	GLY POLE	STA	STATION
BLDG	BUILDING	GV	GATE VALVE	STD	STANDARD
BOT.	BOTTOM	GLY	GLY WIRE	STRUCT	STRUCTURAL
BRC	BOTTOM OF ROLLED CURB	GW	GLY WIRE	SO	SQUARE
BW	BOTTOM OF WALL				
		HB	HOSE BIB		
		H-D	HEAD	TC	TOP OF CURB
CB	CATCH BASIN	HGL	HYDRAULIC GRADE LINE	TDC	TOP OF DROP CURB
CCH	CITY AND COUNTY OF HONOLULU	HT, H	HEIGHT	TEMP	TEMPERATURE
CFS/CFS	CUBIC FEET PER SECOND	HN	HEAD NUT	TH-K	THICK
CL	CLASS	HT WALL	HOLLOW TILE WALL	TMH	TELEPHONE MAN-HOLE
CLF	CHAIN LINK FENCE	HP	HIGH POINT	TP	TELEPHONE POLE
CLR	CLEARANCE	HORIZ/HOR	HORIZONTAL	TRC	TOP OF ROLLED CURB
CMU	CONCRETE MASONRY UNIT	HR	HOUR		
CO	CLEANOUT	HOPE	HIGH DENSITY POLYETHYLENE	TREE-	
COTG	CLEANOUT TO GRADE			Ø	DIAMETER OF TRUNK
CONC	CONCRETE	ICV	IRRIGATION CONTROL VALVE	H	HEIGHT
CONN	CONNECTION	IE	INVERT ELEVATION	S	SPREAD
COOP	CORPORATION	IN	INCHES	TSB	TRAFFIC SYSTEM BOX
CP	CONTROL POINT	INV	INVERT	TSL	TRAFFIC SYSTEM LIGHT
CPG	COUPLING	IPT	INTERNAL PIPE THREAD	TS	TOP STEM
CRM	CEMENT RUBBLE MASONRY	ID.	INNER DIAMETER	TV	TOP VERTICAL
CU	CUBIC			TW	TOP OF WALL
CY	CUBIC YARDS	JKT	JACKET	Typ	TYPICAL
		LG	LONG		
D	DRAIN DIAMETER	LN	LOCK/OUT	LC	UNDERGROUND CABLE
DEFL	DEFLECTION	LW	LOCK WASHER	LE	UNDERGROUND ELECTRICAL
DET	DETAIL			LP	UTILITY POLE
DI	DUCTILE IRON, DRAIN INLET, DROP INLET	MB	MAIL BOX	UT	UNDERGROUND TELEPHONE
DIA.	DIAMETER	MON	MONUMENT		
DMH	DRAIN MAN-HOLE			VB	VALVE BOX
DRWY/DW	DRIVEWAY	OH	OVER-HEAD	VC	VERTICAL CURVE
		PAVT	PAVEMENT	VH	VALVE HANDLE
		POC	POINT OF CONNECTION	V, VERT	VERTICAL
E	EAST, ELECTRIC	PROF	PROFILE		
EA	EACH	PROP.	PROPOSED	W	WEST, WEST
EAC	EDGE AC PAVEMENT	PSI	POUND PER SQUARE INCH	W	WITH
EG	EXISTING GROUND	PVC	POLYVINYL CHLORIDE	WL	WATERLINE
EL, ELEV	ELEVATION			WM	WATER METER
EMH	ELECTRIC MAN-HOLE			WMH	WATER MAN-HOLE
EVC	END VERTICAL CURVE			WV	WATER VALVE
ECH	ELECTRICAL OVER-HEAD			WWF	WELDED WIRE FABRIC



LEGEND:

----	PROPERTY LINE
----	PROPOSED SEWERLINE
---	PROPOSED DRAINLINE
---	PROPOSED WATERLINE
---	PROPOSED CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SILT FENCE
---	LIMITS OF GRADING
---	SIGN
---	CONE
---	POLICE
---	SPOT ELEVATION (PROPOSED)
---	SPOT ELEVATION (EXIST)
---	EXIST. WATERLINE W/ SIZE
---	EXIST. SEWERLINE W/ SIZE
---	EXIST. DRAINAGE LINE W/ SIZE
---	EXIST. GASLINE
---	EXIST. SURFACE FLOW
---	PROPOSED SURFACE FLOW



GENERAL NOTES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE BEFORE PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.

CONFORMANCE WITH THE LATEST ADOPTED VERSION OF THE ADA (AMERICANS WITH DISABILITIES ACT) STANDARDS FOR ACCESSIBLE DESIGN ADMINISTERED BY THE DEPARTMENT OF JUSTICE, SHALL BE EQUIVALENT TO MEETING THE ACCESSIBILITY REQUIREMENTS OF THIS CODE.

FIRE SAFETY NOTE: STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND THIS CHAPTER, 2012 NFPA 1 AND/OR THE ADOPTED FIRE CODE OF THE CITY AND COUNTY OF WHERE THIS PROJECT IS LOCATED AND HAVING JURISDICTION.

ALL CONSTRUCTION SHALL CONFORM TO THE 2006 INTERNATIONAL BUILDING CODE, 1997 UNIFORM PLUMBING CODE, 2012 NFPA 1 AND THE LATEST CITY AND COUNTY AND/OR STATE OF HAWAII AMENDMENTS AND ORDINANCES AND/OR THE CITY AND COUNTY OF WHERE THIS PROJECT IS LOCATED AND HAVING JURISDICTION.

REVISION MARK • DATE • DESCRIPTION

PROPOSED PROJECT

PARCEL 10 BUILDING IMPROVEMENTS FOR:

HUNT COMMUNITIES HAWAII

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

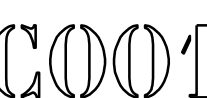
SHEET TITLE
NOTES, LEGEND AND ABBREVIATIONS

JOB NO. J20.244 DRAWING NO.

DRAWN TD

CHECKED TD

DATE JAN 2021 SHEET OF



GOOD HOUSEKEEPING BMPs:

- BMP AND SITE MAINTENANCE SHALL INCLUDE:
 - FILTER SOCKS
 - DRAIN INLET PROTECTION
 - CONTRACTOR TO MAINTAIN EROSION CONTROL PROVISIONS THROUGHOUT ALL PHASES OF CONSTRUCTION WORK, AND ADJUST THE LOCATIONS AND CONFIGURATIONS OF SITE BMPs AS REQUIRED TO ACCOMMODATE THE WORK INVOLVED.
- DURING CONSTRUCTION, PREVENTATIVE MEASURES SHALL BE USED TO CONTROL FORESEEABLE DUST, EROSION OR SEDIMENTATION PROBLEMS WHICH MAY ARISE AS THE JOB PROGRESSES.
- THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH. DUST CONTROL SHOULD BE APPLIED TO REDUCE DUST EMISSIONS. CONTRACTOR SHALL WATER DURING CONSTRUCTION TO CONTROL DUST.
- STREET SWEEPING AND VACUUMING. ALL POLLUTANTS DISCHARGED FROM CONSTRUCTION SITE TO OFF-SITE AREAS MUST BE SWEEPED OR VACUUMED EACH DAY BEFORE LEAVING THE JOB SITE.
- MATERIALS DELIVERY, STORAGE AND USE MANAGEMENT. PREVENT, REDUCE, OR ELIMINATE THE DISCHARGE OF POLLUTANTS FROM MATERIAL DELIVERY, STORAGE, AND USE TO THE STORM WATER SYSTEM OR WATERCOURSES BY MINIMIZING THE STORAGE OF HAZARDOUS MATERIALS ON-SITE, STORING MATERIALS IN A DESIGNATED AREA, INSTALLING SECONDARY CONTAINMENT CONTROLS ON MATERIALS, WASTE, TOXIC AND HAZARDOUS SUBSTANCES, STOCKPILES AND OTHER SOURCES OF POLLUTION SHALL NOT BE STORED IN BUFFER AREAS, NEAR AREAS OF CONCENTRATED FLOW, OR AREAS ADJUTING THE MS4, RECEIVING WATERS, OR DRAINAGE IMPROVEMENTS THAT DISCHARGE OFF-SITE. PRIMARY AND SECONDARY CONTAINMENT CONTROLS AND COVERS SHALL BE IMPLEMENTED TO THE MAXIMUM EXTENT PRACTICABLE.
- SPILL PREVENTION AND CONTROL. CREATE AND IMPLEMENT SPILL PREVENTION AND RESPONSE PLANS TO ELIMINATE AND MINIMIZE THE DISCHARGE OF POLLUTANTS TO THE MS4 AND RECEIVING WATERS FROM LEAKS AND SPILLS BY REDUCING THE CHANGE FOR SPILLS, ABSORBING, CONTAINING, AND CLEANING UP SPILLS AND PROPERLY DISPOSING OF SPILL MATERIALS. AT A MINIMUM, ALL PROJECTS SHALL CLEANUP ALL LEAKS AND SPILLS IMMEDIATELY.
- HAZARDOUS MATERIALS. PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM HAZARDOUS WASTE THROUGH PROPER MATERIAL USE AND WASTE DISPOSAL. IN THE EVENT THAT HAZARDOUS MATERIALS ARE DISCHARGED TO THE MS4, THE PROPERTY OWNER OR ESCP COORDINATOR SHALL IMMEDIATELY NOTIFY THE DEPARTMENT OF FACILITIES MAINTENANCE, HONOLULU FIRE DEPARTMENT, AND HONOLULU POLICE DEPARTMENT OF THE DISCHARGE BY TELEPHONE. A WRITTEN REPORT DESCRIBING THE POLLUTANTS THAT WERE DISCHARGED, THE REASONS FOR THE DISCHARGE, AND THE MEASURES THAT HAVE BEEN TAKEN OR WILL BE TAKEN TO PREVENT A REOCCURRENCE OF THE DISCHARGE SHALL BE SUBMITTED TO THE DIRECTOR NO LESS THAN 3 DAYS AFTER NOTIFICATION BY PHONE.
- NON-HAZARDOUS MATERIALS. IN THE EVENT THE NON-HAZARDOUS MATERIALS ARE DISCHARGED TO THE MS4, THE PROPERTY OWNER OR ESCP COORDINATOR SHALL NOTIFY THE CITY DEPARTMENT OF FACILITIES MAINTENANCE BY TELEPHONE NO LATER THAN THE NEXT BUSINESS DAY. A WRITTEN REPORT DESCRIBING THE POLLUTANTS THAT WERE DISCHARGED, THE REASONS FOR THE DISCHARGE, AND THE MEASURES THAT HAVE BEEN TAKEN OR WILL BE TAKEN TO PREVENT A REOCCURRENCE OF THE DISCHARGE SHALL BE SUBMITTED TO THE DIRECTOR NO LESS THAN 3 DAYS AFTER NOTIFICATION BY PHONE.
- VEHICLE AND EQUIPMENT CLEANING. ELIMINATE AND MINIMIZE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM VEHICLES AND EQUIPMENT CLEANING OPERATIONS BY USING OFF-SITE FACILITIES WHEN FEASIBLE, WASHING IN DESIGNATED CONTAINED AREAS ONLY, AND ELIMINATING DISCHARGE TO THE STORM DRAIN SYSTEM BY EVAPORATING AND/OR TREATING WASH WATER, AS APPROPRIATE OR INFILTRATING WASH WATER FOR EXTERIOR CLEANING ACTIVITIES THAT USE WATER ONLY.
- VEHICLE AND EQUIPMENT FUELING. PREVENT FUEL SPILLS AND LEAKS BY USING OFF-SITE FACILITIES, FUELING ONLY IN DESIGNATED AREAS, ENCLOSED OR COVERING STORING FUELING CONTROLS SUCH AS SECONDARY CONTAINMENT AND ACTIVE MEASURES USING SPILL RESPONSE KITS.
- VEHICLE AND EQUIPMENT MAINTENANCE. ELIMINATE AND MINIMIZE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM VEHICLE AND EQUIPMENT MAINTENANCE OPERATIONS BY USING OFF-SITE FACILITIES WHEN FEASIBLE, PERFORMING WORK IN DESIGNATED AREAS ONLY, USING SPILL PADS UNDER VEHICLES AND EQUIPMENT, CHECKING FOR LEAKS AND SPILLS, AND CONTAINING AND CLEANING UP SPILLS IMMEDIATELY.
- SOLID WASTE MANAGEMENT. PREVENT OR REDUCE DISCHARGE OF POLLUTANTS TO THE LAND, GROUNDWATER, AND IN STORM WATER FROM SOLID WASTE OR CONSTRUCTION AND DEMOLITION WASTE BY PROVIDING DESIGNED WASTE COLLECTION AREAS, COLLECTION DAILY, AND ENSURING THE CONSTRUCTION WASTE IS COLLECTED, REMOVED, AND DISPOSED OF ONLY AT AUTHORIZED DISPOSAL AREAS.
- SANITARY/SEPTIC WASTE MANAGEMENT. TEMPORARY AND PORTABLE SANITARY AND SEPTIC WASTE SYSTEMS SHALL BE MOUNTED OR STAKED IN WELL-MAINTAINED AND SCHEDULED FOR REGULAR WASTE DISPOSAL AND SERVICING. SOURCES OF SANITARY AND/OR SEPTIC WASTE SHALL NOT BE STORED NEAR THE MS4 OR RECEIVING WATERS.
- STOCKPILE MANAGEMENT. STOCKPILES SHALL NOT BE LOCATED IN DRAINAGE WAYS, WITHIN 50 FEET FROM AREAS OF CONCENTRATED FLOWS, AND ARE NOT ALLOWED IN THE CITY RIGHT-OF-WAY. SEDIMENT BARRIERS OR SILT FENCES SHALL BE USED AROUND THE BASE OF ALL STOCKPILES. STOCKPILES SHALL NOT EXCEED 15 FEET IN HEIGHT. STOCKPILES GREATER THAN 15 FEET IN HEIGHT SHALL REQUIRE 8 FOOT WIDE BENCHING IN ACCORDANCE WITH ROH CHAPTER 14, ARTICLE 15. STOCKPILES MUST BE COVERED WITH PLASTIC SHEETING OR A COMPARABLE MATERIAL IF THEY WILL NOT BE ACTIVELY USED WITHIN 7 DAYS.
- LIQUID WASTE MANAGEMENT. LIQUID WASTE SHALL BE CONTAINED IN A CONTROLLED AREA SUCH AS A HOLDING PIT, SEDIMENT BASIN, ROLL-OFF BIN, OR PORTABLE TANK OF SUFFICIENT VOLUME AND TO CONTAIN THE LIQUID WASTES GENERATED. CONTAINMENT AREAS OR DEVICES MUST BE IMPERMEABLE AND LEAK FREE AND SHOULD NOT BE LOCATED WHERE ACCIDENTAL RELEASE OF THE CONTAINED LIQUID CAN DISCHARGE TO WATER BODIES, CHANNELS, OR STORM DRAINS.
- CONCRETE WASTE MANAGEMENT. PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE BY CONDUCTING WASH-OUT OFF-SITE OF PERFORMING ON-SITE WASH-OUT IN A DESIGNATED AREA CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASH-OUT OPERATIONS. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MILLIMETER POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL. CONTAINMENT AREAS OR DEVICES SHOULD NOT BE LOCATED WHERE ACCIDENTAL RELEASE OF THE CONTAINED LIQUID CAN DISCHARGE TO WATER BODIES, CHANNELS, OR STORM DRAINS. WASH-OUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASH-OUT IS 75 PERCENT FULL. ONCE CONCRETE WASTES ARE WASHED IN THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF AS SOLID WASTES.
- CONTAMINATED SOIL MANAGEMENT. AT MINIMUM, CONTAIN CONTAMINATED SOIL BY SURROUNDING WITH IMPERMEABLE LINED BERMS OR COVER EXPOSED CONTAMINATED MATERIAL WITH PLASTIC SHEETING. CONTAMINATED SOIL SHOULD BE DISPOSED OF PROPERLY IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.

PRE-CONSTRUCTION BMPs:

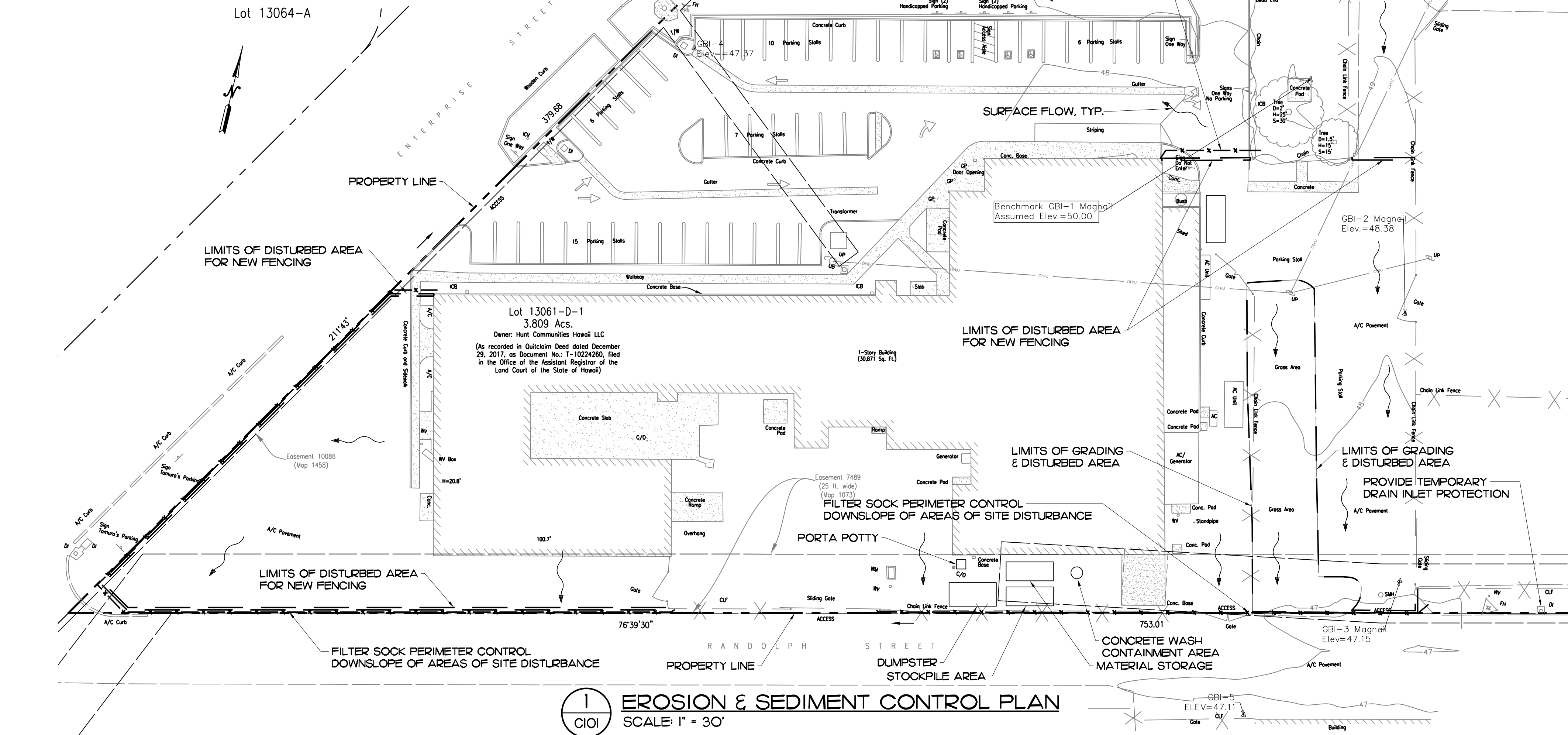
- VEHICLE TRACKING CONTROL.
- FILTER SOCKS.
- DRAIN INLET PROTECTION.

DURING CONSTRUCTION BMPs:

- TEMPORARY STABILIZATION.
- WIND EROSION CONTROL.
- MATERIAL DELIVERY AND STORAGE.
- MATERIAL USE.
- STOCKPILE MANAGEMENT.
- SPILL PREVENTION AND CONTROL.
- SOLID WASTE MANAGEMENT.
- HAZARDOUS WASTE MANAGEMENT.
- CONCRETE WASTE MANAGEMENT.
- SANITARY/SEPTIC WASTE MANAGEMENT.

POST-CONSTRUCTION BMPs:

- PERMANENT STABILIZATION (PAVEMENT & VEGETATION).



EROSION & SEDIMENT CONTROL PLAN SCHEDULE:

- INSTALL VEHICLE TRACKING CONTROL MEASURES, PERIMETER CONTROLS, AND TEMPORARY FENCING FOR PROTECTED AREAS, CLEARING AND GRUBBING AS NECESSARY FOR THE INSTALLATION OF THESE BMPs.
- COMMENCE SITE GRADING ACTIVITIES.
- RELOCATE, RECONSTRUCT AND MAINTAIN BMPs AS NEEDED TO KEEP THEM EFFECTIVE AT ALL TIMES. INITIATE TEMPORARY STABILIZATION IMMEDIATELY ONCE GRADING IS COMPLETED IN EACH AREA OF WORK.
- PROCEED WITH CONSTRUCTION WITH LEAST POSSIBLE DISTURBANCE OF VEGETATIVE AREAS AND TEMPORARY STRUCTURES.
- PROVIDE PERMANENT PAVEMENT SURFACING OR VEGETATION AS SOON AS POSSIBLE.
- REMOVE OR DISMANTLE TEMPORARY EROSION CONTROL STRUCTURES AFTER FULL ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- PRACTICE GOOD HOUSEKEEPING MEASURES THROUGH THE DURATION OF CONSTRUCTION.
- INSPECTIONS WILL BE PERFORMED WEEKLY.

RAIN RESPONSE PLAN:

- THE FOLLOWING WILL BE PERFORMED WHEN HEAVY RAINS, TROPICAL STORM OR HURRICANE IS IMMINENT OR IS FORECASTED IN THE NEXT 48 HOURS:
- TEMPORARY SUSPENSION OF ACTIVE GRADING.
- INSPECT VEHICLE TRACKING CONTROL AREAS AND ALL TEMPORARY FENCING, AND PERIMETER CONTROLS, AND MAINTAIN AS NEEDED. REINSTALL ANY PERIMETER CONTROLS THAT WERE REMOVED DUE TO ACTIVE WORK IN THE AREA.
- COVER OR RELOCATE MATERIAL STOCKPILES AND LIQUID MATERIAL CONTAINERS TO AVOID CONTACT WITH RAINWATER.
- PLACE SPILL PANS OR OIL-ONLY SPILL PADS UNDER CONSTRUCTION VEHICLES TO PREVENT RUNOFF FROM CONTACTING ANY SPILLED PETROLEUM PRODUCTS. PROPERTY DISPOSE OF ANY ACCUMULATED OILY WATER AFTER THE RAIN EVENT.
- RE-INSPECT AFTER THE APPROACHING HEAVY RAINS, TROPICAL STORM OR HURRICANE AND REPLACE OR MAINTAIN BMPs AS NEEDED.

DISTURBED AREA:

THE TOTAL GRADED AREA IS ESTIMATED TO BE 4,818 SF AND DISTURBED AREA IS ESTIMATED TO BE 6,000 SQUARE FEET (WHICH INCLUDES THE EQUIPMENT STAGING AND MATERIAL STORAGE AREAS).

LEGEND:

- PROPERTY LINE
- EXIST. CONTOUR MINOR
- EXIST. CONTOUR MAJOR
- LIMITS OF GRADING & DISTURBED AREA
- FILTER SOCK
- SURFACE RUNOFF

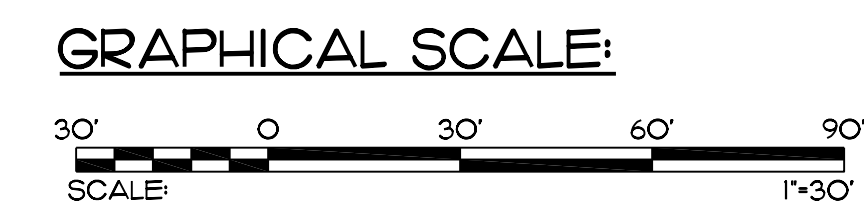
PALEKANA PERMITS THIRD PARTY CERTIFICATION

- BUILDING CODE
- ELECTRICAL CODE
- MECHANICAL CODE
- ZPPB (LAND USE ORDINANCE)
- STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

EROSION & SEDIMENT CONTROL PLAN
SCALE: 1" = 30'

EROSION PREVENTION & SEDIMENT CONTROL NOTES:

- THE CONTRACTOR SHALL FOLLOW THE GUIDELINES IN THE CITY AND COUNTY OF HONOLULU'S RULES RELATING TO WATER QUALITY.
- THE OWNER OF THE PROPERTY OR AUTHORIZED AGENT SHALL DESIGNATE A PERSON RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN AT THE PROJECT SITE (ESCP COORDINATOR) PRIOR TO PERMIT ISSUANCE USING THE FORM PROVIDED AS APPENDIX A OF THE RULES RELATING TO WATER QUALITY TO THE DEPARTMENT OF PLANNING AND PERMITTING AT TIME OF OBTAINING THE PERMIT.
- THE CONTRACTOR SHALL DEVELOP A PROJECT SCHEDULE ESTABLISHING THE SEQUENCE OF WORK, LAND DISTURBING ACTIVITIES, IMPLEMENTATION OF BMPs, SCHEDULED INSPECTIONS AND MAINTENANCE OF THE BMPs, AND REMOVAL OF THE TEMPORARY BMPs SHALL BE INCLUDED IN THE PROJECT SCHEDULE. THE SCHEDULED START DATE SHALL BE SUBMITTED TO THE DIRECTOR IN WRITING AT LEAST 2 WEEKS PRIOR TO COMMENCING WORK.
- MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE ANY EARTH-WORK IS INITIATED.
- TEMPORARY STABILIZATION. TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHEN THE DISTURBED AREA WILL NOT BE WORKED FOR 14 CONSECUTIVE DAYS OR MORE.
- PERMANENT STABILIZATION. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED USING VEGETATIVE COVERING, PAVEMENT, OR EQUIVALENT, PRIOR TO REMOVING EROSION AND SEDIMENT MEASURES. TRAPPED SEDIMENT AND AREAS OF DISTURBED SOIL WHICH RESULT FROM THE REMOVAL OF THE TEMPORARY MEASURES SHALL BE IMMEDIATELY AND PERMANENTLY STABILIZED.
- PRESERVE EXISTING VEGETATION. CLEARLY MARK THE EXISTING VEGETATIVE AREAS TO BE PRESERVED WITH FLAGS OR TEMPORARY FENCING. WHERE TEMPORARY FENCING IS USED, FENCING MUST BE ADEQUATELY SUPPORTED BY POSTS AND MAINTAINED IN AN UPRIGHT POSITION.
- MINIMIZE SOIL COMPACTION. AREAS WHERE FINAL VEGETATIVE STABILIZATION OR INFILTRATION PRACTICES WILL BE INSTALLED SHALL BE PROTECTED FROM EXCESSIVE COMPACTION DURING CONSTRUCTION. VEHICLE AND EQUIPMENT USE SHALL BE RESTRICTED OR TECHNIQUES TO CONDITION THE SOILS TO SUPPORT VEGETATION SHALL BE IMPLEMENTED IN THE AREAS THAT HAVE BEEN COMPACTED AND ARE DESIGNATED TO REMAIN VEGETATIVE OR POST-CONSTRUCTION INFILTRATION AREAS. CLEARLY MARK THE AREAS TO BE AVOIDED WITH FLAGS OR TEMPORARY FENCING. WHERE TEMPORARY FENCING IS USED, FENCING MUST BE ADEQUATELY SUPPORTED BY POSTS AND MAINTAINED IN AN UPRIGHT POSITION.
- PERIMETER CONTROLS. PERIMETER CONTROLS ARE REQUIRED DOWN SLOPE OF ALL DISTURBED AREAS. MAINTAIN DOWNSTREAM VEGETATED BUFFER AREA.
- TRACKING CONTROL. MINIMIZE SEDIMENT TRACK-OUT ONTO OFF-SITE STREETS, OTHER PAVED AREAS, AND SIDEWALKS FROM VEHICLES EXITING THE CONSTRUCTION SITE BY RESTRICTING VEHICLE TRAFFIC TO PERMITTED AREAS AND USING ADDITIONAL CONTROLS TO REMOVE SEDIMENT FROM VEHICLE TIRES PRIOR TO EXITING THE SITE. VEHICULAR PARKING AND MOVEMENTS ON PROJECT SITES MUST BE CONFINED TO PAVED SURFACED OR PREDEFINED PARKING AREAS AND VEHICLE PATHS, WHICH SHALL BE MARKED WITH FLAGS OR BOUNDARY FENCING. ALL POLLUTANTS AND MATERIALS THAT ARE DROPPED, WASHED, TRACKED, SPILLED, OR OTHERWISE DISCHARGED FROM A PROJECT SITE TO OFF-SITE STREETS, OTHER PAVED AREAS, SIDEWALKS OR THE MS4 MUST BE CLEANED USING DRY METHODS SUCH AS SWEEPING OR VACUUMING, WASHING POLLUTANTS AND MATERIALS THAT ARE DISCHARGED FROM THE PROJECT SITE TO THE MS4 INTO DRAIN INLETS OR CATCH BASINS IS PROHIBITED UNLESS THE MATERIAL IS SEDIMENT AND THE INLETS ARE DIRECTED TO A SEDIMENT BASIN OR SEDIMENT TRAP.
- BEST MANAGEMENT PRACTICES (BMPs) SHALL NOT BE REMOVED UNTIL FINAL STABILIZATION IS COMPLETE FOR THAT PHASE.
- REFER TO CITY AND COUNTY OF HONOLULU BEST MANAGEMENT PRACTICES MANUAL - CONSTRUCTION, FOR MORE INFORMATION ON BMPs.
- THE FOLLOWING BMPs WERE DETERMINED TO BE NOT APPLICABLE BASED ON THE SPECIFIC SITE CONDITIONS. AS CONSTRUCTION PROGRESSES, REVISIONS MAY BE NECESSARY AND WILL BE PROVIDED TO DPP INSPECTORS. A BRIEF EXPLANATION OF WHY EACH OMITTED BMP IS NOT NECESSARY OR IMPRACTICABLE FOR THE PROJECT HAS BEEN PROVIDED UNDER SEPARATE DOCUMENTATION TO DPP.
 - DEWATERING PRACTICES ARE NOT APPLICABLE
 - VELOCITY DISSIPATION DEVICES ARE NOT APPLICABLE
 - SLOPE MANAGEMENT PROTECTION



DRA Architecture LLC
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905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION (AS DEFINED IN CHAPTER 16-115 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS, LICENSED PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS)

J. J. DEMPSEY
LICENSED PROFESSIONAL ENGINEER
No. 12058-C
HAWAII, U.S.A.
LICENSE EXPIRES: 30 APRIL 2020

GENERAL NOTES

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REVISION MARK • DATE • DESCRIPTION

PROPOSED PROJECT

PARCEL 10 BUILDING IMPROVEMENTS FOR:

HUNT COMMUNITIES HAWAII

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

EROSION & SEDIMENT CONTROL PLAN

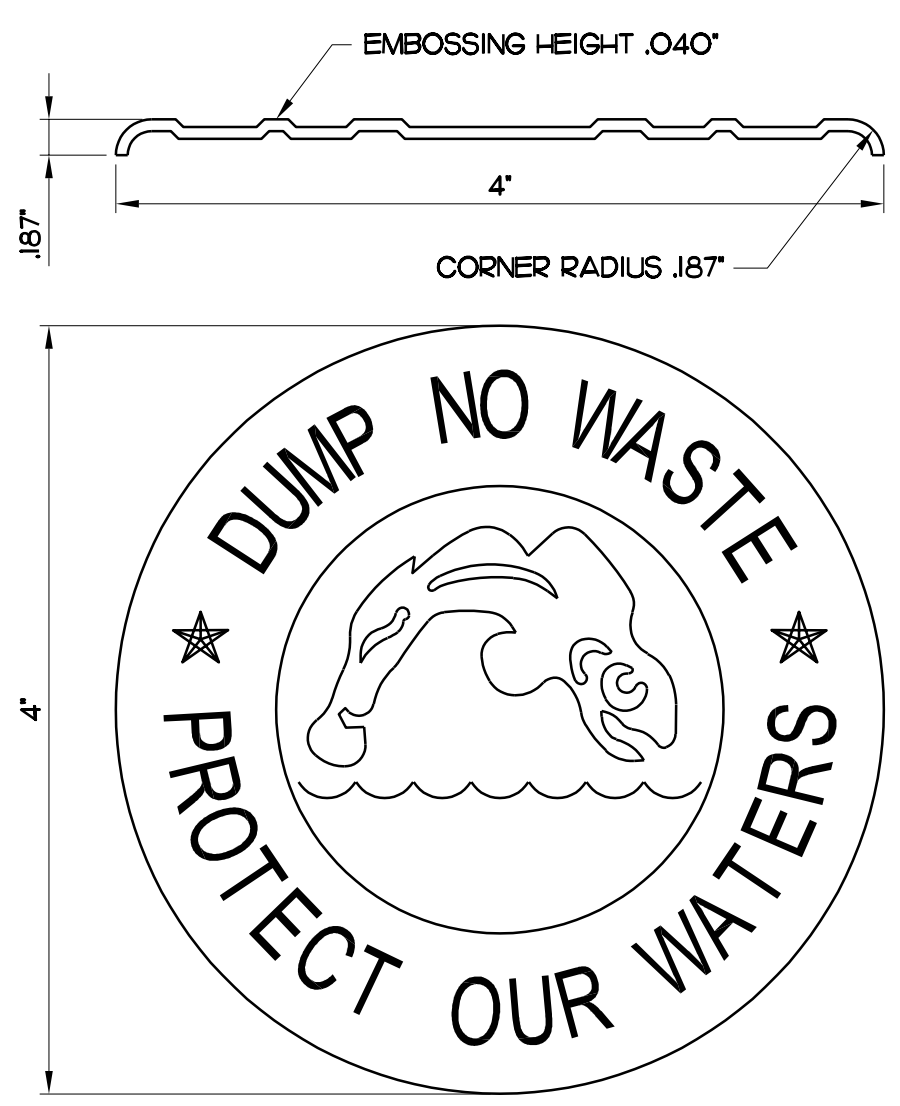
JOB NO. J20.244 DRAWING NO.

DRAWN TD

CHECKED TD

DATE JAN 2021 SHEET OF

C101



- NOTES:**
1. STORM DRAIN MARKER TO BE ALMETEK MARKER OR APPROVED EQUAL.
 2. MARKER TO BE 304 ANNEALED STAINLESS STEEL, THICKNESS OF .062", 4" DIAMETER, BLUE.
 3. THE MARKER SHALL BE CENTERED ON THE TOP OF THE DRAIN INLET AND SHALL BE 4" FROM THE CENTER OF MARKER TO THE FRONT OF INLET. THE ORIENTATION OF THE MARKER SHALL FACE AWAY FROM THE ROADSIDE (IF APPLICABLE) AND TOWARDS THE PRIMARY DIRECTION OF PEDESTRIAN CIRCULATION IN THE AREA OF THE INLET.
 4. SECURE SWO MARKER ONTO DRAIN INLET GRATE USING MANUFACTURER'S BRACKET AND BOLTING CONFIGURATION.
 5. ALTERNATELY, IF BRACKET AND BOLTING PLACEMENT IS NOT POSSIBLE, USE A CALKING TUBE GUN TO APPLY ADHESIVE WITH A SPIRAL MOTION, MOVING OUTWARD TOWARD THE EDGE OF THE MARKER.
 6. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

NOTE:
REFER TO ARCHITECTURAL DRAWINGS FOR OTHER DIMENSIONS NOT SHOWN ON THIS SHEET.

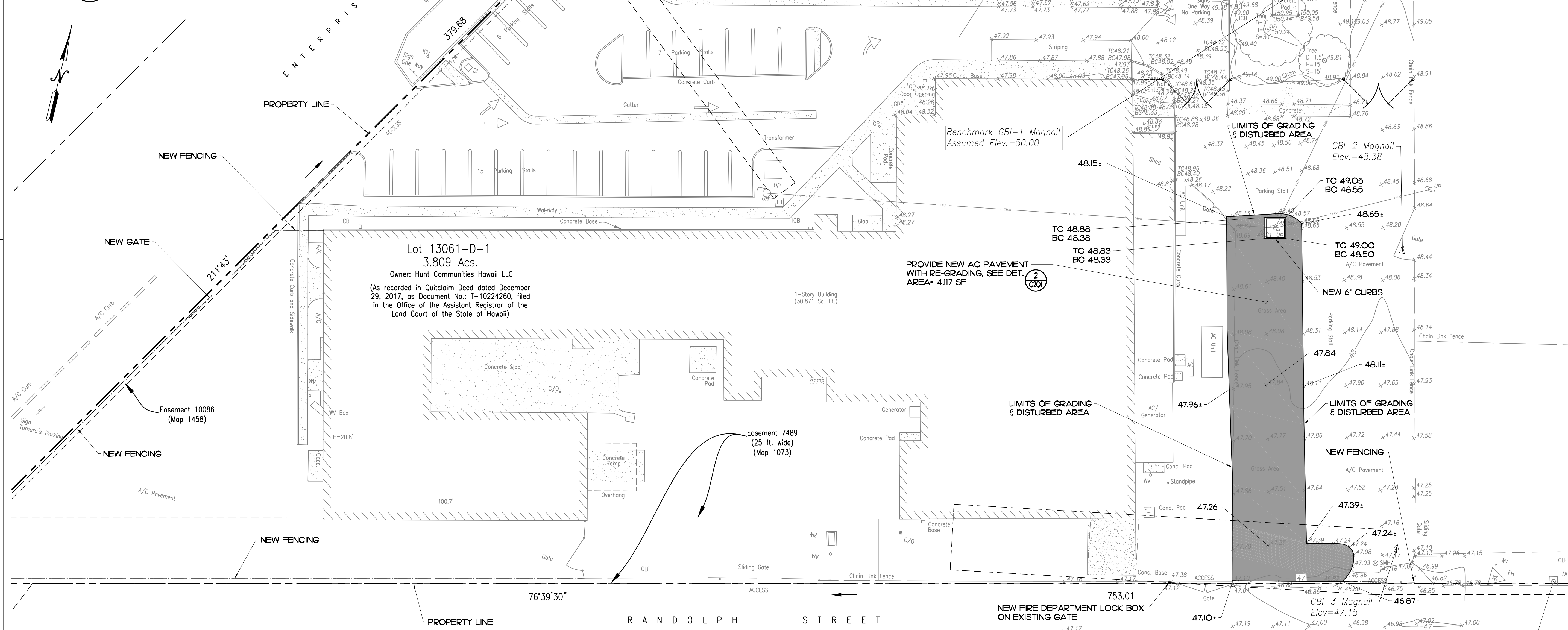
LEGEND:

PROPERTY LINE	---
EXIST. SPOT ELEVATION	5.40
PROPOSED SPOT ELEVATION	6.20
LIMITS OF GRADING AND DISTURBED AREA	---
FINISH FLOOR ELEVATION	FFE-20.0
CONCRETE CURB	---
NEW AC PAVEMENT	---
AC PAVEMENT SEALING	---

PALEKANA PERMITS THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE/FAMILY DWELLINGS)	

2 STORM DRAIN MARKER DETAIL
C102 NOT TO SCALE

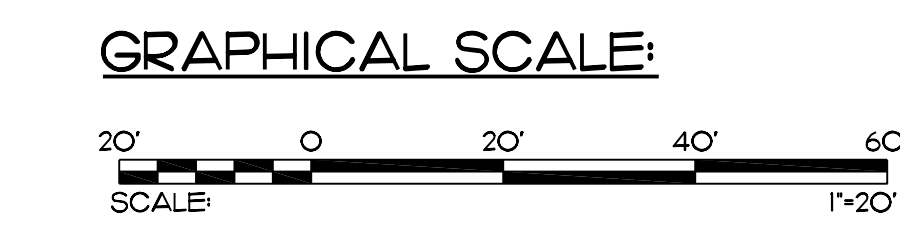


1 GRADING & POST CONSTRUCTION BMP PLAN
C102 SCALE: 1" = 20'

EARTHWORK QUANTITIES:
(FOR PERMIT PURPOSES ONLY)

AREA TO BE GRADED	4181 SF
AREA TO BE DISTURBED	6,000 SF
EXCAVATION	103 CY
EMBANKMENT	77 CY

NOTE: EARTHWORK VOLUMES BASED FINISH GRADE COMPARED TO EXISTING GRADE WITH CONSIDERATION OF BASE COURSE MATERIALS TO BE PROVIDED. ACTUAL SOIL QUANTITIES MAY VARY.



POST CONSTRUCTION BMP NOTES:

1. THE FOLLOWING SITE DESIGN STRATEGIES WILL BE PROVIDED:
 - A. CONSERVE NATURAL AREAS, SOILS, AND VEGETATION - MAJORITY OF EXISTING LANDSCAPE AREAS TO BE RETAINED.
 - B. MINIMIZE SOIL COMPACTION - HEAVY TRACK MOUNTED EQUIPMENT WILL NOT BE DRIVEN ON THE OPEN/VEGETATED AREAS TO REMAIN TO AVOID SOIL COMPACTION IN THOSE AREAS.
 - C. MINIMIZE IMPERVIOUS SURFACE - ONLY A SMALL AMOUNT OF ADDITIONAL IMPERVIOUS SURFACES WILL BE ADDED AS PART OF REDEVELOPMENT.
 - D. DIRECT RUNOFF TO LANDSCAPE AREAS - SOME EXISTING SITE RUNOFF FROM THE PARKING LOT AREAS ARE DIRECTED INTO THE LANDSCAPED AREAS.
 - E. SELF-MITIGATING AREAS - THE LANDSCAPED AREAS ON THE SIDE OF THE PARKING LOT WILL BE SELF-MITIGATING AND NOT ACCEPT RUNOFF FROM OTHER IMPERVIOUS AREAS ON THE SITE.
2. THE FOLLOWING SOURCE CONTROL BMPs WILL BE PROVIDED:
 - A. PARKING AREAS - REDEVELOPED PAVED AREAS TO BE CLEANED AND KEEP FREE OF DEBRIS AND POLLUTANTS.
 - B. LANDSCAPED AREAS - MAXIMIZE NATURAL WATER STORAGE AND INFILTRATION OPPORTUNITIES TO THE EXTEND POSSIBLE AS SHOWN IN LANDSCAPING AREAS AND AROUND THE SITE TO REMAIN.

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REVISION MARK	DATE	DESCRIPTION
		PROPOSED PROJECT
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		HUNT COMMUNITIES HAWAII
		91-1057 ENTERPRISE AVENUE KAPOLEI, OAHU, HAWAII 96707 T.M.K.: 9-1-013: 097

GRADING & POST CONSTRUCTION BMP PLAN

SHEET TITLE

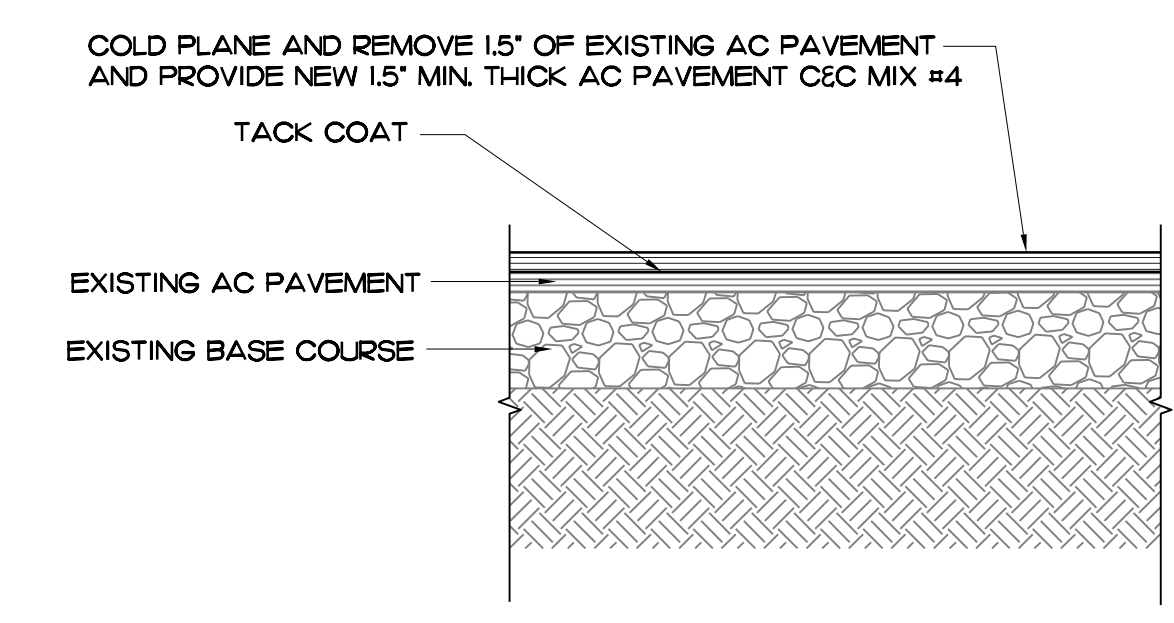
JOB NO. J20.244	DRAWING NO.
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CHECKED TD	
DATE JAN 2021	SHEET OF

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

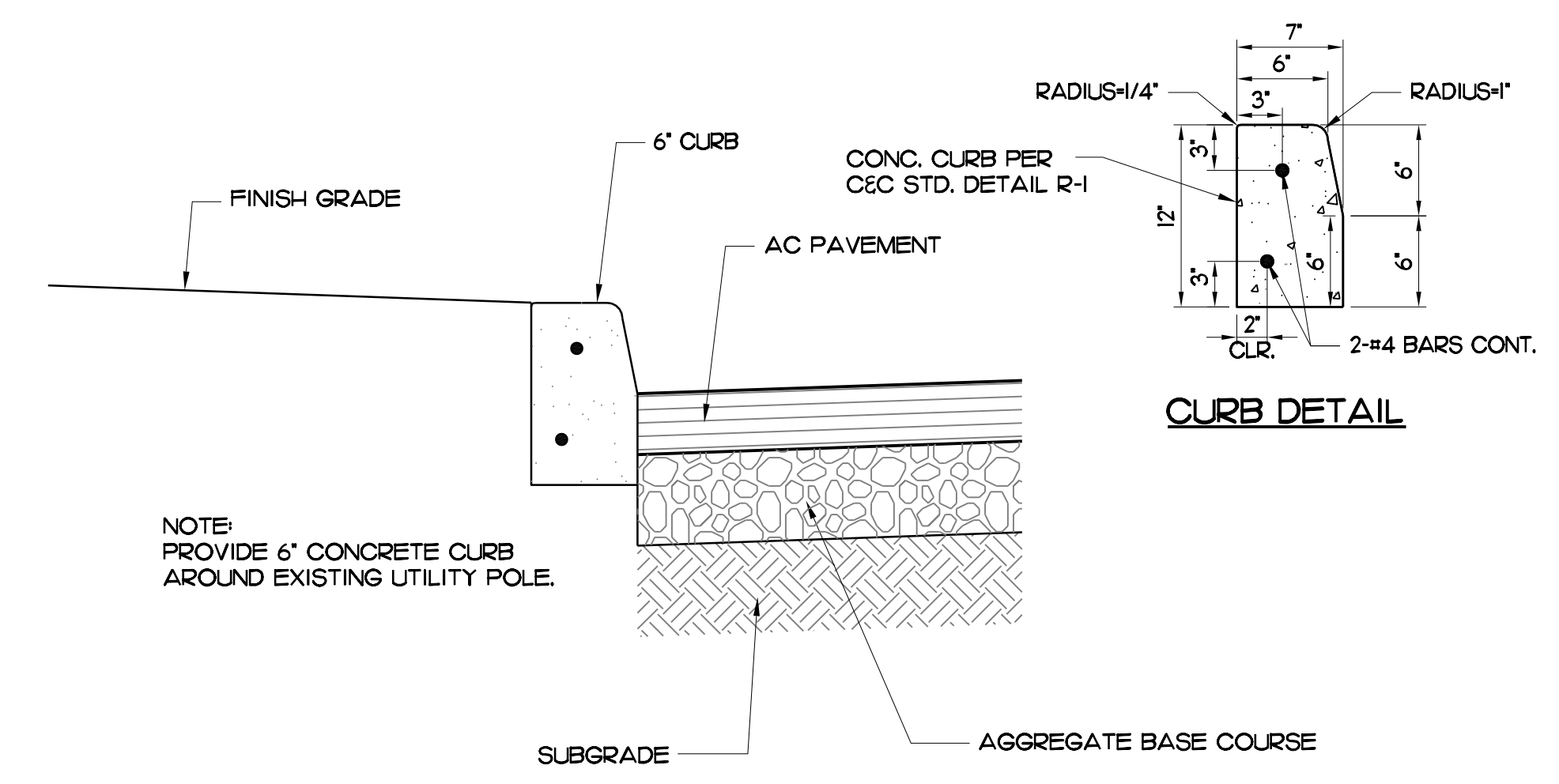
BUILDING CODE ELECTRICAL CODE

MECHANICAL CODE ZPRB (LAND USE ORDINANCE)

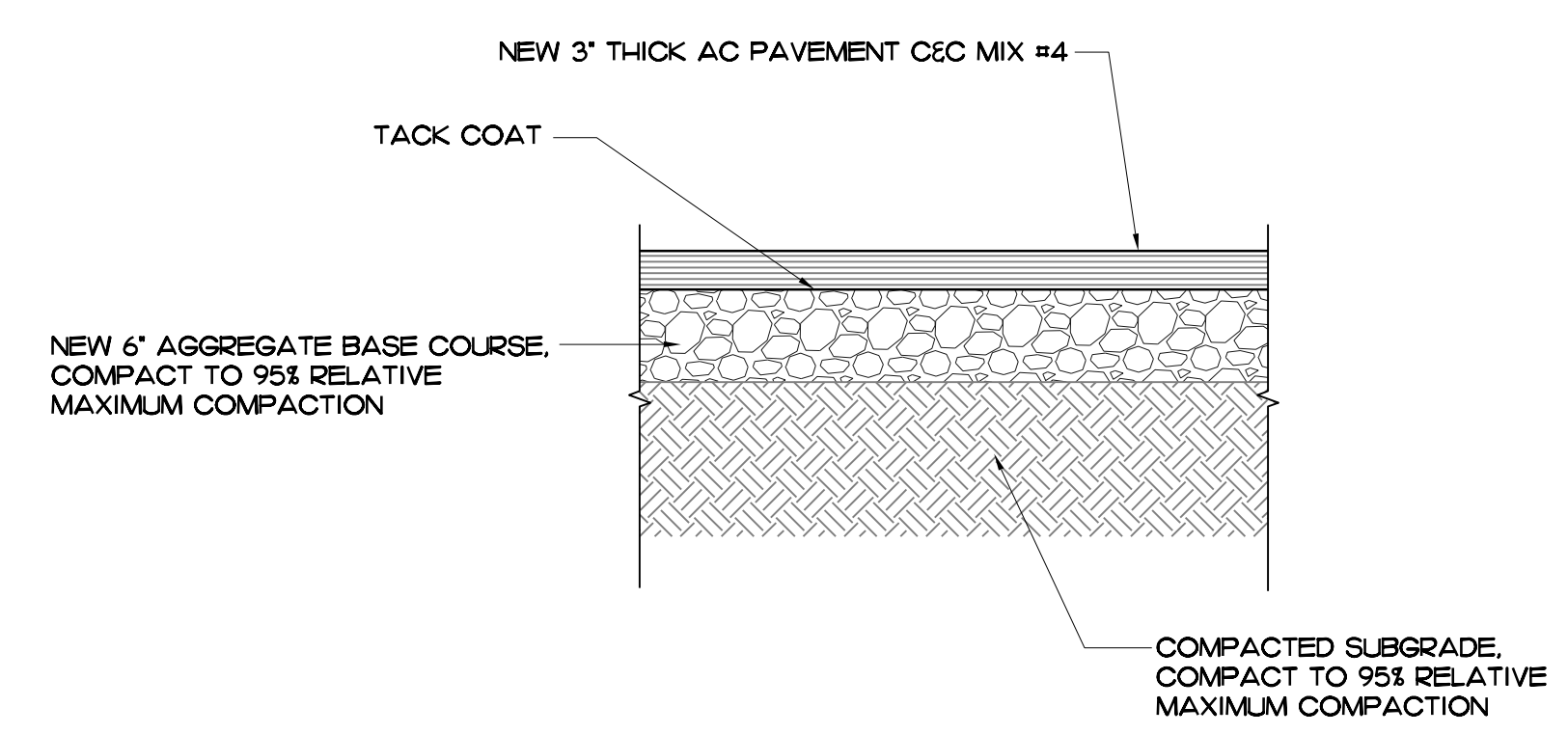
STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



1
C201 **AC PAVEMENT RESURFACING**
NOT TO SCALE



3
C201 **CONC. CURB DETAIL**
NOT TO SCALE



2
C201 **NEW AC PAVEMENT W/ GRADING**
NOT TO SCALE

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T.M.K.: 9-1-013: 097

DETAILS SHEET TITLE

JOB NO. J20.244 DRAWING NO.
DRAWN TD
CHECKED TD
DATE JAN 2021

SHEET OF
C201

NAME: R:\BPA_Projects\20007-0000 Hunt Co. - Kapaewo Parcel 10 Building Improvements\A\A001.dwg DATE: MAR 18, 2021 TIME: 2:07PM BY: BPA
SCALE: AS SHOWN
PLOT SCALE: AS SHOWN
PLOT DATE: MAR 18, 2021
PLOT TIME: 2:07PM
PLOT BY: BPA
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I, *Devin R. Accattillo*, LICENSED PROFESSIONAL ARCHITECT AR-13819 HAWAII, U.S.A., LICENSE EXPIRES: 30 APRIL 2022

PARKING

- HANDICAPPED PARKING SPACES SHALL BE LOCATED AS NEAR AS PRACTICAL TO THE PRIMARY ENTRANCES. IF ONLY ONE SPACE IS PROVIDED, IT SHALL BE FOURTEEN (14) FEET WIDE AND STRIPED TO PROVIDE A NINE (9) FOOT WIDE PARKING AREA AND A FIVE (5) FOOT WIDE SIDE AISLE. THE SIDE AISLE IS TO BE PLACED ON THE PASSENGER SIDE WHERE PRACTICAL. WHEN MORE THAN ONE SPACE IS PROVIDED, TWO SPACES MAY SHARE THE FIVE (5) FOOT SIDE AISLE LOCATED IN THE CENTER. THE MINIMUM LENGTH OF EACH PARKING SPACE SHALL BE EIGHTEEN (18) FEET.
- IN THE PARKING AREA, A BUMPER OR CURB SHALL BE PROVIDED AND LOCATED TO PREVENT ENCRoACHMENT OF CARS OVER THE REQUIRED WIDTH OF THE WALKWAYS. THE SPACE SHALL BE LOCATED THAT A HANDICAPPED PERSON IS NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED CARS OTHER THAN THEIR OWN. PEDESTRIAN WAYS WHICH ARE ACCESSIBLE TO THE HANDICAPPED SHALL BE PROVIDED FROM EACH SUCH PARKING SPACE TO RELATED FACILITIES INCLUDING CURB CUTS OR RAMPS AS NEEDED.
- SURFACE SLOPES OF HANDICAP PARKING SPACES SHALL NOT EXCEED ONE (1) VERTICAL TO FIFTY (50) HORIZONTAL.
- ENTRANCES TO AND VERTICAL CLEARANCES WITHIN PARKING STRUCTURES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF EIGHT (8) FEET, TWO (2) INCHES WHERE REQUIRED FOR ACCESSIBILITY TO HANDICAPPED PARKING SPACES.
- PARKING SPACES SHALL BE IDENTIFIED BY SIGN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY MOUNTED ON POST OR WALL IN FRONT OF SPACE. SIGN SHALL BE REFLECTORIZED WHITE ON DARK BLUE BACKGROUND, AT LEAST 70 SQUARE INCHES IN AREA AND MOUNTED A MINIMUM 80 INCHES ABOVE GRADE.
- IN ADDITION, SURFACE OF PARKING SPACES SHALL BE IDENTIFIED BY EITHER OF THE FOLLOWING SCHEMES:
 - OUTLINING OR PAINTING SPACE IN BLUE AND OUTLINING ON THE GROUND IN WHITE OR SUITABLE CONTRASTING COLOR A PROFILE VIEW DEPICTING A WHEELCHAIR WITH OCCUPANT, OR;
 - OUTLINING A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON BLUE BACKGROUND, 36 INCHES BY 36 INCHES, VISIBLE WHEN A VEHICLE IS PARKED IN THE SPACE.
- AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES OR ADJACENT TO EACH HANDICAPPED PARKING SPACE THERE SHALL BE A SIGN, 17 INCHES BY 22 INCHES WITH LETTERING NOT LESS THAN ONE (1) INCH IN HEIGHT, STATING THE FOLLOWING:
"UNAUTHORIZED VEHICLE PARKED IN DESIGNATED HANDICAPPED SPACES NOT DISPLAYING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY DISABLED PERSONS MAY BE TOWED AWAY AT OWNER'S EXPENSE TOWED VEHICLES MAY BE RECLAIMED AT OR BY TELEPHONING _____"

CURB RAMPS

- CURB RAMPS SHALL BE CONSTRUCTED AT EACH CORNER OR STREET INTERSECTIONS AND WHERE A PEDESTRIAN WAY CROSSES A CURB.
- CURB RAMPS SHALL BE A MINIMUM OF FOUR (4) FEET IN WIDTH AND SHALL LIE GENERALLY, IN A SINGLE SLOPED PLANE, WITH A MINIMUM OF SURFACE WARPING AND CROSS SLOPE.
- THE SLOPES OF CURB RAMPS SHALL NOT EXCEED ONE (1) VERTICAL TO TWELVE (12) HORIZONTAL. THE SLOPE OF THE FANNED OR FLARED SIDES OF CURB RAMPS SHALL NOT EXCEED ONE (1) VERTICAL TO TEN (10) HORIZONTAL.
- A LEVEL LANDING FOUR (4) FEET DEEP SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP OVER ITS FULL WIDTH OR THE SLOPE OF THE FANNED OR FLARED SIDES OF THE CURB RAMP SHALL NOT EXCEED ONE (1) VERTICAL TO TWELVE (12) HORIZONTAL.
- THE LOWER END OF EACH CURB RAMP SHALL HAVE A HALF (1/2) INCH LIP BEVELED AT A MAXIMUM SLOPE OF ONE TO TWO (1:2).
- THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES SHALL BE SLIP-RESISTANT AND SHALL BE OF CONTRASTING FINISH FROM THAT OF THE ADJACENT SIDEWALK.
- THE SURFACE OF EACH CURB RAMP LOCATED IN THE CENTER OF THE CURB RETURN SHALL BE GROOVED PARALLEL TO THE CENTER LINE OF THE CROSSWALKS TYPICALLY IN TWO DIRECTIONS WITH QUARTER (1/4) INCH BY QUARTER (1/4) INCH GROOVES APPROXIMATELY ONE AND A HALF (1-1/2) INCHES ON CENTER.
- ALL CURB RAMPS SHALL HAVE A GROOVED BORDER TWELVE (12) INCHES WIDE AT THE LEVEL SURFACE OF THE SIDEWALK ALONG THE TOP AND EACH SIDE APPROXIMATELY THREE-QUARTER (3/4) INCHES ON CENTER. ALL CURB RAMPS CONSTRUCTED BETWEEN THE FACE OF THE CURB AND THE STREET SHALL HAVE A GROOVED BORDER AT THE LEVEL SURFACE OF THE SIDEWALK.
- CURB RAMPS SHALL NOT ENCRoACH INTO ANY PARKING SPACE, EXCEPT CURB RAMPS LOCATED AT THE FRONT OF HANDICAPPED PARKING SPACES WHEN SUCH ENCRoACHMENT DOES NOT LIMIT A HANDICAPPED PERSONS ABILITY TO LEAVE OR ENTER THEIR VEHICLE.

WALKS AND SIDEWALKS

- WALKS AND SIDEWALKS SUBJECT TO THESE REGULATIONS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING ONE HALF INCH (1/2") AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
- SURFACES WITH A SLOPE OF LESS THAN SIX (6) PERCENT GRADIENT SHALL BE AT LEAST AS SLIP-RESISTANT AS THAT DESCRIBED AS A MEDIUM SALTED FINISH.
- SURFACES WITH A SLOPE OF SIX (6) PERCENT GRADIENT OR MORE SHALL BE SLIP-RESISTANT.
- SURFACE CROSS SLOPES SHALL NOT EXCEED TWO PERCENT (2%) GRADIENT (ONE VERTICAL TO FIFTY HORIZONTAL (1:50)).
- WALKS SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN SIXTY INCHES BY SIXTY INCHES (60" X 60") AT A DOOR/GATE THAT SWINGS TOWARD THE WALK AND NOT LESS THAN FORTY-EIGHT INCHES WIDE BY FORTY-FOUR INCHES DEEP (48" X 44") AT A DOOR/GATE THAT SWINGS AWAY FROM THE WALK. SUCH WALKS SHALL EXTEND TWENTY-FOUR INCHES (24") TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.
- ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE LEVEL AREAS AT LEAST FIVE FEET (5'-0") IN LENGTH AT INTERVALS OF AT LEAST EVERY 400 FEET.
- WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS ONE VERTICAL TO TWENTY HORIZONTAL (1:20) OR FIVE PERCENT (5%) GRADIENT, IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS.
- WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THOSE AREAS, GRID OPENINGS IN GRATINGS SHALL BE LIMITED TO ONE HALF INCH (1/2") IN THE DIRECTION OF TRAFFIC FLOW.
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE SHALL NOT EXCEED ONE-HALF INCH (1/2"). WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE TO TWO (1:2) EXCEPT THAT LEVEL CHANGES NOT EXCEEDING ONE QUARTER INCH (1/4") MAY BE VERTICAL.
- WHEN CHANGES IN LEVELS GREATER THAN ONE-HALF INCH (1/2") ARE NECESSARY, THEY SHALL COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS.

- PROVIDE EIGHTY INCH (80") HEADROOM CLEARANCE FROM WALKWAY SURFACE TO ANY OVERHANGING OBSTRUCTION.
- ABRUPT CHANGES IN LEVEL EXCEEDING FOUR INCHES (4") IN HEIGHT AND ADJACENT TO WALKS, EXCEPT BETWEEN WALKS AND ADJACENT STREETS OR DRIVES, SHALL BE IDENTIFIED BY WARNING CURBS PROJECTING SIX INCHES (6") ABOVE WALK SURFACE.
- PROTRUDING OBJECTS WITH LEADING EDGES BETWEEN TWENTY-SEVEN INCHES (27") AND EIGHTY INCHES (80") ABOVE FINISHED FLOOR SHALL NOT PROTRUDE MORE THAN FOUR INCHES (4") INTO WALKS, CORRIDORS, PASSAGEWAYS OR AISLES.
- OBJECTS WITH PROTRUDING EDGES AT OR BELOW TWENTY-SEVEN INCHES (27") ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT.
- FREE STANDING OBJECTS MOUNTED ON POSTS BETWEEN TWENTY-SEVEN INCHES (27") AND EIGHTY INCHES (80") ABOVE THE FLOOR MAY PROJECT A MAXIMUM OF TWELVE INCHES (12").

FLOORS AND LEVELS

- FLOOR SURFACES SHALL BE SLIP-RESISTANT.
- FLOORS OF A GIVEN STORY SHALL BE COMMON LEVEL THROUGHOUT OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS, OR SPECIAL ACCESS LIFTS.

ELECTRICAL

- THE CENTER OF RECEPTACLE OUTLETS SHALL BE NOT LESS THAN FIFTEEN INCHES (15") ABOVE THE FLOOR OR WORKING PLATFORM.
- THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOKING, HEATING AND VENTILATING EQUIPMENT, SHALL BE LOCATED BETWEEN THIRTY-SIX INCHES TO FORTY-EIGHT INCHES (36"-48") ABOVE THE FLOOR OR WORKING PLATFORM.
- FIFTEEN, TWENTY AND THIRTY AMP RECEPTACLE OUTLETS SHALL BE INSTALLED NOT LESS THAN FIFTY INCHES (15") ABOVE THE FLOOR.

SIGNS

- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN THESE STANDARDS. THE SYMBOL SPECIFIED ABOVE SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD 545g.
- ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY HANDICAPPED/PHYSICALLY DISABLED PERSONS SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.

ENTRANCES AND DOORS

- ALL PRIMARY ENTRANCES TO BUILDING SHALL BE MADE ACCESSIBLE TO THE HANDICAPPED.
- HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN THIRTY INCHES TO FORTY-FOUR INCHES (30"-44") ABOVE THE FLOOR. LATCHING AND LOCKING DEVICES ARE HAND OR SLIDING OR FOLDING DEVICES. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED NOT TO EXCEED FIFTEEN POUNDS (15 LBS).
- REQUIRED EXIT DOORWAYS SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN THREE FEET (3'-0") IN WIDTH AND NOT LESS THAN SIX FEET, EIGHT INCHES (6'-8") IN HEIGHT. WHEN INSTALLED IN EXIT DOORWAYS, EXIT DOORS SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR IN ITS CLOSED POSITION. SO MUCH MOUNTED THAT THE CLEAR WIDTH OF THE EXIT WAY IS NOT LESS THAN THIRTY-TWO INCHES (32").
- FOR HINGED DOORS, THE OPENING WIDTH SHALL BE MEASURED WITH THE DOOR POSITIONED AT ANY ANGLE OF NINETY DEGREES (90°) FROM ITS CLOSED POSITION. AT LEAST ONE OF A PAIR OF DOORS SHALL MEET THIS OPENING REQUIREMENT. REVOLVING DOORS SHALL NOT BE USED AS A REQUIRED ENTRANCE FOR THE HANDICAPPED.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED FIVE POUNDS (5 LBS) FOR EXTERIOR DOORS AND FIVE POUNDS (5 LBS) FOR INTERIOR DOORS, SUCH PUSH OR PULL EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED NOT TO EXCEED FIFTEEN POUNDS (15 LBS).
- THE BOTTOM TEN (10) INCHES OF ALL DOORS, EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION WHERE NARROW FRAME DOORS ARE USED. A TEN INCH (10") HIGH SMOOTH FINISH SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- THRESHOLDS SHALL NOT EXCEED ONE HALF INCH (1/2") IN HEIGHT ABOVE FLOOR AND LANDING ON BOTH SIDES.
- WHERE TURNSTILES ARE USED, A DOOR OR GATE THAT IS ACCESSIBLE TO THE HANDICAPPED SHALL BE PROVIDED WITHIN THIRTY FEET (30'-0") AND WITH A THIRTY-TWO INCH (32") CLEAR WIDTH OPENING.
- WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES (32") WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES (90°) FROM ITS CLOSED POSITION.
- THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF THE SWING OF AT LEAST SIXTY (60) INCHES AND THE LENGTH OPPOSITE THE DIRECTION OF THE DOOR SWING OF FORTY-FOUR (44) INCHES AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. THE CLEAR AREA ON THE SWING SIDE OF THE DOOR SHALL EXTEND TWENTY-FOUR (24) INCHES PAST THE STRIKE FOR EXTERIOR DOORS AND EIGHTEEN (18) INCHES PAST THE STRIKE FOR INTERIOR DOORS.

- THE FLOOR OR LANDING SHALL BE NOT MORE THAN ONE HALF (1/2) INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN ONE QUARTER (1/4) INCH AND ONE HALF (1/2) INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE TO TWO (1:2).
- EXTERIOR LANDINGS MAY SLOPE UP TO ONE QUARTER (1/4) INCH PER FOOT IN ANY DIRECTION TO ALLOW FOR SURFACE DRAINAGE.
- THE SPACE BETWEEN TWO CONSECUTIVE DOOR OPENINGS IN A VESTIBULE SHALL PROVIDE FORTY-EIGHT (48) INCHES OF CLEAR SPACE FROM ANY DOOR OPENING INTO SUCH VESTIBULE WHEN THE DOOR IS POSITIONED AT NINETY (90) DEGREES FROM ITS CLOSED POSITION. DOORS IN A SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE VESTIBULE.
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. AN EXCEPTION: THIS REQUIREMENT SHALL NOT APPLY TO EXTERIOR EXIT DOORS IN A BUILDING OCCUPANCY IF THERE IS A READILY VISIBLE, DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS". THE SIGN SHALL BE IN LETTER NOT LESS THAN ONE (1) INCH HIGH ON A CONTRASTING BACKGROUND. THE LOCKING DEVICE MUST BE A TYPE THAT WILL BE READILY DISTINGUISHABLE AS LOCKED.

- MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED. WHEN EXIT DOORS ARE USED IN PAIRS AND APPROVED AUTOMATIC FLUSH BOLTS ARE USED, THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS SHALL HAVE NO DOOR KNOBS OR SURFACE MOUNTED HARDWARE. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.

CORRIDORS

- CORRIDORS SHALL BE FORTY-FOUR INCHES (44") MINIMUM IN WIDTH OR AS REQUIRED BY OCCUPANT LOAD CORRIDORS SERVING LESS THAN TEN (10) OCCUPANTS MAY BE THIRTY-SIX INCHES (36") WIDE.
- FOR CORRIDORS OVER 200 FEET LONG, SEE ADDITIONAL REQUIREMENTS OF IBC SECTIONS 1007, 1016 & 1017.
- CORRIDORS THAT ARE MORE THAN NINETY FEET (90'-0") LONG OR THAT SERVE MORE THAN FIFTY (50) PERSONS WILL BE REQUIRED TO COMPLY WITH ONE OF THE FOLLOWING:
 - THE CORRIDOR SHOULD BE AT LEAST SIXTY INCHES (60") WIDE.
 - PROVIDE AT A CENTRAL LOCATION, A SIXTY INCHES (60" X 60") MINIMUM WHEELCHAIR TURNING SPACE OR PASSING ALCOVE.
 - PROVIDE AT A CENTRAL LOCATION AN INTERVENING CROSS OR TEE CORRIDOR, A MINIMUM OF FORTY-FOUR INCHES (44") IN WIDTH.
 - PROVIDE AT A CENTRAL LOCATION AN OPENABLE DOOR.

- PARTITIONS, RAILS, COUNTERS, AND SIMILAR SPACE DIVIDERS NOT OVER FIVE FEET (5'-0") IN HEIGHT ABOVE THE FLOOR, SHALL NOT BE CONSTRUCTED TO FORM CORRIDORS.
- WALLS OF CORRIDORS SERVING AN OCCUPANT LOAD OF THIRTY (30) OR MORE SHALL BE OF NOT LESS THAN THAT REQUIRED FOR A ONE HOUR FIRE RESISTIVE FLOOR OR ROOF SYSTEM.

- WHEN WALLS AND CEILINGS ARE REQUIRED TO BE OF FIRE RESISTIVE OR FIRE RESISTIVE/STABILIZED CONSTRUCTION, THE FINISH MATERIAL OF ANY CLASS SHALL BE APPLIED DIRECTLY AGAINST SUCH FIRE RESISTIVE CONSTRUCTION OR TO FURRING STRIPS NOT EXCEEDING ONE AND THREE-QUARTER INCHES (1-3/4") IN THICKNESS APPLIED DIRECTLY AGAINST SUCH SURFACES. THE INTERVENING SPACES BETWEEN SUCH FURRING STRIPS SHALL BE FILLED WITH INORGANIC CLASS I MATERIAL OR SHALL BE FIRE STOPPED NOT TO EXCEED EIGHT FEET (8'-0") IN ANY DIRECTION.

- WHERE CORRIDOR WALLS ARE REQUIRED TO BE OF ONE HOUR FIRE RESISTIVE CONSTRUCTION EVERY DOOR OPENING SHALL BE PROTECTED BY TIGHT FITTING SMOKE AND DRAFT CONTROL DOOR ASSEMBLY HAVING A FIRE PROTECTIONS RATING OF NOT LESS THAN TWENTY (20) MINUTES. THE DOOR AND FRAME SHALL BEAR AN APPROVED LABEL OR OTHER IDENTIFICATION SHOWING THE RATING THEREOF, THE NAME OF THE MANUFACTURER AND THE IDENTIFICATION OF THE SERVICE CONDUCTING THE INSPECTION OF MATERIALS AND WORKMANSHIP AT THE FACTORY DURING FABRICATION AND ASSEMBLY. DOORS SHALL BE MAINTAINED SELF-CLOSING OR SHALL BE AUTOMATIC CLOSING.
- OTHER INTERIOR OPENINGS SHALL BE FIXED AND PROTECTED BY APPROVED ONE QUARTER INCH (1/4") THICK WIRED GLASS INSTALLED IN STEEL FRAMES. THE TOTAL AREA OF ALL OPENINGS OTHER THAN DOORS IN ANY PORTIONS OF AN INTERIOR CORRIDOR SHALL NOT EXCEED TWENTY-FIVE PERCENT (25%) OF THE AREA OF THE CORRIDOR WALL OF THE ROOM WHICH IT IS SEPARATING FROM THE CORRIDOR.

STAIRWAY

- HANDRAILS ARE REQUIRED ON EACH SIDE OF STAIRWAY.
- HANDRAILS SHALL BE LOCATED THIRTY-FOUR INCHES (34") ABOVE NOSING, EXTEND TWELVE INCHES (12") BEYOND TOP RISER AND TWELVE INCHES (12") PLUS ONE (1) TREAD WIDTH BEYOND BOTTOM NOSING AND RETURNED TO THE WALL OR NEMEL POST.
- HANDRAILS SHALL BE ONE AND ONE QUARTER INCH (1-1/4") TO TWO INCHES (2") IN DIAMETER OR PROVIDE AN EQUIVALENT GRIPPING SURFACE AND PROVIDE A CLEAR SPACE OF ONE AND ONE HALF INCHES (1-1/2") FROM THE adjacent wall.
- TREADS SHALL HAVE SMOOTH, ROUNDED OR CHAMFERED EDGES AND BE SLIP RESISTANT.
- NOSING SHALL NOT PROJECT MORE THAN ONE AND ONE HALF INCHES (1-1/2") PAST FACE OF THE RISER BELOW.
- RISERS SHALL BE SUFFICIENTLY SOLID TO PRECLUDE OBJECTS LARGER THAN ONE HALF INCH (1/2") FROM PASSING THROUGH THEM.
- THE UPPER APPROACH AND LOWER TREAD OF EACH FLIGHT OF INTERIOR STAIRS SHALL BE MARKED WITH A CONTRASTING COLORED STRIP TWO INCHES (2") IN WIDTH.
- ON EXTERIOR STAIRS EACH TREAD SHALL BE MARKED WITH A CONTRASTING COLORED STRIP TWO INCHES (2") IN WIDTH.

HANDRAILS

- ALL HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN ONE AND ONE HALF INCHES (1-1/2") BETWEEN THE WALL AND the handrail.
- THE GRIP PORTION OF THE HANDRAIL SHALL BE NOT LESS THAN ONE AND ONE QUARTER INCHES (1-1/4") THAN ONE AND A HALF INCHES (1-1/2") IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AND EQUIVALENT GRIPPING SURFACE AND ALL SURFACES SHALL BE SMOOTH WITH NO SHARP CORNERS.

- THE SURFACE OF RAMPS SHALL BE SLIP-RESISTANT, AT LEAST EQUIVALENT TO A BROOM FINISH ON CONCRETE SECTION 3307(g).
- WHERE THE RAMP SURFACE IS NOT BOUNDED BY A WALL OR FENCE AND THE RAMP EXCEEDS TEN FEET (10'-0") IN LENGTH, THE RAMP SHALL WITH ONE OF THE FOLLOWING REQUIREMENTS:
 - A GUIDE CURB A MINIMUM OF TWO INCHES (2") IN HEIGHT SHALL BE PROVIDED AT EACH SIDE OF THE RAMP; OR;
 - A WHEEL GUIDE RAIL SHALL BE PROVIDED, CENTERED THREE INCHES PLUS OR MINUS (3±) ONE INCH (1") ABOVE THE SURFACE OF THE RAMP.

RAMPS

- ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN ONE FOOT RISE IN TWENTY FEET OF HORIZONTAL RUN (1':20').
- RAMP WIDTH SHALL BE NOT LESS THAN THAT FOR STAIRS OR EXITS MUST BE SIXTY INCHES (60") MINIMUM IF SERVING THE PRIMARY ENTRANCE OF A BUILDING WITH AN OCCUPANT LOAD OF 300 OR MORE AND SHALL BE FORTY-EIGHT INCHES (48") MINIMUM OTHERWISE.
- THE MAXIMUM SLOPE OF A RAMP THAT SERVES ANY EXITWAY, PROVIDES HANDICAP ACCESS, OR IS IN THE PATH OF TRAVEL SHALL BE ONE FOOT RISE IN TWELVE FEET OF HORIZONTAL RUN (1':12').
- TOP LANDINGS FOR RAMPS SHALL BE A MINIMUM OF SIXTY INCHES BY SIXTY INCHES (60" X 60") BOTTOM AND INTERMEDIATE LANDINGS MUST BE SEVENTY-TWO INCHES (72") LONG AND AS WIDE AS THE RAMP.
- INTERMEDIATE LANDING SHALL BE PROVIDED AT INTERVALS NOT EXCEEDING THIRTY INCHES (30") OF VERTICAL RISE AND AT EACH CHANGE IN DIRECTION.
- DOORS IN ANY POSITIONS SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE RAMP LANDING TO LESS THAN FORTY-TWO INCHES (42") AND SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN THREE AND ONE HALF INCHES (3-1/2") WHEN FULLY OPEN.
- THE WIDTH OF THE LANDING SHALL EXTEND TWENTY-FOUR INCHES (24") PAST THE STRIKE EDGE OF ANY DOOR OR GATE FOR EXTERIOR RAMPS AND EIGHTEEN INCHES (18") PAST THE STRIKE EDGE FOR INTERIOR RAMPS.
- THE CROSS SLOPE ON A RAMP OR THE SLOPE ACROSS A RAMP LANDING IN ANY DIRECTION SHALL NOT EXCEED ONE QUARTER INCH RISE IN TWELVE INCHES OF HORIZONTAL RUN (1/4":12"). SECTION 413(g).
- HANDRAILS ARE REQUIRED ON RAMPS IF THE SLOPE EXCEED ONE FOOT RISE IN FIFTEEN FEET OF HORIZONTAL RUN (1':15')
- HANDRAILS SHALL BE PLACED ON EACH SIDE OF EACH RAMP. SHALL BE CONTINUOUS THE FULL LENGTH OF THE RAMP. THE TOP SHALL BE THIRTY-FOUR INCHES (34") ABOVE THE RAMP SURFACE, SHALL EXTEND A MINIMUM OF ONE FOOT (1'-0") BEYOND THE TOP AND BOTTOM OF THE RAMP, THE ENDS SHALL BE RETURNED TO THE WALL OR VERTICAL POST, SHALL BE A MINIMUM OF ONE AND ONE QUARTER INCHES (1-1/4") TO A MAXIMUM OF TWO INCHES (2") IN DIAMETER OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. ALL SURFACES SHALL BE SMOOTH WITH NO SHARP CORNERS AND PROVIDE A CLEAR SPACE BETWEEN THE WALL AND THE HANDRAIL OF ONE AND ONE HALF INCHES (1-1/2").
- THE SURFACE OF RAMPS SHALL BE SLIP-RESISTANT, AT LEAST EQUIVALENT TO A BROOM FINISH ON CONCRETE.

- WHERE THE RAMP SURFACE IS NOT BOUNDED BY A WALL OR FENCE AND THE RAMP EXCEEDS TEN FEET (10'-0") IN LENGTH, THE RAMP SHALL MEET ONE OF THE FOLLOWING REQUIREMENTS:
 - A GUIDE CURB A MINIMUM OF TWO (2) INCHES IN HEIGHT SHALL BE PROVIDED AT EACH SIDE OF THE RAMP; OR;
 - A WHEEL GUIDE RAIL SHALL BE PROVIDED, CENTERED THREE INCHES PLUS OR MINUS (3±) ONE INCH (1") ABOVE THE SURFACE OF THE RAMP.

SANITARY FACILITIES

- WHERE SEPARATE FACILITIES ARE PROVIDED FOR NON-HANDICAPPED PERSONS OF EACH SEX, SEPARATE FACILITIES SHALL BE PROVIDED FOR HANDICAPPED PERSONS OF EACH SEX ALSO. WHERE UNISEX FACILITIES ARE PROVIDED FOR NON-HANDICAPPED PERSONS, SUCH UNISEX FACILITIES SHALL BE PROVIDED FOR THE HANDICAPPED.
- WHERE SANITARY FACILITIES ARE LOCATED ON ACCESSIBLE FLOORS OF A BUILDING, THEY SHALL BE MADE ACCESSIBLE TO THE HANDICAPPED.
- CORRIDORS LEADING TO SANITARY FACILITIES SHALL HAVE A CLEAR ACCESS WIDTH OF FORTY-FOUR INCHES (44") MINIMUM.
- ALL DOORWAYS LEADING TO SUCH SANITARY FACILITIES SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF THIRTY-TWO INCHES (32").
- ALL DOORWAYS LEADING TO SUCH SANITARY FACILITIES SHALL HAVE A LEVEL AND CLEAR AREA SIXTY INCHES (60") SQUARE IN THE DIRECTION OF THE DOOR SWING AND FORTY-FOUR INCHES (44") SQUARE WHERE THE DOOR SWINGS AWAY FROM THE LEVEL AND CLEAR AREA.
- MULTIPLE ACCOMMODATION SANITARY FACILITIES SHALL HAVE THE FOLLOWING:
 - A CLEAR SPACE MEASURED FROM THE FLOOR TO A HEIGHT OF TWENTY-SEVEN INCHES (27") ABOVE THE FLOOR WITHIN THE SANITARY FACILITY ROOM, OF SUFFICIENT SIZE TO INScribe A CIRCLE WITH A DIAMETER OF NOT LESS THAN SIXTY INCHES (60") OR A CLEAR SPACE FIFTY-SIX INCHES BY SIXTY-THREE INCHES (56" X 63") IN SIZE, DOORS, OTHER THAN THE DOOR TO THE HANDICAPPED WATER CLOSET COMPARTMENT, IN ANY POSITION MAY ENCRoACH INTO THIS SPACE BY NOT MORE THAN TWELVE INCHES (12").

- A WATER CLOSET FIXTURE LOCATED IN A COMPARTMENT SHALL PROVIDE A TWENTY-EIGHT INCH (28") WIDE CLEAR SPACE FROM A FIXTURE OR A THIRTY-TWO INCH (32") WIDE CLEAR SPACE FROM A WALL AT ONE SIDE OF THE WATER CLOSET AND A FORTY-EIGHT INCH (48") LONG CLEAR SPACE IN FRONT OF THE WATER CLOSET IF THE COMPARTMENT HAS AN END OPENING DOOR (FACING THE WATER CLOSET) OR A SIXTY INCH (60") CLEAR SPACE IF THE COMPARTMENT HAS A SIDE OPENING DOOR. GRAB BARS SHALL NOT PROJECT MORE THAN THREE INCHES (3") INTO THE CLEAR SPACES AS SPECIFIED ABOVE.
- A WATER CLOSET COMPARTMENT SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC CLOSING DEVICE, SWINGS OUT FROM THE STALL AND SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF THIRTY-TWO INCHES (32") WHEN LOCATED AT THE END AND THIRTY-FOUR INCHES (34") WHEN LOCATED AT THE SIDE WITH THE DOOR POSITIONED AT AN ANGLE OF NINETY DEGREES (90°) FROM ITS CLOSED POSITION EXCEPT FOR DOOR OPENING WIDTHS AND DOOR SWINGS. A CLEAR UNOBSTRUCTED ACCESS NOT LESS THAN FORTY-FOUR INCHES (44") SHALL BE PROVIDED TO WATER CLOSET COMPARTMENTS DESIGNED FOR USE BY THE HANDICAPPED AND THE SPACE IMMEDIATELY IN FRONT OF A WATER CLOSED COMPARTMENT SHALL BE NOT LESS THAN FORTY-EIGHT INCHES (48") AS MEASURED AT RIGHT ANGLES TO THE COMPARTMENT DOOR IN ITS CLOSED POSITION.

- SINGLE ACCOMMODATION SANITARY FACILITY SHALL HAVE THE FOLLOWING:
 - THERE SHALL BE SUFFICIENT SPACE IN THE ROOM FOR A WHEELCHAIR MEASURING THIRTY INCHES (30") WIDE BY FORTY-EIGHT INCHES (48") LONG TO ENTER THE ROOM
 - THE WATER CLOSET SHALL BE LOCATED IN A SPACE WHICH PROVIDES A FORTY-EIGHT INCH (28") WIDE CLEAR SPACE FROM A WALL AT ONE SIDE AND FORTY-EIGHT INCHES (48") OF CLEAR SPACE IN FRONT OF THE WATER CLOSET.

- IN AN EXISTING BUILDING, A SINGLE ACCOMMODATION SANITARY FACILITY MAY HAVE THE WATER CLOSET FIXTURE LOCATED IN A COMPARTMENT WHICH PROVIDES A CLEAR SPACE OF NOT LESS THAN THIRTY-SIX INCHES WIDE BY FORTY-EIGHT INCHES LONG (36" X 48") IN FRONT OF THE WATER CLOSET.

- ON DOORWAYS LEADING TO SANITARY FACILITIES, PROVIDE A ONE QUARTER INCH (1/4") THICK SIGN, CENTERED ON THE DOOR, SIXTY INCHES (60") ABOVE THE FLOOR, IN A CONTRASTING COLOR, THE SIGN FOR THE MEN'S RESTROOM IS A TWELVE INCH (12") EQUILATERAL TRIANGLE. THE SIGN FOR THE WOMEN'S RESTROOM IS A TWELVE INCH (12") DIAMETER CIRCLE.

- ON DOORWAYS LEADING TO UNISEX FACILITIES, PROVIDE A ONE QUARTER INCH (1/4") THICK EQUILATERAL TRIANGLE INSCRIBED ON A ONE QUARTER INCH (1/4") THICK BY TWELVE INCH (12") DIAMETER CIRCLE. THE SIGN IS TO BE OF A CONTRASTING COLOR WITH THE DOOR AND CENTERED ON THE DOOR AT A HEIGHT OF 60 INCHES (60").

- WHERE PERMANENT IDENTIFICATION IS PROVIDED OR WHERE SIGNAGE IS REQUIRED FOR ROOMS AND SPACES, RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH ADAAG SECTION 4.30. SIGNS SHALL BE INSTALLED ON THE WALL AND ADJACENT TO THE LATCH OUTLET OF THE DOOR WHERE THERE IS NO WALL SURFACE ON THE LATCH SIDE INCLUDING AT THE DOUBLE LEAF DOORS. SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60 INCHES (1524mm) ABOVE THE FINISH FLOOR TO THE CENTER LINE OF THE SIGN. MOUNTING LOCATIONS SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES (76mm) OF THE SIGN AND ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.

BATHING FACILITIES

- ONE SUCH FACILITY SHALL COMPLY WHEN PROVIDED FOR THE PUBLIC, CLIENTS OR EMPLOYEES.
- SHOWER COMPARTMENTS SHALL BE FORTY-TWO INCHES (42") WIDE, FORTY-EIGHT INCHES (48") DEEP, WITH A THIRTY-SIX (36") WIDE ENTRANCE.
- SHOWER FLOOR SHALL BE SLIP RESISTANT AND SLOPE AT 2% MAXIMUM TO DRAIN LOCATION.
- HANDICAPPED BATHING FACILITIES SHALL CONFORM TO REQUIREMENT OF ADAAG SECTIONS 4.20, 4.21 & 4.23.

LAVATORIES

- LAVATORIES ADJACENT TO A WALL SHALL BE MOUNTED A MINIMUM DISTANCE OF EIGHTEEN INCHES (18") TO THE CENTER LINE OF THE FIXTURE. LAVATORIES SHALL BE MOUNTED WITH CLEARANCE OF AT LEAST TWENTY-NINE INCHES (29") FROM THE FLOOR TO THE BOTTOM OF THE APRON WITH KNEE SPACE UNDER THE FRONT LIP EXTENDING A MINIMUM OF THIRTY INCHES (30") IN WIDTH WITH EIGHT INCHES (8") MINIMUM DEPTH AT THE TOP. TOE CLEARANCE SHALL BE THE SAME WIDTH AND SHALL BE A MINIMUM OF SEVENTEEN INCHES (17") DEEP FROM THE FRONT OF THE LAVATORY.
- HOT WATER AND DRAIN PIPE UNDER THE LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
- FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN FIVE POUNDS (5 LBS). LEVER-OPERATED PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST TEN (10) SECONDS.
- A CLEAR FLOOR SPACE THIRTY INCHES BY FORTY-EIGHT INCHES (30" X 48") SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY.

WATER CLOSETS

- THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF SEVENTEEN INCHES (17") AND A MAXIMUM OF NINETEEN INCHES (19"), MEASURED TO THE TOP OF THE WATER CLOSET SEAT. FLUSH CONTROLS SHALL BE OPERABLE BY AN OSCILLATING HANDLE WITH A MAXIMUM OPERATING FORCE OF THREE POUNDS (3 LBS) OR BY A REMOTE LOW VOLTAGE BUTTON. THE HANDLE OR BUTTON SHALL BE LOCATED ON THE WIDE SIDE OF THE WATER CLOSET STALL OR COMPARTMENT AND SO THEY ARE OPERABLE WITHOUT REQUIRING EXCESSIVE BODY MOVEMENT.
- GRAB BARS LOCATED ON EACH SIDE, OR ON ONE SIDE AND THE BACK OF THE HANDICAPPED WATER CLOSET STALL OR COMPARTMENT, SHALL BE MOUNTED AT THIRTY-THREE INCHES (33") ABOVE AND PARALLEL TO THE FLOOR AND SECURELY ATTACHED TO THE WALL. GRAB BARS AT THE SIDE SHALL BE AT LEAST FORTY-TWO INCHES (42") LONG WITH THE FRONT END POSITIONED TWENTY-FOUR INCHES (24") IN FRONT OF THE WATER CLOSET STOOL AND GRAB BARS AT THE BACK OF THE STALL SHALL NOT BE LESS THAN THIRTY-SIX INCHES (36"). THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE ONE AND ONE QUARTER INCH (1-1/4") TO ONE AND ONE HALF INCH (1-1/2") OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF GRAB BARS ARE MOUNTED ADJACENT TO WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE ONE AND ONE HALF INCHES (1-1/2").
- THE CENTERLINE OF THE WATER CLOSET SHALL BE LOCATED EIGHTEEN INCHES (18") FROM THE WALL.
- BAR FASTENERS AND MOUNTING SUPPORT SHALL BE ABLE TO WITHSTAND 250 POUNDS POINT LOAD IN BENDING, SHEAR AND TORSION.

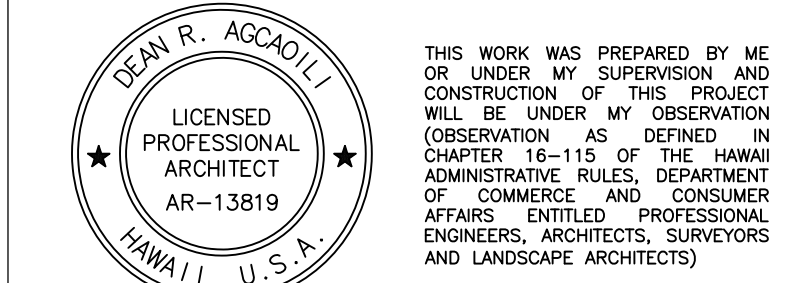
PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

DRINKING FOUNTAINS

- WHERE WATER FOUNTAINS ARE PROVIDED, THEY SHALL COMPLY WITH DISABLE ACCESS REQUIREMENTS PER ADAAG 4.15.
- WHERE ONLY ONE DRINKING FOUNTAIN AREA IS PROVIDED ON A FLOOR, THERE SHALL BE DRINKING FOUNTAIN THAT IS ACCESSIBLE TO INDIVIDUALS WHO USE WHEELCHAIRS AND ONE ACCESSIBLE TO THOSE WHO HAVE DIFFICULTY BENDING OR STOOPING. THIS CAN BE ACCOMMODATED BY THE USE OF "HI-LOW" FOUNTAINS, OR BY SUCH OTHER MEANS AS WOULD ACHIEVE THE REQUIRED ACCESSIBILITY FOR EACH GROUP ON EACH FLOOR.
- WATER FOUNTAINS SHALL BE LOCATED COMPLETELY WITHIN ALCOVES OR OTHERWISE POSITIONED SO AS NOT TO ENCRoACH INTO PEDESTRIAN WAYS. THE ALCOVE IN WHICH THE WATER FOUNTAIN IS LOCATED SHALL BE NOT LESS THAN THIRTY-TWO INCHES (32") IN WIDTH AND EIGHTEEN INCHES (18") IN DEPTH.
- THE DRINKING FOUNTAIN SHALL BE A MINIMUM OF EIGHTEEN INCHES (18") IN DEPTH AND THERE SHALL BE CLEAR AND UNOBSTRUCTED KNEE SPACE UNDER THE DRINKING FOUNTAIN NOT LESS THAN TWENTY-SEVEN INCHES (27") IN HEIGHT AND EIGHT INCHES (8") IN DEPTH. THE DEPTH MEASUREMENT BEING TAKEN FROM THE FRONT EDGE OF THE FOUNTAIN. ADDITIONALLY, THERE SHALL BE TOE CLEARANCE OF THE FRONT EDGE NINE INCHES (9") IN HEIGHT ABOVE THE FLOOR AND SEVENTEEN INCHES (17") IN DEPTH FROM THE FRONT EDGE OF THE FOUNTAIN. A SIDE APPROACH DRINKING FOUNTAIN IS NOT ACCEPTABLE.
- THE BUBBLER SHALL BE ACTIVATED BY CONTROL WHICH IS EASILY OPERATED BY A DISABLED PERSON SUCH AS A HAND-OPERATED LEVER TYPE CONTROL LOCATED WITHIN SIX INCHES (6") OF THE FRONT OF THE DRINKING FOUNTAIN, ETC. THE BUBBLER OUTLET CIRCLET SHALL BE LOCATED WITHIN SIX INCHES (6") OF THE FRONT OF THE DRINKING FOUNTAIN AND SHALL BE WITHIN THIRTY-SIX INCHES (36") OF THE FLOOR. THE WATER STREAM FROM THE BUBBLER SHALL BE SUBSTANTIALLY PARALLEL TO THE FRONT EDGE OF THE DRINKING FOUNTAIN.



ARCHITECTURE DESIGN INTERIORS
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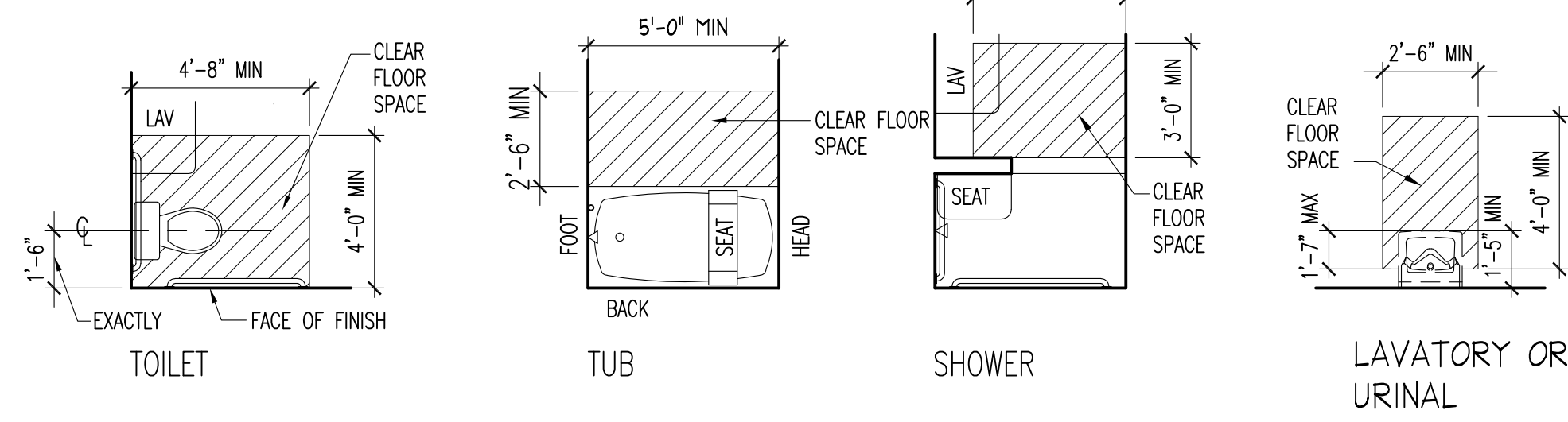
LICENSE EXPIRES: 30 APRIL 2022

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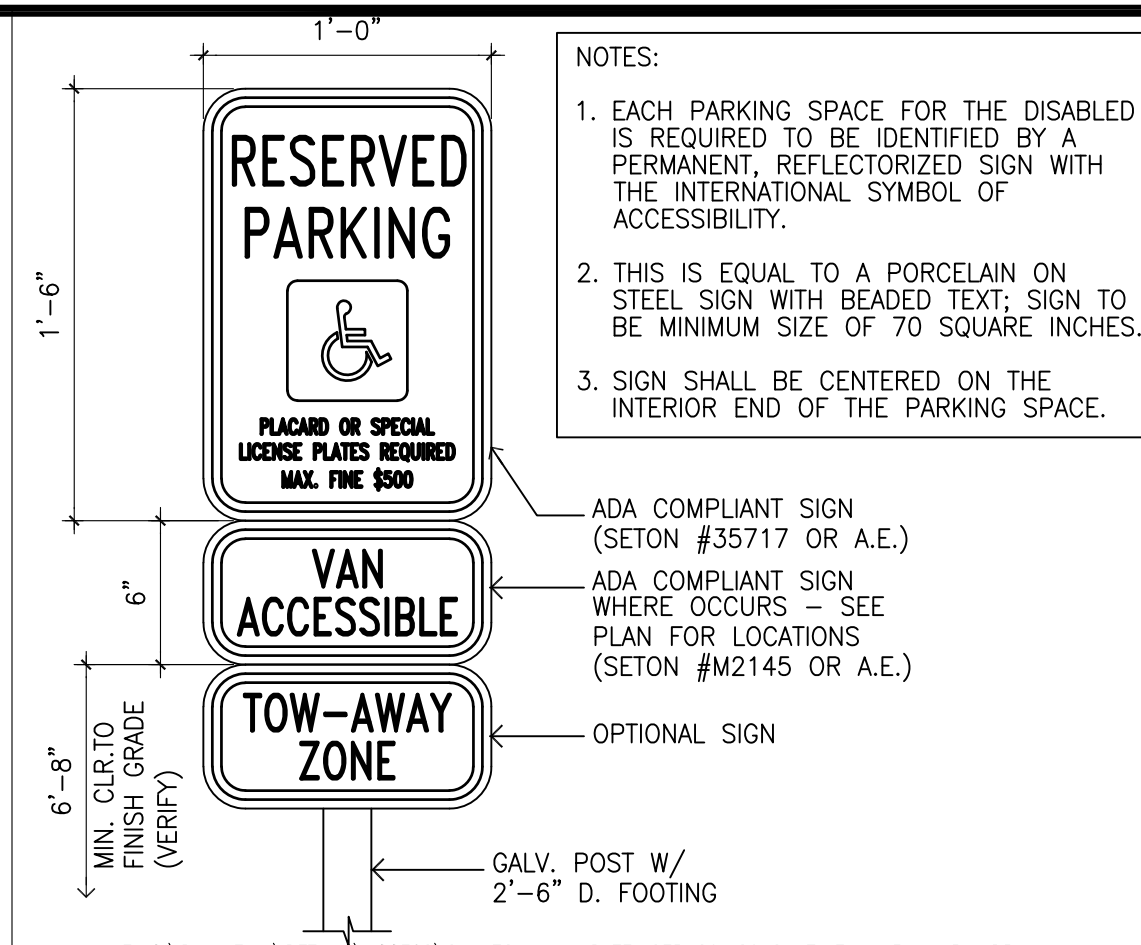
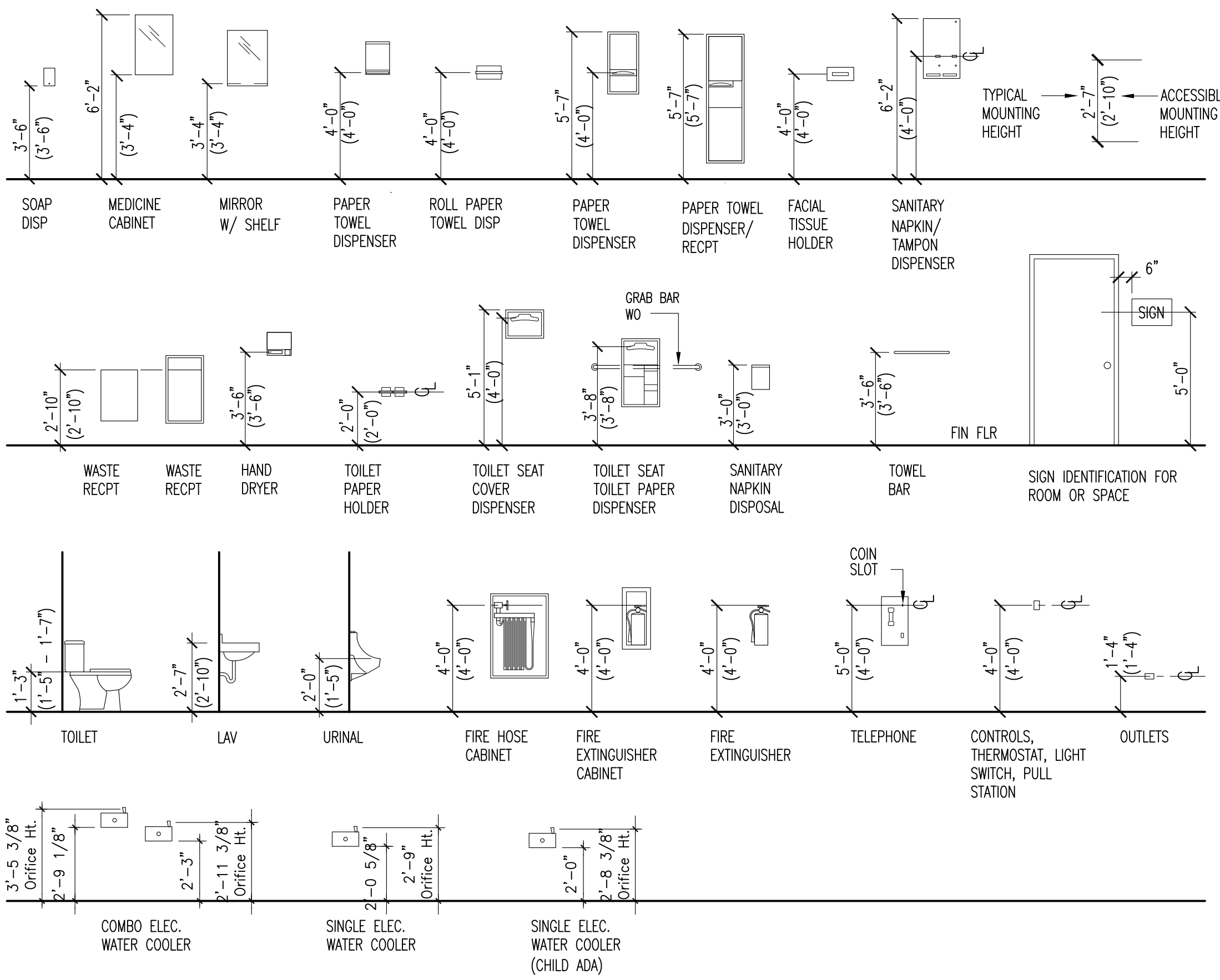
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GENERAL	
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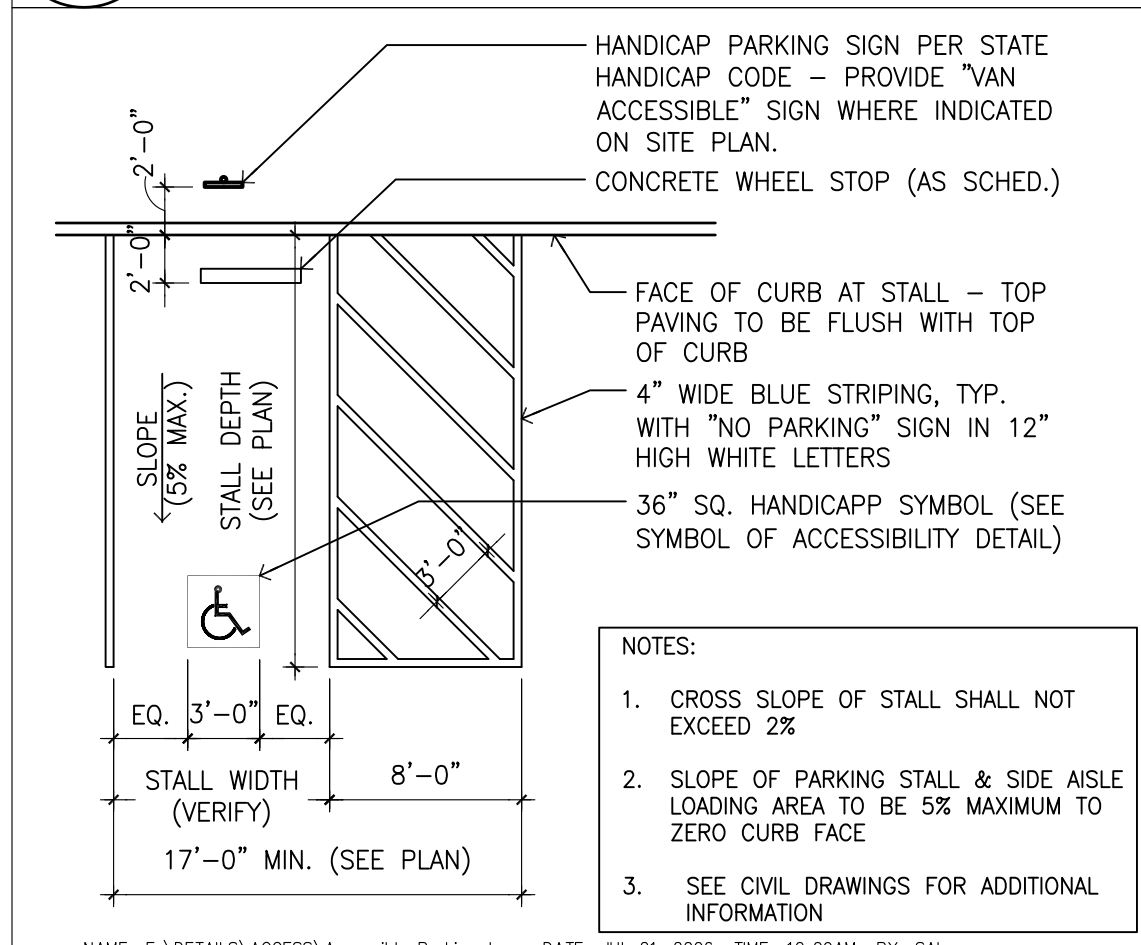
ADA CLEARANCES



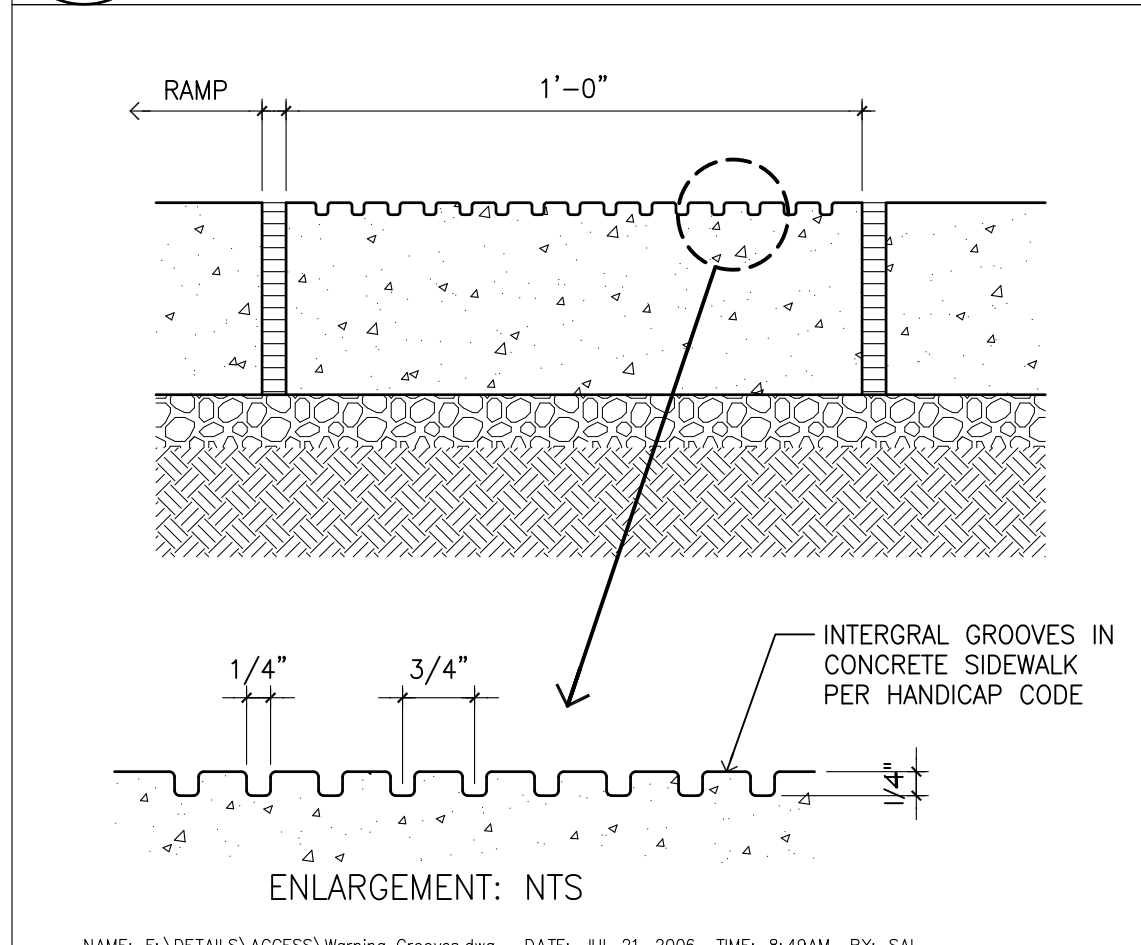
MOUNTING HEIGHT SCHEDULE



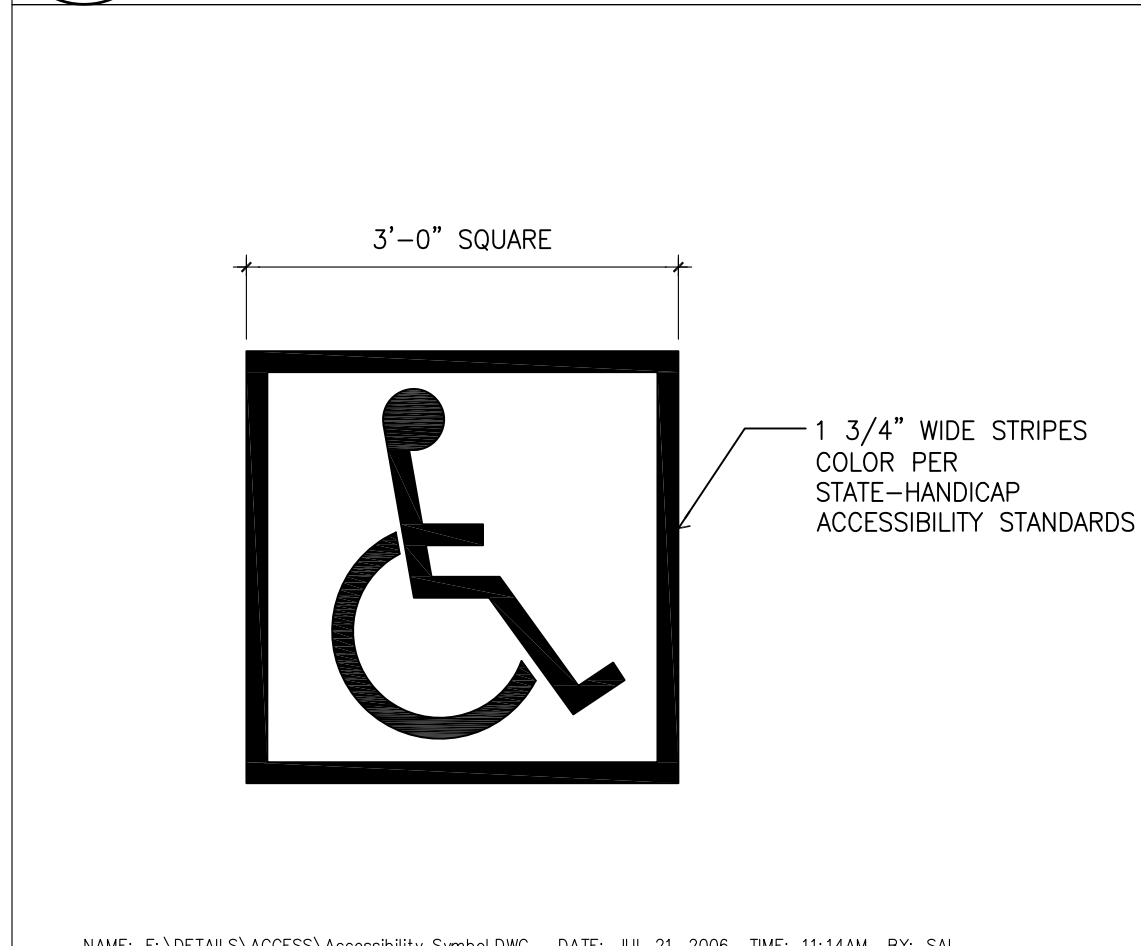
8 ADA PARKING SIGN DETAIL SCALE: 1 1/2" = 1'-0" SIGN R-78



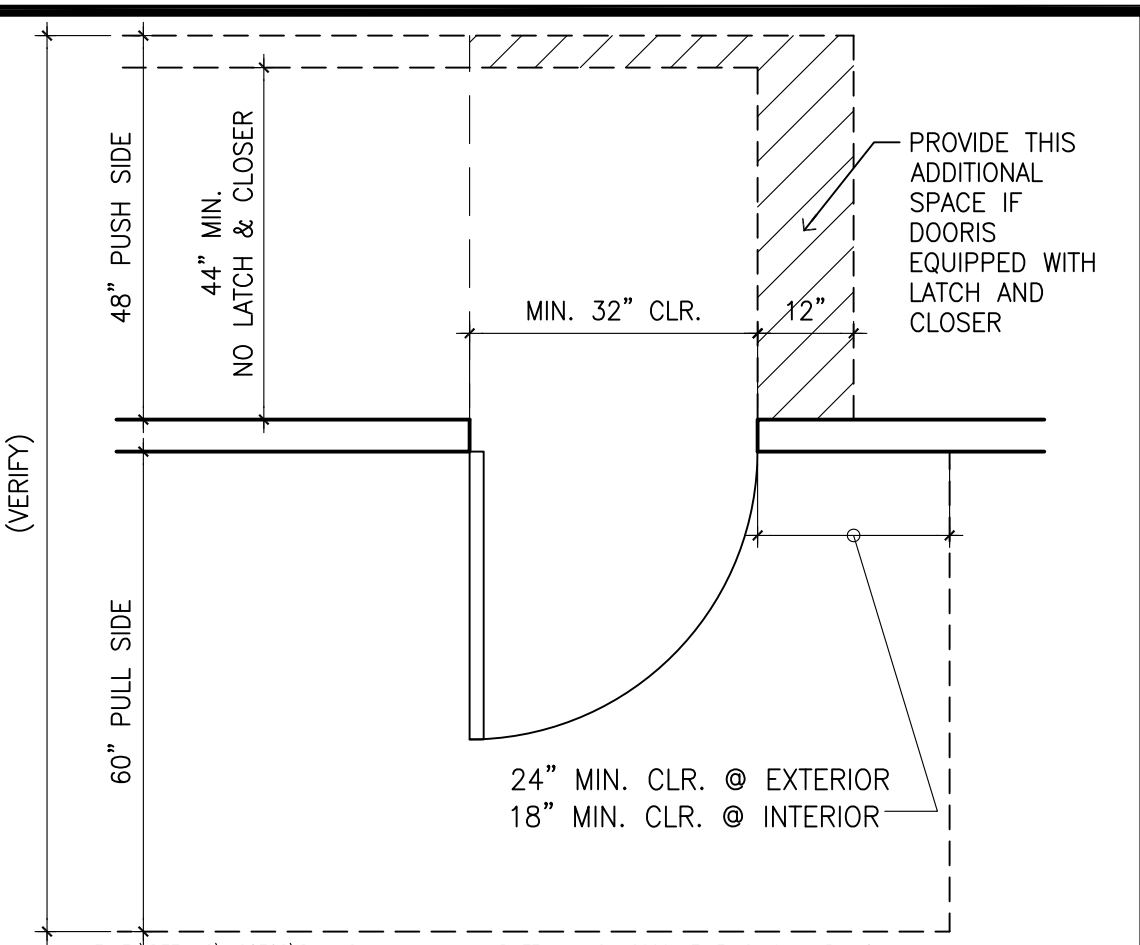
7 HANDICAPPED PARKING SCALE: 1/8" = 1'-0"



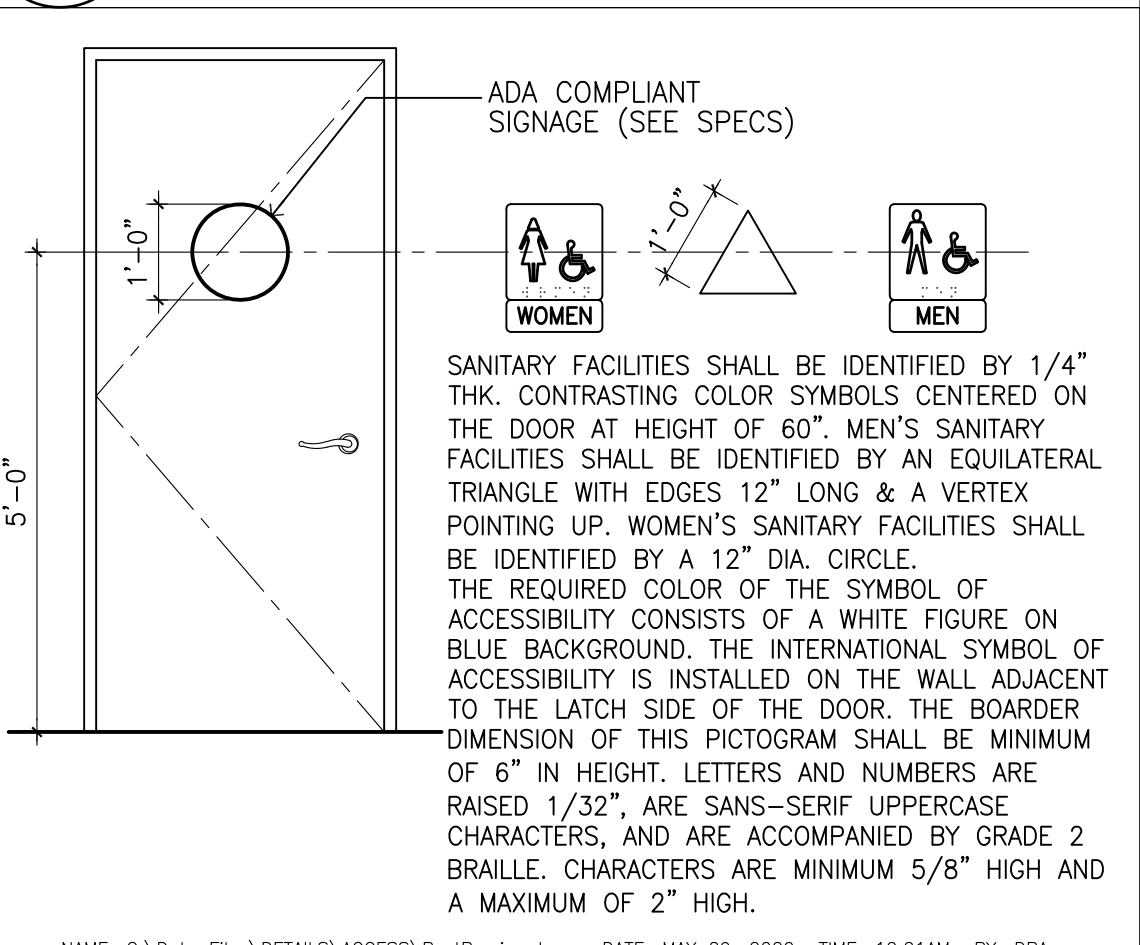
7 WARNING GROOVES SCALE: 3" = 1'-0"



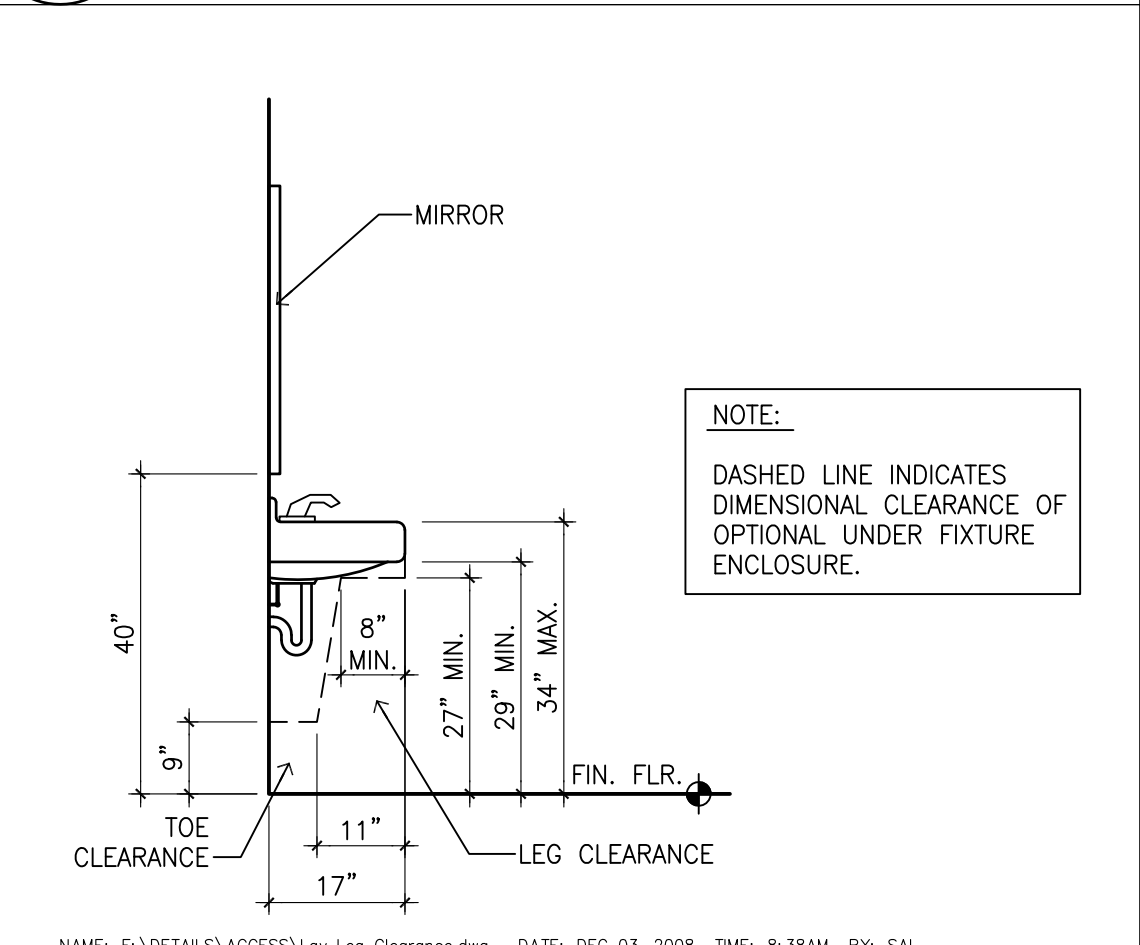
6 SYMBOL OF ACCESSIBILITY SCALE: 3/4" = 1'-0"



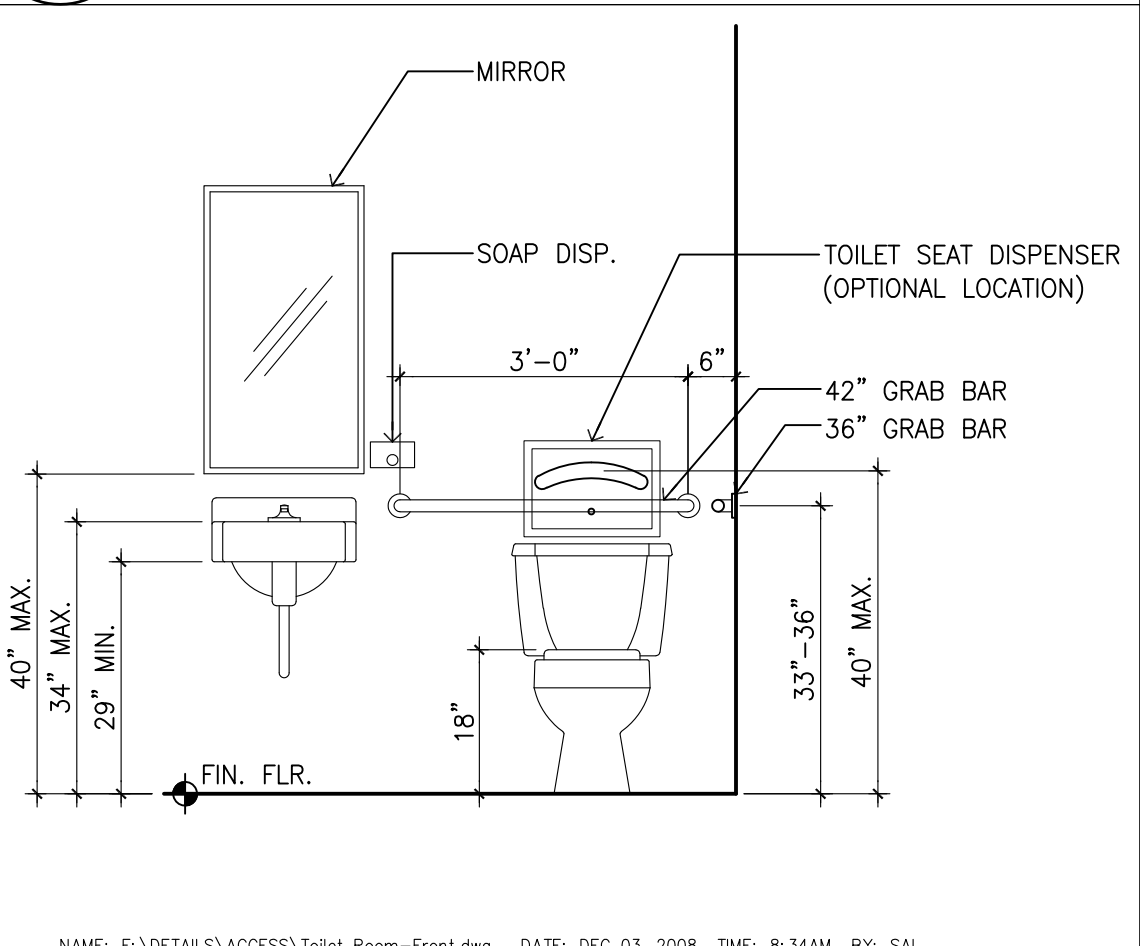
5 DOOR CLEARANCES SCALE: 1/2" = 1'-0"



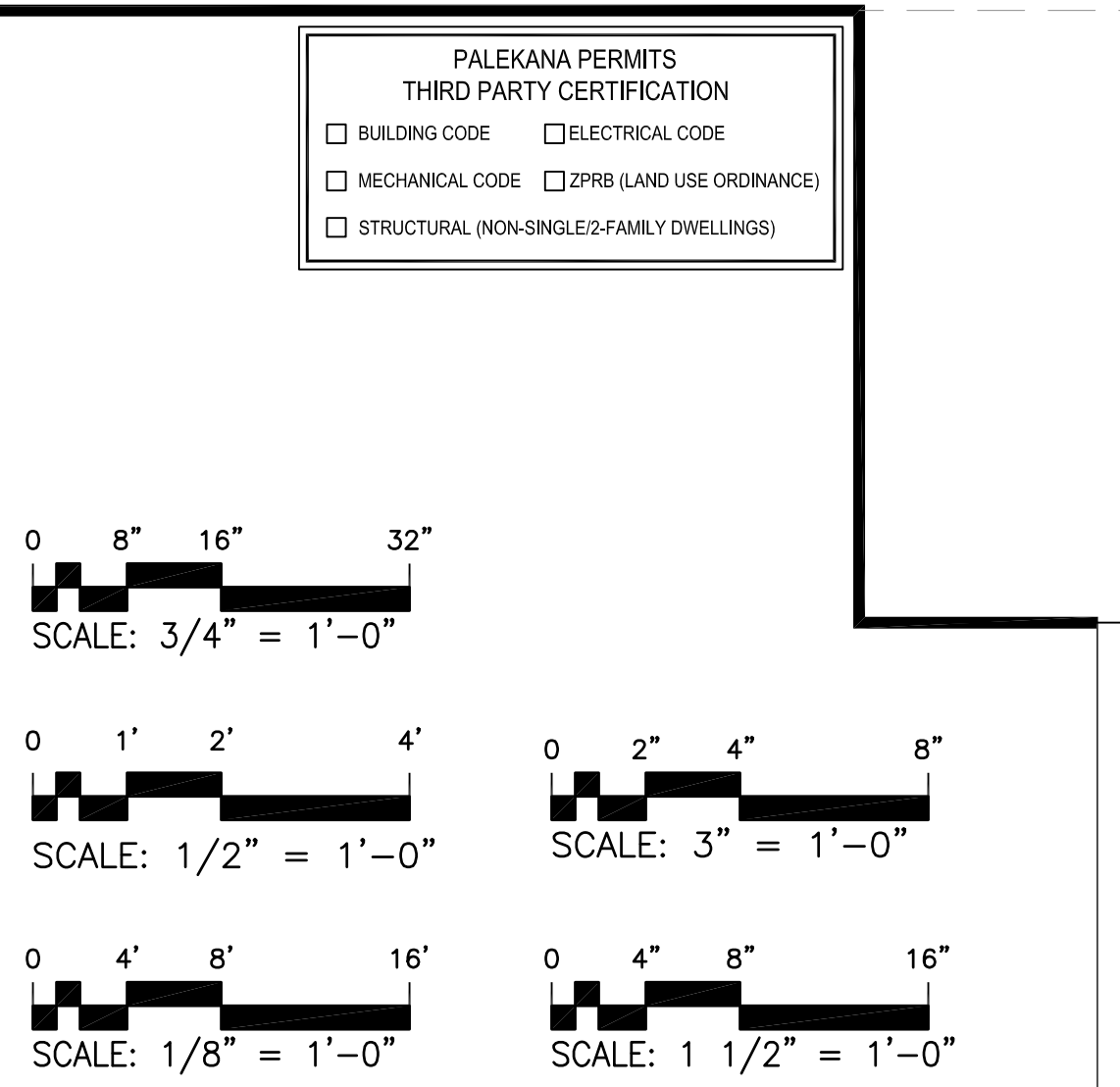
4 RESTROOM SIGNAGE SCALE: 1/2" = 1'-0"



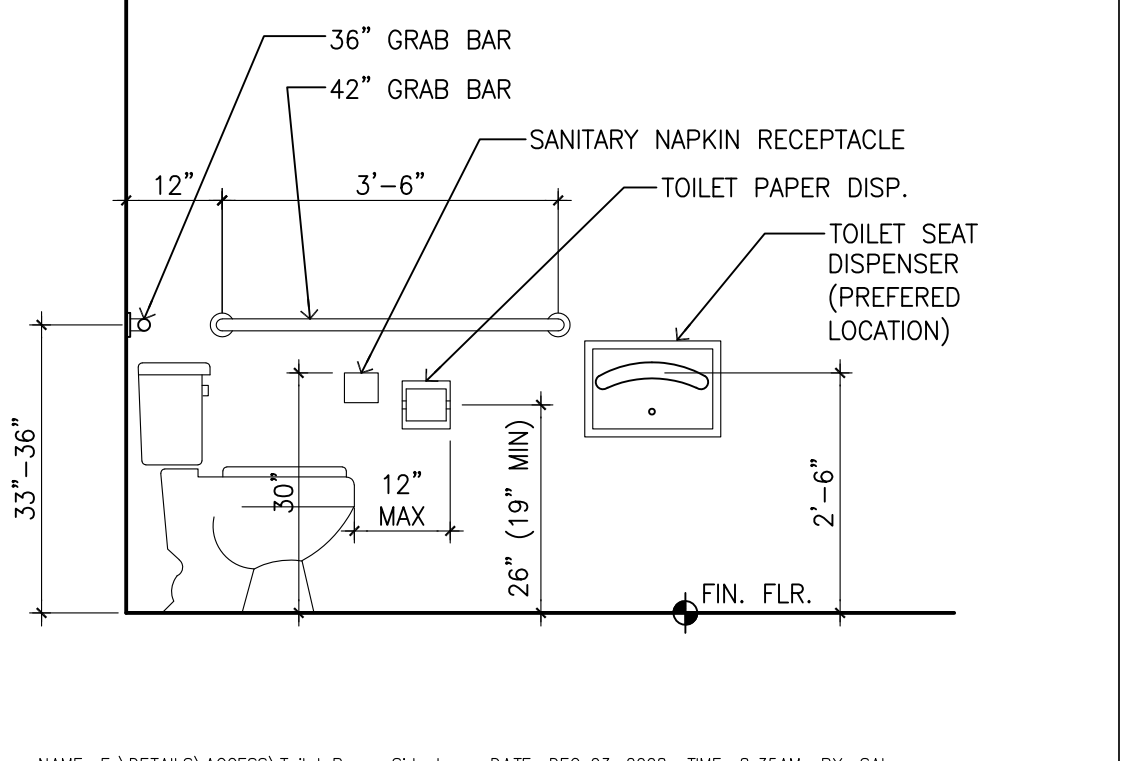
3 LAV LEG CLEAR SPACE SCALE: 1/2" = 1'-0"



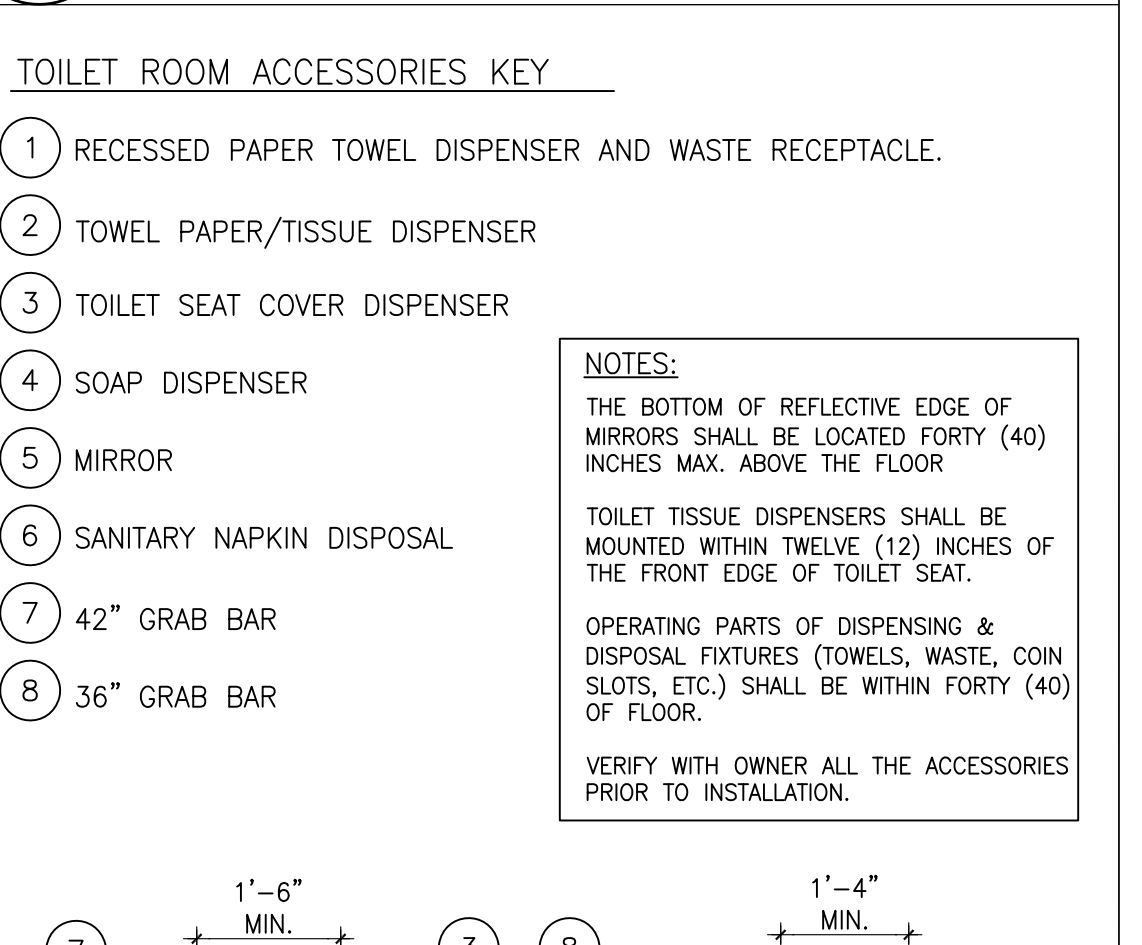
2 TOILET ELEVATION (FRONT) SCALE: 1/2" = 1'-0"



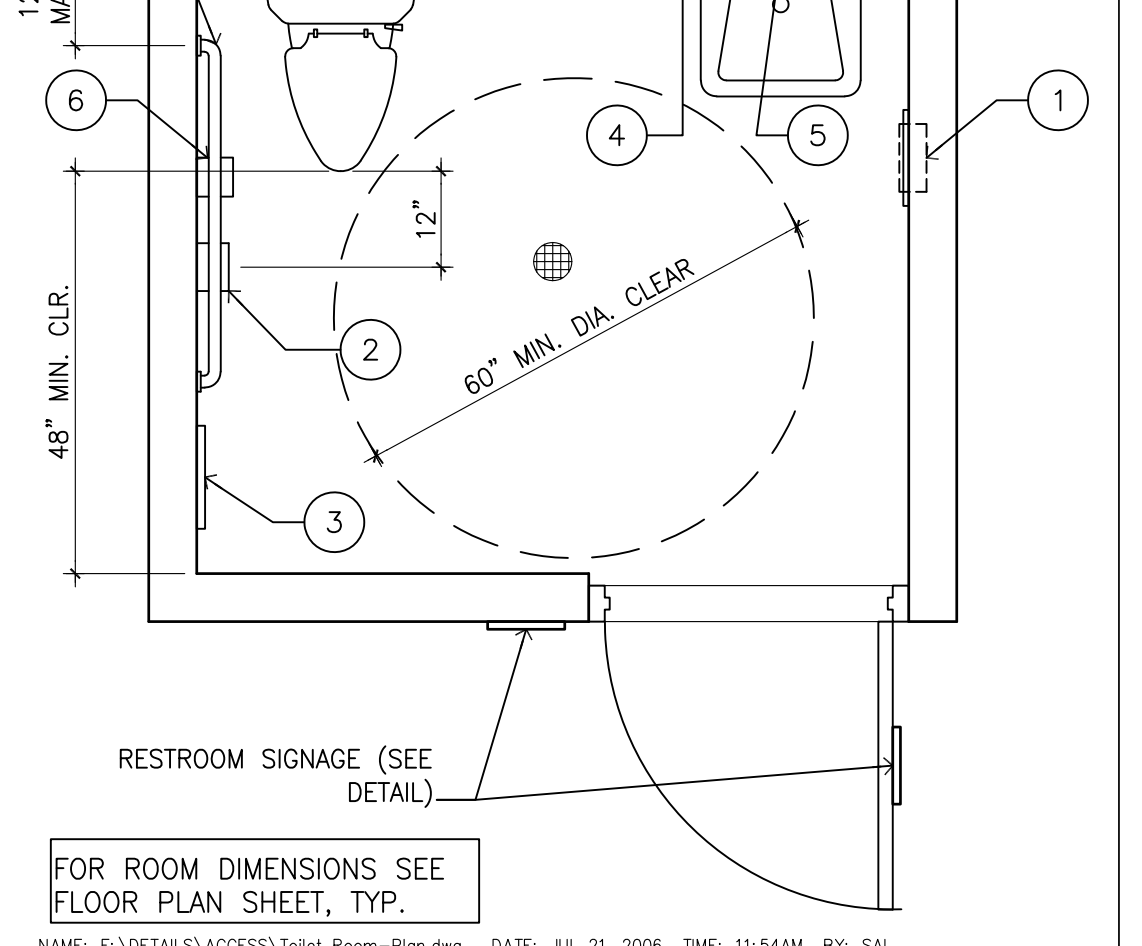
1 TOILET ELEVATION (SIDE) SCALE: 1/2" = 1'-0"



1 TOILET ROOM ACCESSORIES KEY



A ADA TOILET ROOM (PLAN) SCALE: 1/2" = 1'-0"



2 TOILET ELEVATION (FRONT) SCALE: 1/2" = 1'-0"

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DEAN R. ACCAGILI
LICENSED PROFESSIONAL ARCHITECT
AR-13819
HAWAII U.S.A.
LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES
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REVISION MARK	DATE	DESCRIPTION
3	05/10/21	OWNER REV. (REDUCED SOW)
2	04/15/21	TPR COMMENTS
1	03/12/21	OWNER REVS (ELEC)

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
ADA TYPICAL NOTES & DETAILS
JOB NO. 20007-0000 DRAWING NO.
DRAWN DRA
CHECKED DRA
DATE DEC 2020 SHEET OF

NAME: R:\DRA_Projects\20007-0000 Hunt Co - Kapolei Parcel 10 Building Improvements\0002.dwg DATE: MAR 18, 2021 TIME: 2:57PM BY: DRA

NOTES:

1. SEE CIVIL, MECH., ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
2. ALL UNDERGROUND UTILITIES (E. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE. SEE CIVIL DWGS. FOR COORDINATION.
3. FOR BUILDING PLANS: SEE SHEETS A002.0, A002.1, A002.2, A002.3 & A002.4.

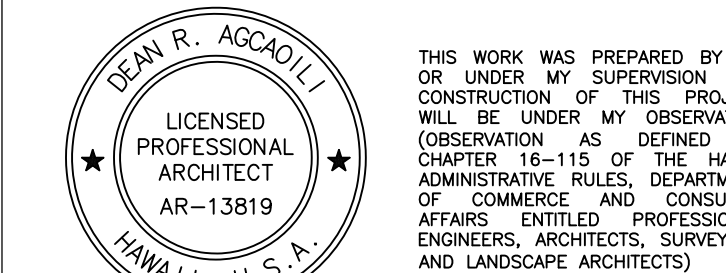
SHEET KEYNOTES: ①

1. EXISTING UNPAVED AREA (SHADED) TO BE PREPARED FOR NEW PAVEMENT (SEE CIVIL)
2. EXISTING CHAINLINK GATE TO BE REMOVED.
3. EXISTING CHAINLINK FENCE TO BE REMOVED.
4. EXISTING CHAINLINK FENCING & GATE TO REMAIN.
5. EXISTING CONC. SLAB TO BE REMOVED.

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

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905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287



LICENSE EXPIRES: 30 APRIL 2022

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②	04/15/21	TPR COMMENTS
①	03/12/21	OWNER REVS (ELEC)

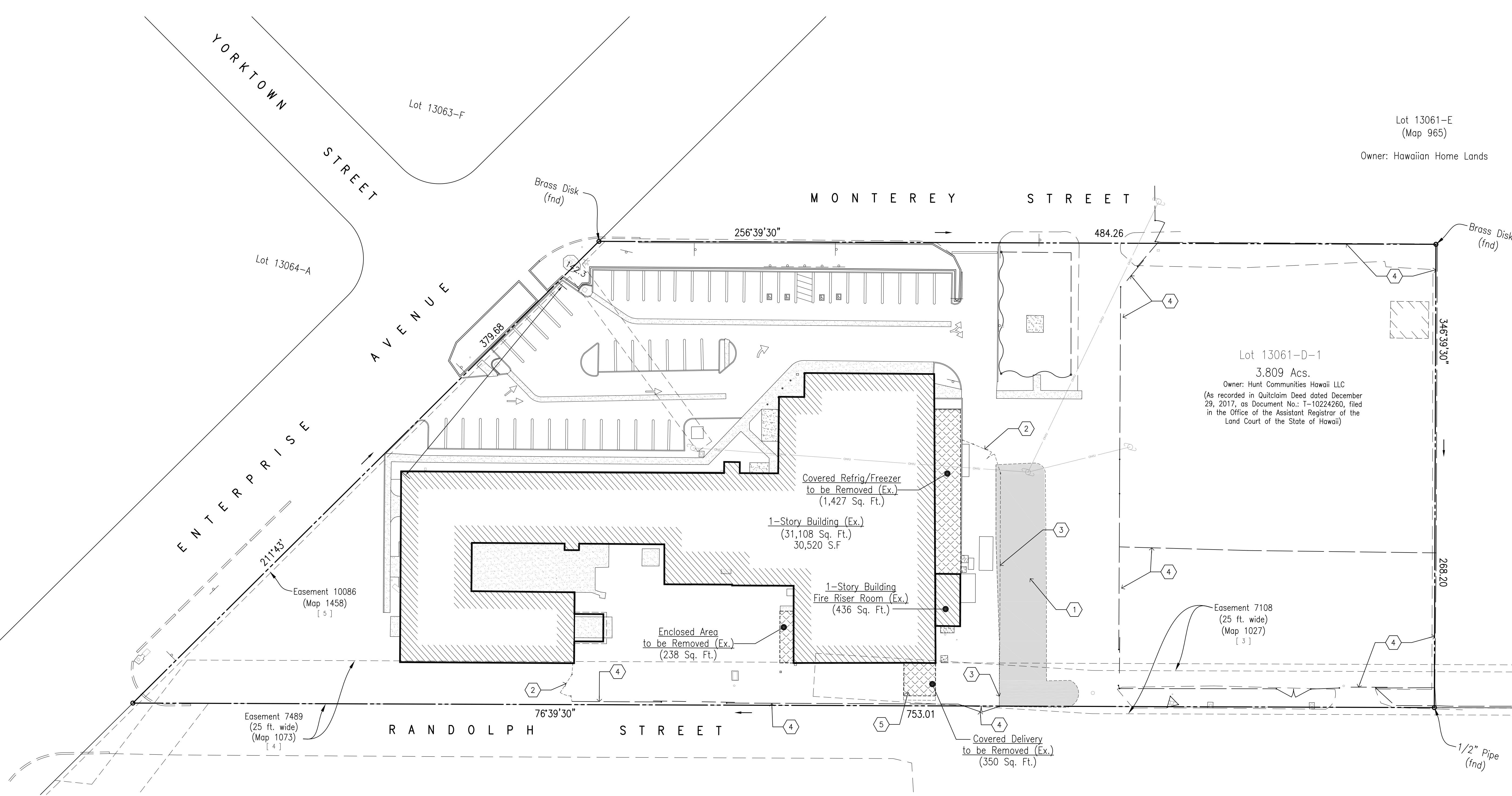
PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

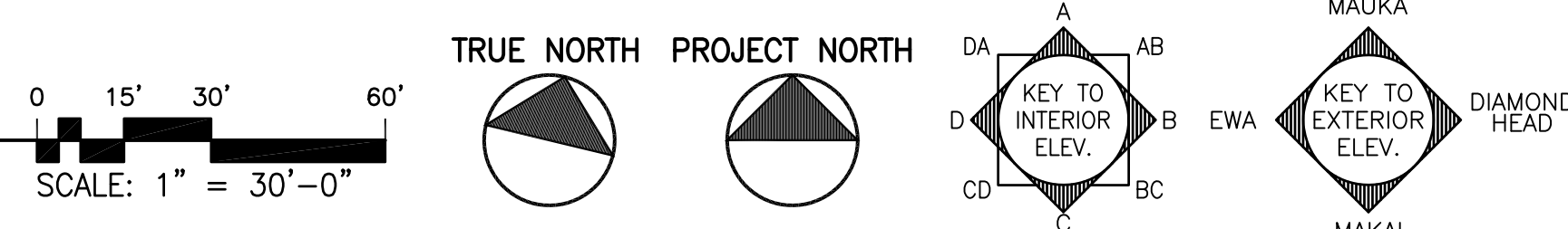
OVERALL SITE DEMO PLAN

JOB NO. 20007-0000 DRAWING NO.
DRAWN DRA
CHECKED DRA
DATE DEC 2020 SHEET OF

NAME: R:\BPA_Projects\20007-0000 Hunt Co - Kapolei Parcel 10 Building Improvements\A001-C.dwg DATE: MAR 18, 2021 TIME: 11:59PM BY: DRA



A EXISTING SITE DEMO PLAN
SCALE: 1" = 30'-0"

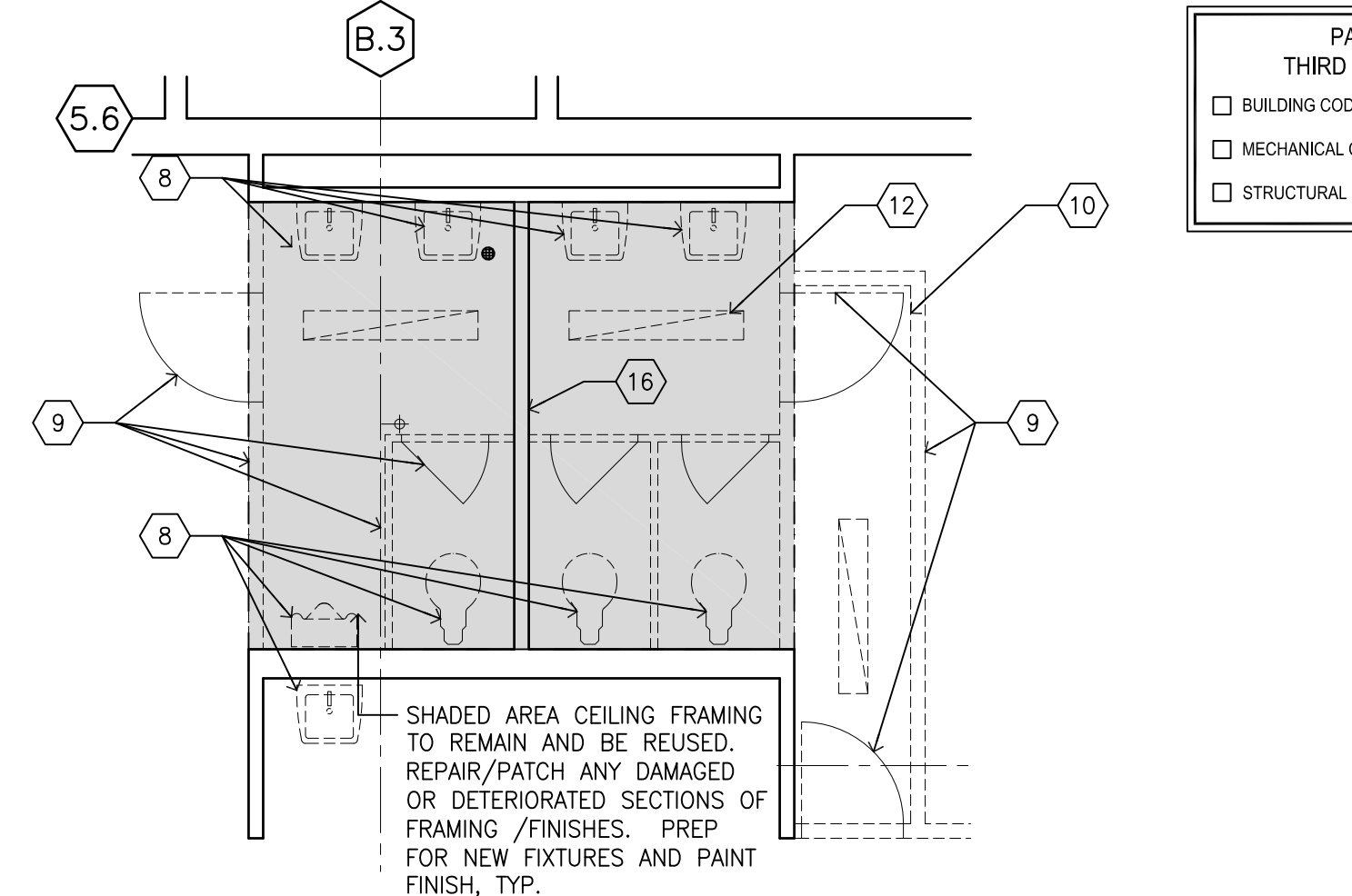


GENERAL NOTES:

- CONTRACTOR SHALL VERIFY AND NOTIFY ARCHITECT OF EXISTING DIMENSIONS OF PORTION OF BUILDING TO REMAIN. (I.E. - PLATE HEIGHT, ROOF PITCH, ETC.)
- SEE CIVIL, MECH., ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
- ALL UNDERGROUND UTILITIES (I.E. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE. SEE CIVIL DWGS. FOR COORDINATION.
- FOR BUILDING PLANS; SEE SHEETS A002.0, A002.1, A002.2, A002.3 & A002.4.
- ASBESTOS ABATEMENT WILL BE REQUIRED. CONTRACTOR SHALL PROVIDE WRITTEN PLAN FOR ABATEMENT WORK TO OWNER'S ENVIRONMENTAL CONSULTANT OR ITS CERTIFIED INDUSTRIAL HYGIENIST PRIOR TO COMMENCEMENT OF WORK.
- LEAD PAINT ABATEMENT MAY BE REQUIRED. COORDINATE WITH LANDLORD. CONTRACTOR SHALL PROVIDE WRITTEN PLAN FOR ABATEMENT WORK TO OWNER'S ENVIRONMENTAL CONSULTANT OR ITS CERTIFIED INDUSTRIAL HYGIENIST PRIOR TO COMMENCEMENT OF WORK.

SHEET DEMO KEYNOTES: ①

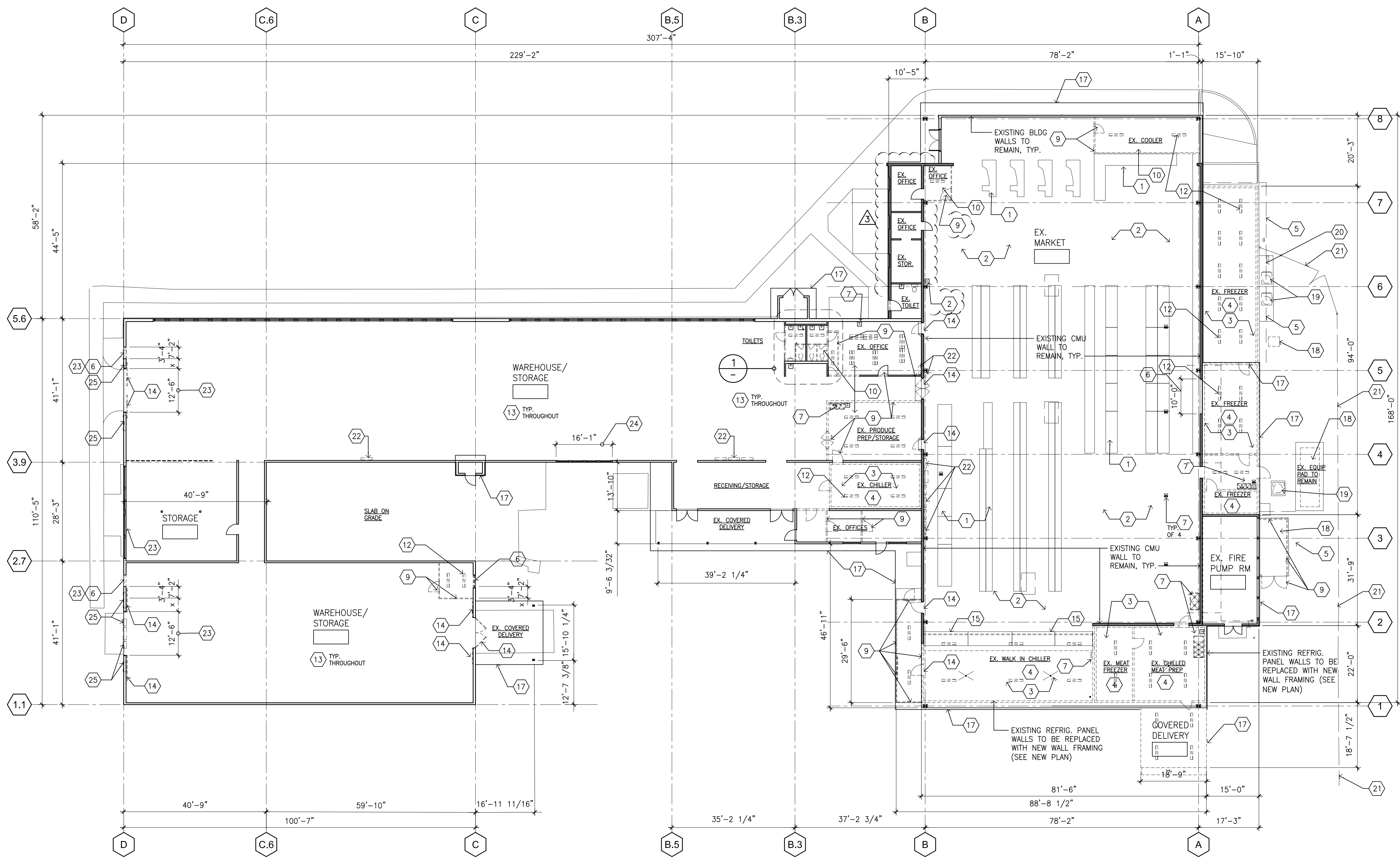
- REMOVE ALL EXISTING DISPLAY FIXTURES, CHECK-OUT COUNTERS, REFRIG. EQUIPMENT.
- REMOVE ALL EXISTING FLOOR COVERING IN MARKET AREA. SEE ASBESTOS ABATEMENT NOTE AND COORDINATE WITH LANDLORD REGARDING EXISTING HAZARDOUS MATERIAL REMOVAL.
- REMOVE ALL EXISTING FLOOR COVERING IN REFRIGERATION/FREEZER UNITS TO BARE CONCRETE. CLEAN/POWERWASH AS NEEDED.
- REMOVE ALL REFRIGERATION/FREEZER ENCLOSURES (WALLS & CEILING PANELS). PATCH FLOOR TO MATCH ADJACENT FLOOR AREAS LEVEL & FINISH AS NEEDED. SEE MECH/PLUMB/ELEC DRAWINGS FOR WORK ASSOCIATED WITH REFRIG/FREEZER REMOVAL. EXISTING CONC. FLOOR TO REMAIN.
- EXISTING ROOF LINE ABOVE REFRIG/FREEZER BOXES - TO BE REMOVED COMPLETELY. PATCH/REPAIR EXISTING TO REMAIN AS NEEDED TO MATCH EXISTING BUILDING.
- REMOVE PORTION OF WALL (OR WINDOW) AS NEEDED FOR NEW DOOR OPENING. PROVIDE ALL REQUIRED STRUCTURAL SHORING AND BRACING AS REQ. PRIOR TO CUTTING OPENING.
- REMOVE EXISTING PLUMBING FIXTURE AND CAP SEWER LINE 2" BELOW FINISH FLOOR LEVEL. (SEE PLUMBING PLANS).
- REMOVE EXISTING PLUMBING FIXTURES AND PREP FOR NEW WORK (SEE PLUMBING PLANS).
- REMOVE EXISTING WALLS & DOORS AS NEEDED FOR NEW WORK. PATCH/REPAIR WALLS TO REMAIN AS NEEDED FOR CLEAN FINISH, TYP.
- REMOVE EXISTING CEILING/FRAMING ABOVE.
- EXISTING FENCE & GATE TO BE REMOVED.
- EXISTING LIGHT FIXTURES TO BE REMOVED & REPLACED. (SEE ELEC. DWGS), TYP.
- SEE MECHANICAL, PLUMBING & ELECTRICAL PLANS FOR DEMOLITION SCOPE OF WORK, TYP.
- EXISTING DOOR TO BE REPLACED. SEE NEW FLOOR PLAN.
- REMOVE EXISTING "PONY" FACADE WALL ABOVE. PATCH/REPAIR WALLS & FRAMING AS NEEDED, TYP.
- REMOVE ALL WALL FINISHES IN TOILETS. PREP EXISTING WALLS TO RECEIVE NEW FINISHES, TYP.
- EXISTING ROOFLINE ABOVE (TO REMAIN), TYP.
- EXISTING REFRIGERATION EQUIPMENT TO BE REMOVED, TYP.
- EXISTING HVAC TO REMAIN (SEE MECH. DWGS.), TYP.
- EXISTING ELEC. POWER SUPPLY TO REMAIN (RE-PURPOSED) SEE ELEC. DWGS, TYP.
- EXISTING FENCE & GATE TO BE REMOVED, TYP.
- EXISTING ELEC/FIRE ALARM PANELS. (SEE ELEC. DWGS FOR SCOPE OF WORK), TYP.
- REMOVE EXISTING PLYWOOD BACKING AS NEEDED FOR NEW OPENING, TYP.
- REMOVE EXISTING PLYWOOD FROM EXISTING WINDOW, TYP.
- EXISTING WALL EXHAUST FANS TO REMAIN, TYP.



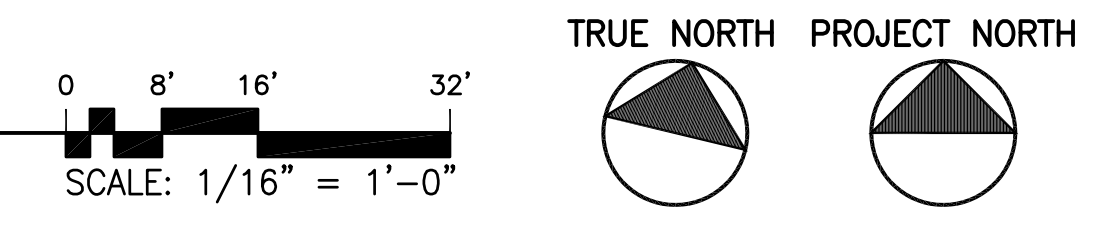
PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

1 EXISTING/DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"



A EXISTING/DEMO FLOOR PLAN (OVERALL)
SCALE: 1/16" = 1'-0"



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DEAN R. AGCAGILL
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AR-13819
HAWAII U.S.A.

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LICENSE EXPIRES: 30 APRIL 2022

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REVISION MARK	DATE	DESCRIPTION
③	05/10/21	OWNER REV. (REDUCED SOW)
②	04/15/21	TPR COMMENTS
①	03/12/21	OWNER REVS (ELEC)

PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
EXISTING/DEMO FLOOR PLAN

JOB NO. 20007-0000	DRAWING NO.
DRAWN DRA	
CHECKED DRA	A002.0
DATE DEC 2020	SHEET OF

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY AND NOTIFY ARCHITECT OF EXISTING DIMENSIONS OF PORTION OF BUILDING TO REMAIN. (I.E. - PLATE HEIGHT, ROOF PITCH, ETC.)
- SEE CIVIL, MECH., ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
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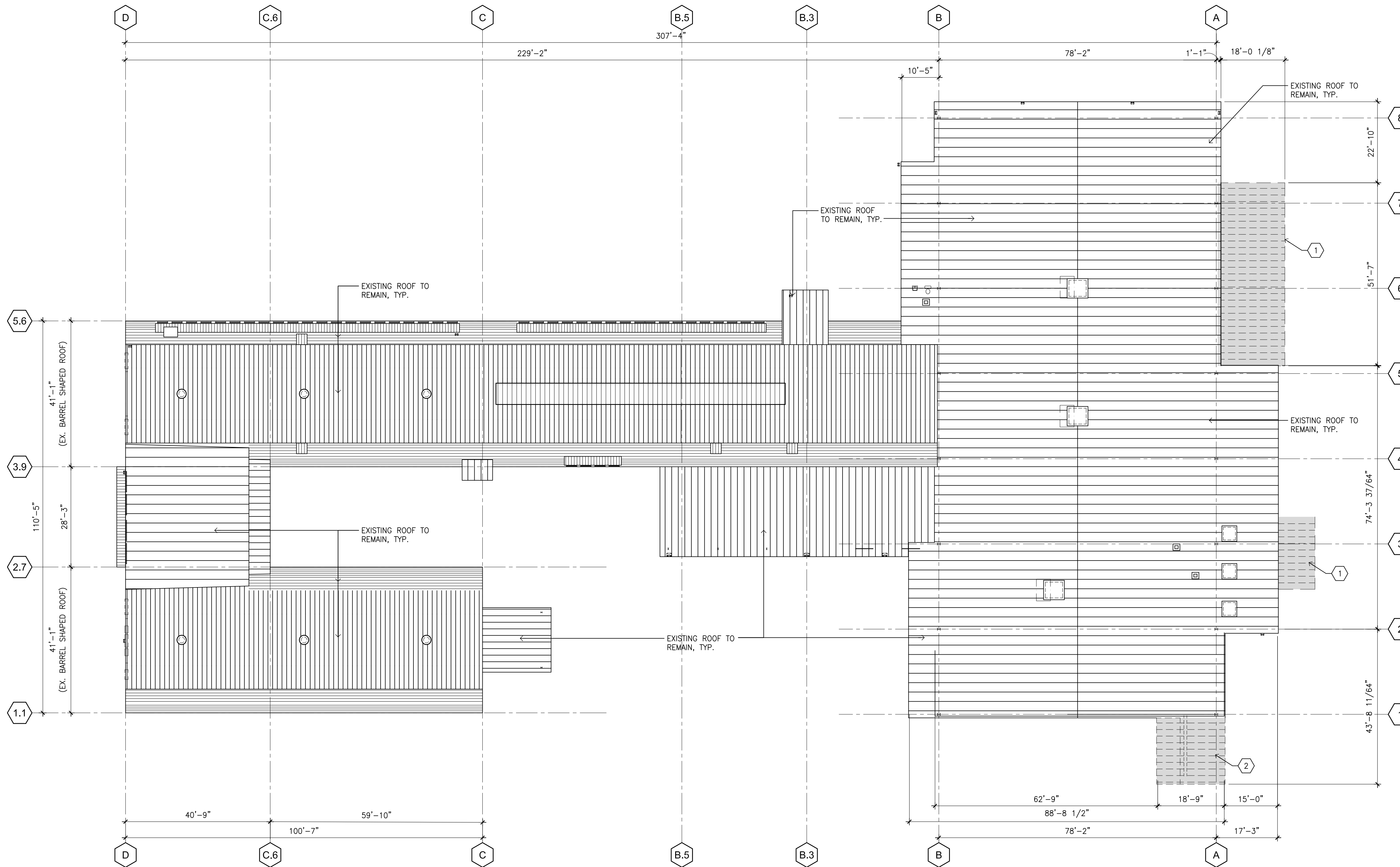
SHEET DEMO KEYNOTES: ①

- EXISTING ROOF ABOVE REFRIG/FREEZER BOXES - TO BE REMOVED COMPLETELY. PATCH/REPAIR EXISTING TO REMAIN AS NEEDED TO MATCH EXISTING BUILDING.
- EXISTING ROOF - TO BE REMOVED COMPLETELY. PATCH/REPAIR EXISTING TO REMAIN AS NEEDED TO MATCH EXISTING BUILDING.

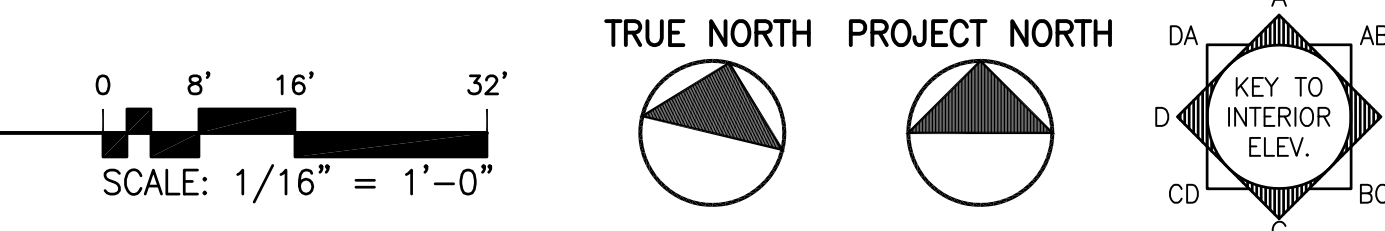
PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

NAME: R:\DRA Projects\20007-0000 Hunt Co - Kapolei Parcel 10 Building Improvements\A002-1.dwg DATE: MAR 18, 2021 TIME: 3:04PM BY: DRA



A EXISTING/DEMO ROOF PLAN (OVERALL)
SCALE: 1/16" = 1'-0"



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HONOLULU, HAWAII 96826
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LICENSE EXPIRES: 30 APRIL 2022

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REVISION MARK	DATE	DESCRIPTION

PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

EXISTING/DEMO ROOF PLAN SHEET TITLE

JOB NO. 20007-0000 DRAWING NO. ADO02.1
DRAWN DRA
CHECKED DRA
DATE DEC 2020 SHEET OF

NAME: R:\DRA Projects\20007-0000 Hunt Co - Kapolei Parcel 10 Building Improvements\A0003-0.dwg DATE: MAR 18, 2021 TIME: 3:04PM BY: DRA

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY AND NOTIFY ARCHITECT OF EXISTING DIMENSIONS OF PORTION OF BUILDING TO REMAIN. (I.E. - PLATE HEIGHT, ROOF PITCH, ETC.)
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3. ALL UNDERGROUND UTILITIES (I.E. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE. SEE CIVIL DWGS. FOR COORDINATION.
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6. POWERWASH/PREP ENTIRE EXTERIOR OF BUILDING FOR NEW PAINT FINISH THROUGHOUT, TYP.

SHEET DEMO KEYNOTES: ①

1. EXISTING REFRIG/FREEZER BOXES & ROOFING - TO BE REMOVED COMPLETELY. PATCH/REPAIR EXISTING TO REMAIN AS NEEDED TO MATCH EXISTING BUILDING. (SEE NEW PLAN FOR EXTENTS.)
2. EXISTING REFRIG/FREEZER BOXES - TO BE REMOVED COMPLETELY. PATCH/REPAIR EXISTING TO REMAIN AS NEEDED TO MATCH EXISTING BUILDING. (SEE NEW PLAN FOR EXTENTS.)
3. EXISTING DOOR TO BE REMOVED.
4. EXISTING WINDOW/OPENING TO BE REMOVED.
5. EXISTING PORTION OF BUILDING WALL TO BE REMOVED FOR NEW OPENING. (UTILIZE AREA BETWEEN BUILDING VERTICAL FRAMING) SEE NEW PLAN FOR EXTENTS.
6. EXISTING PORTION OF WALL TO BE REMOVED. SEE NEW PLAN FOR EXTENTS. PATCH/REPAIR EXISTING TO REMAIN AS NEEDED TO MATCH EXISTING BUILDING.
7. EXISTING PORTION OF BUILDING TO BE REMOVED (ROOF & STEEL POST). SEE NEW PLAN FOR EXTENTS.
8. EXISTING BUILDING SIGN TO BE REMOVED. PATCH/REPAIR EXISTING TO REMAIN AS NEEDED TO MATCH EXISTING BUILDING.
9. REMOVED EXISTING FENCING/CLOSER WALL @ OPENING FOR NEW DOOR.
10. EXISTING FENCING/GATE TO BE REMOVED.

**PALEKANA PERMITS
THIRD PARTY CERTIFICATION**

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

DRA Architecture LLC
ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287

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LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES

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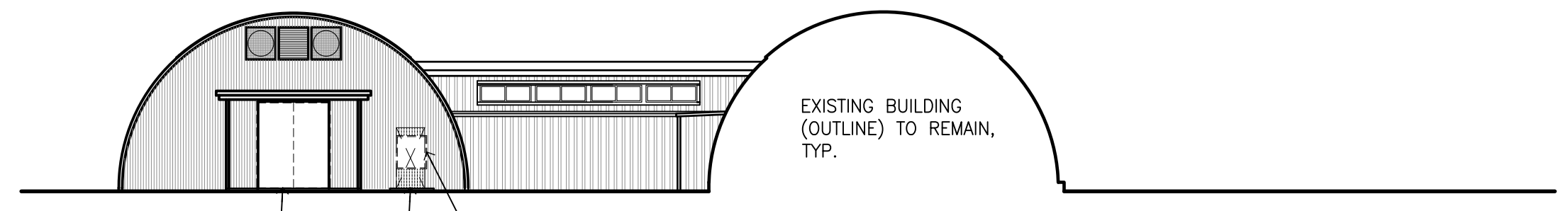
REVISION MARK	DATE	DESCRIPTION
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PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**

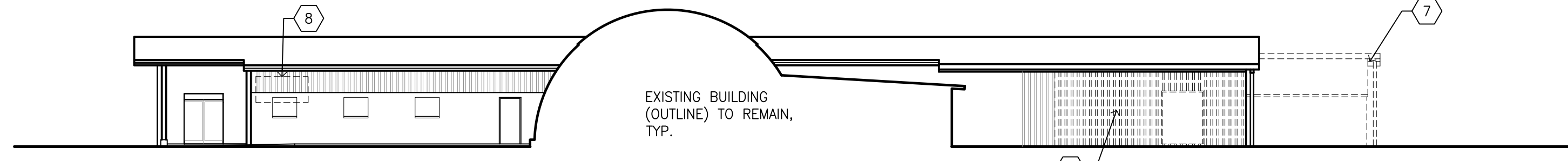
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
EXISTING/DEMO EXTERIOR ELEVATIONS

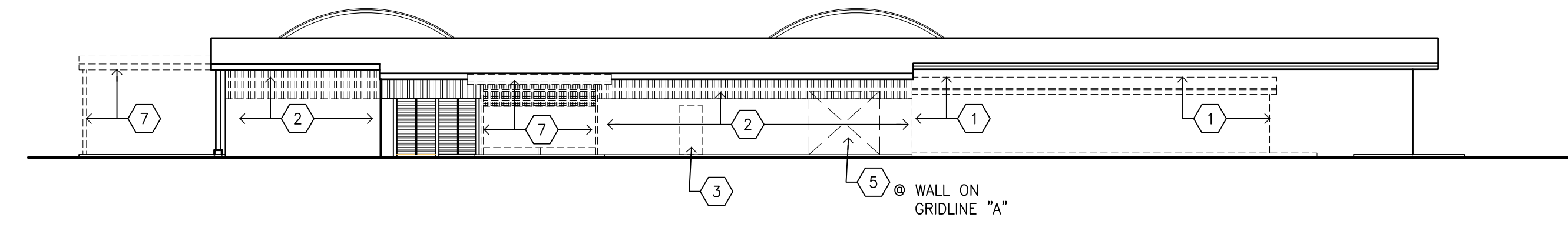
JOB NO. 20007-0000 DRAWING NO.
DRAWN DRA
CHECKED DRA
DATE DEC 2020 SHEET OF



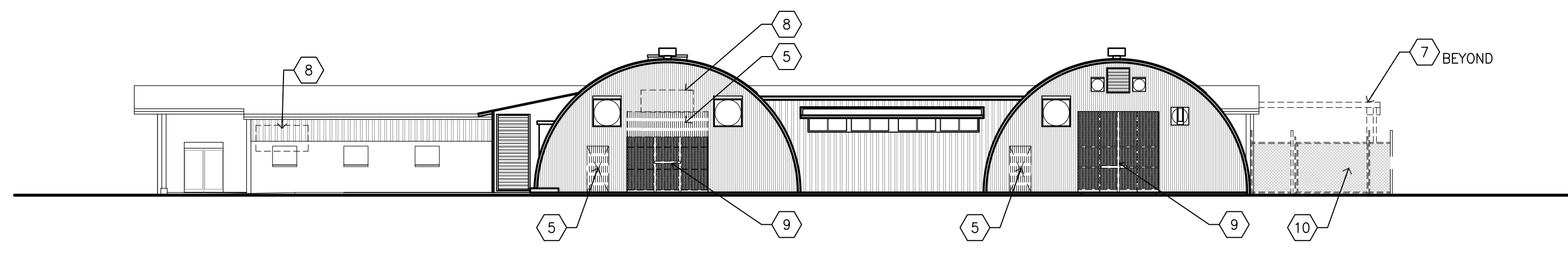
DIAMOND HEAD ELEVATION (FROM INTERIOR YARD)



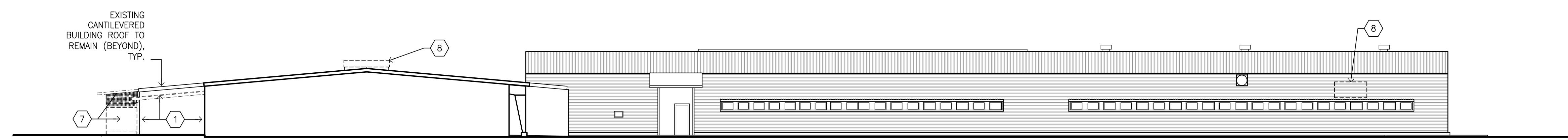
EWA ELEVATION (FROM INTERIOR YARD)



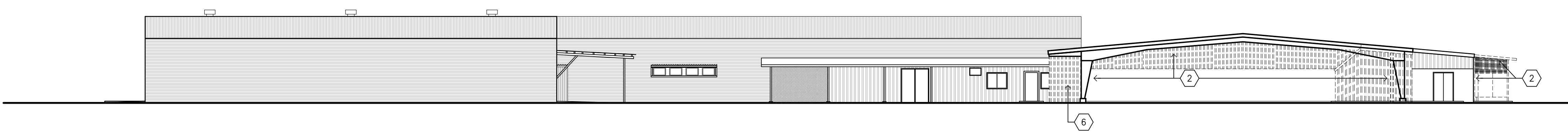
DIAMOND HEAD ELEVATION



EWA ELEVATION (FROM ENTERPRISE STREET)



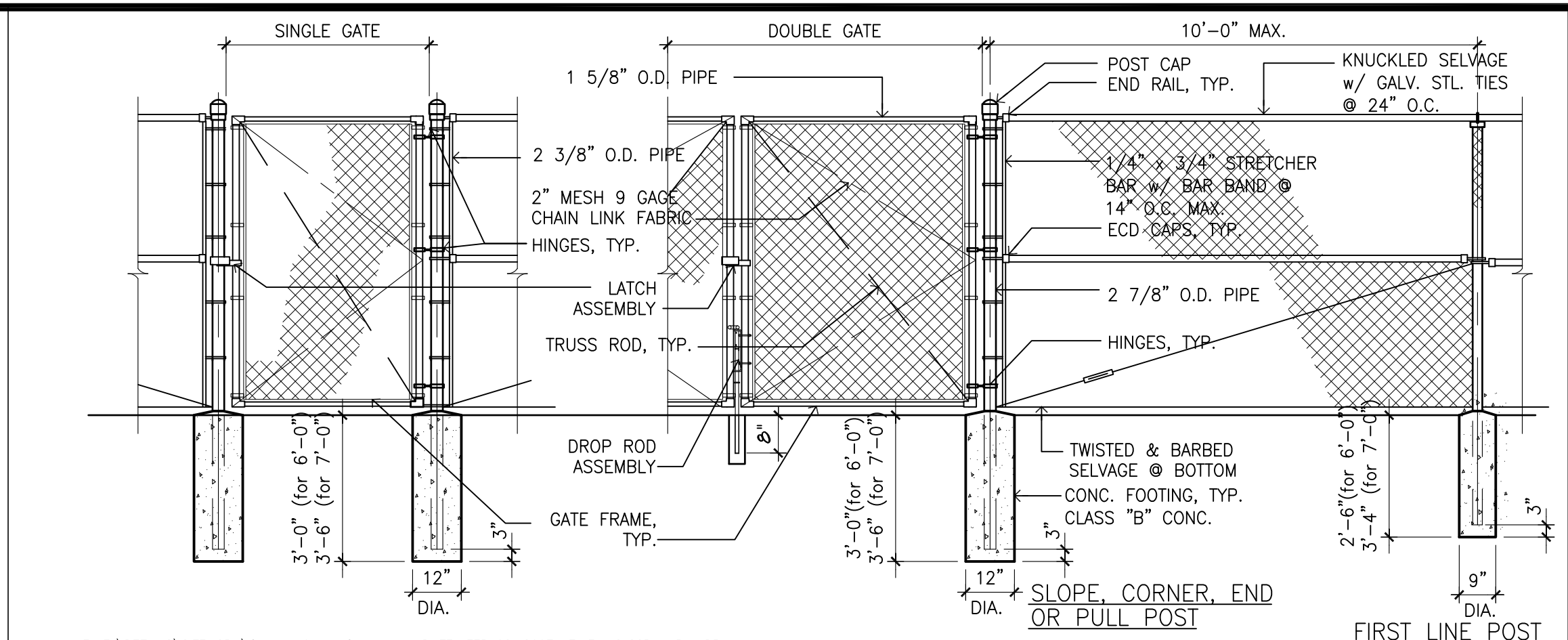
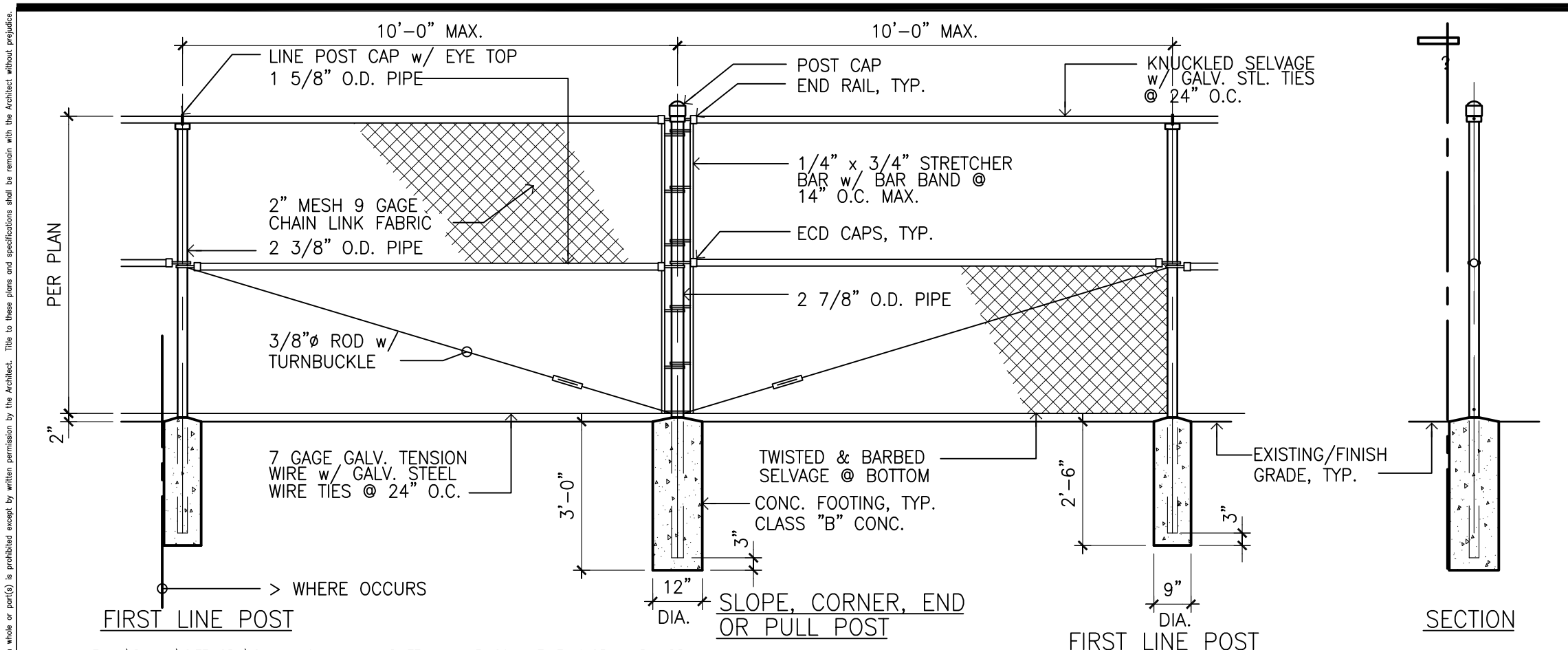
MAUKA ELEVATION (FROM MONTEREY STREET)



MAKAI ELEVATION (FROM RANDOLPH STREET)

A EXISTING/DEMO EXTERIOR ELEVATIONS
SCALE: 1/16" = 1'-0"

0 8' 16' 32'
SCALE: 1/16" = 1'-0"



PALEKANA PERMITS
THIRD PARTY CERTIFICATION

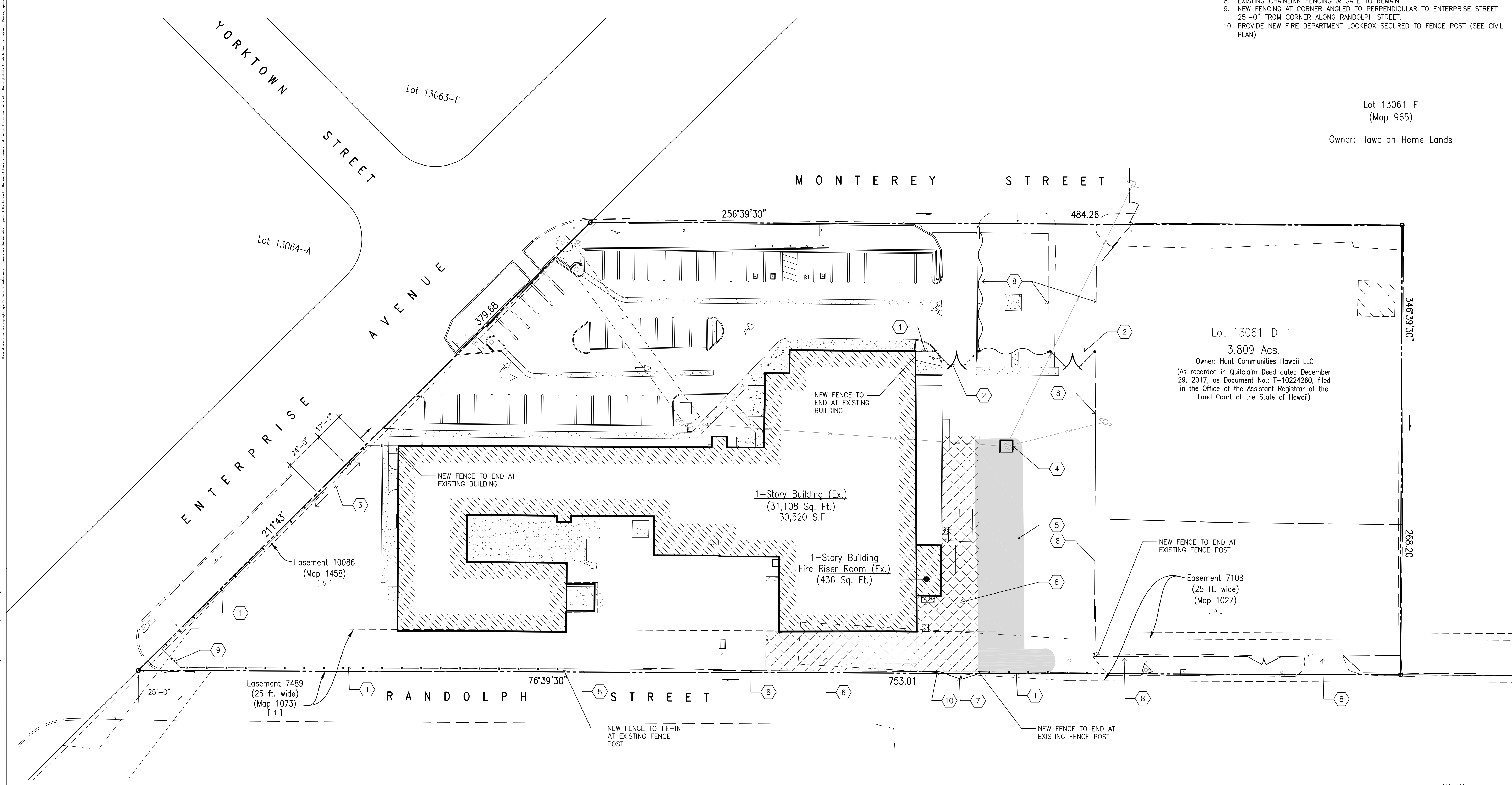
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

- NOTES:
1. ALL SITE IMPROVEMENTS ARE EXISTING UNLESS NOTED OTHERWISE, TYP.
 2. SEE CIVIL, MECH., ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
 3. ALL UNDERGROUND UTILITIES (IE. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE. SEE CIVIL DWGS. FOR COORDINATION.
 4. FOR BUILDING PLANS: SEE SHEETS A002.0, A002.1, A002.2, A002.3 & A002.4.

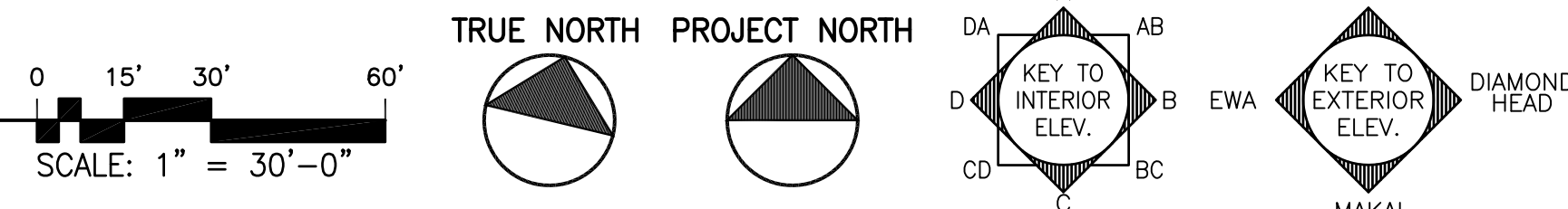
- SHEET KEYNOTES: (1)
1. NEW 8'-0" HIGH CHAINLINK SECURITY FENCING, TYP.
 2. NEW 8'-0" HIGH SWINGING CHAINLINK SECURITY GATE, TYP.
 3. NEW 8'-0" HIGH SLIDING CHAINLINK SECURITY SWING GATE, TYP.
 4. NEW CONCRETE CURBING AROUND EXISTING UTILITY POLE MINIMUM 4'-0" AWAY ALL AROUND, TYP.
 5. NEW PAVEMENT IN EXISTING UNPAVED AREA (SHADED), SEE CIVIL DRAWINGS, TYP.
 6. EXISTING PAVED AREA (HATCHED) TO BE REPAIRED/PATCHED AS NECESSARY, SEE CIVIL DRAWINGS, TYP.
 7. EXISTING SWING SECURITY GATE TO BE LOCKED CLOSED.
 8. EXISTING CHAINLINK FENCING & GATE TO REMAIN.
 9. NEW FENCING AT CORNER ANGLED TO PERPENDICULAR TO ENTERPRISE STREET 25'-0" FROM CORNER ALONG RANDOLPH STREET.
 10. PROVIDE NEW FIRE DEPARTMENT LOCKBOX SECURED TO FENCE POST (SEE CIVIL PLAN)

1 TYPICAL CHAIN LINK FENCE DETAIL
SCALE: 3/8" = 1'-0"

2 TYPICAL CHAIN LINK GATE DETAIL
SCALE: 3/8" = 1'-0"



A OVERALL SITE PLAN (NEW)
SCALE: 1" = 30'-0"



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AR-13819
HAWAII U.S.A.
LICENSE EXPIRES: 30 APRIL 2022

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REVISION MARK • DATE • DESCRIPTION

PROPOSED PROJECT

PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE

OVERALL SITE PLAN (NEW) DETAILS

JOB NO. 20007-0000 DRAWING NO.
DRAWN DRA
CHECKED DRA
DATE DEC 2020 SHEET OF

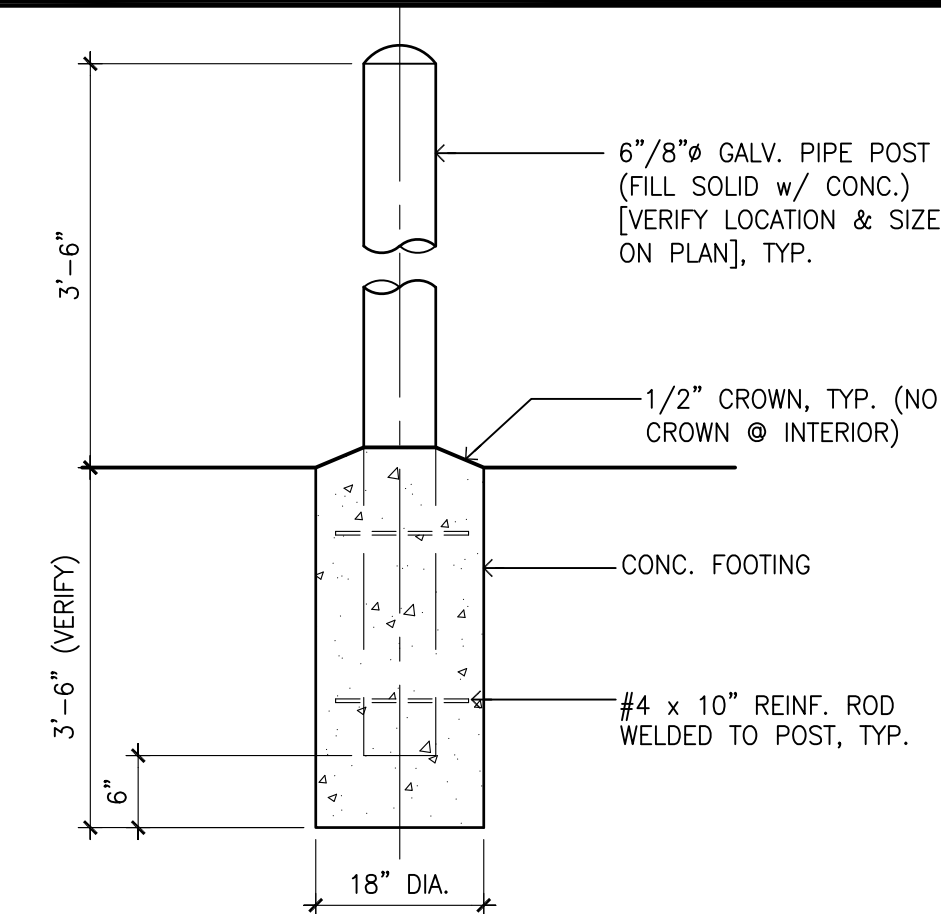
A001.0

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY AND NOTIFY ARCHITECT OF EXISTING DIMENSIONS OF PORTION OF BUILDING TO REMAIN. (I.E. - PLATE HEIGHT, ROOF PITCH, ETC.)
- SEE CIVIL, MECH., ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
- ALL UNDERGROUND UTILITIES (I.E. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE. SEE CIVIL DWGS. FOR COORDINATION.
- FOR BUILDING PLANS; SEE SHEETS A002.0, A002.1, A002.2, A002.3 & A002.4.
- ASBESTOS ABATEMENT WILL BE REQUIRED. CONTRACTOR SHALL PROVIDE WRITTEN PLAN FOR ABATEMENT WORK TO OWNER'S ENVIRONMENTAL CONSULTANT OR ITS CERTIFIED INDUSTRIAL HYGIENIST PRIOR TO COMMENCEMENT OF WORK.
- LEAD PAINT ABATEMENT MAY BE REQUIRED. COORDINATE WITH LANDLORD. CONTRACTOR SHALL PROVIDE WRITTEN PLAN FOR ABATEMENT WORK TO OWNER'S ENVIRONMENTAL CONSULTANT OR ITS CERTIFIED INDUSTRIAL HYGIENIST PRIOR TO COMMENCEMENT OF WORK.

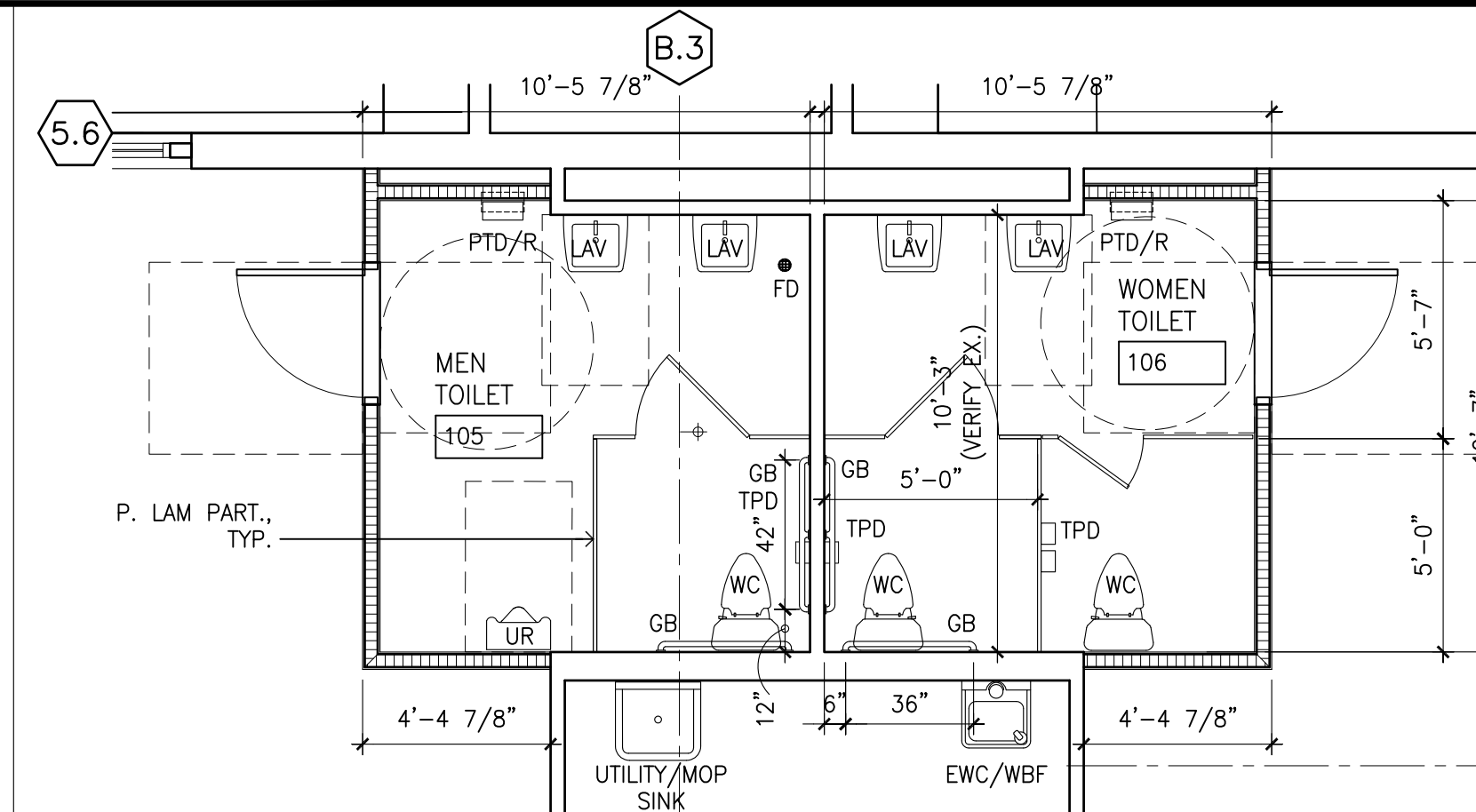
SHEET KEYNOTES:

- EXISTING ELECTRICAL PANELS TO REMAIN. (SEE ELECTRICAL DRAWINGS), TYP.
- EXISTING FIRE ALARM SYSTEM TO REMAIN (SEE ELEC. DRAWINGS), TYP.
- REUSE EXISTING DOOR. CLEAN/PREP FOR NEW PAINT FINISH. PROVIDE NEW DOOR LOCKSET HARDWARE.
- EXISTING A.C. UNIT TO REMAIN/REUSE. SEE MECH. DRAWINGS, TYP.
- CLEAN, REPAIR/REPLACE EXISTING WINDOW AS NEEDED TO BECOME OPERATIONAL. REMOVE ANY PLYWOOD COVERING AS NEEDED, TYP.
- CLEAN EXISTING DOORS AND PREP FOR NEW PAINT FINISH, TYP.
- EXISTING OPENINGS IN WALLS TO REMAIN, TYP.
- NEW CMU WALL INFILL TO MATCH EXISTING ADJACENT WALL. PAINT FINISH, TYP.



NAME: C:\Data Files\DETAILS\METALS\MTB-02.dwg DATE: JUL 19, 2016 TIME: 3:08PM BY: DRA

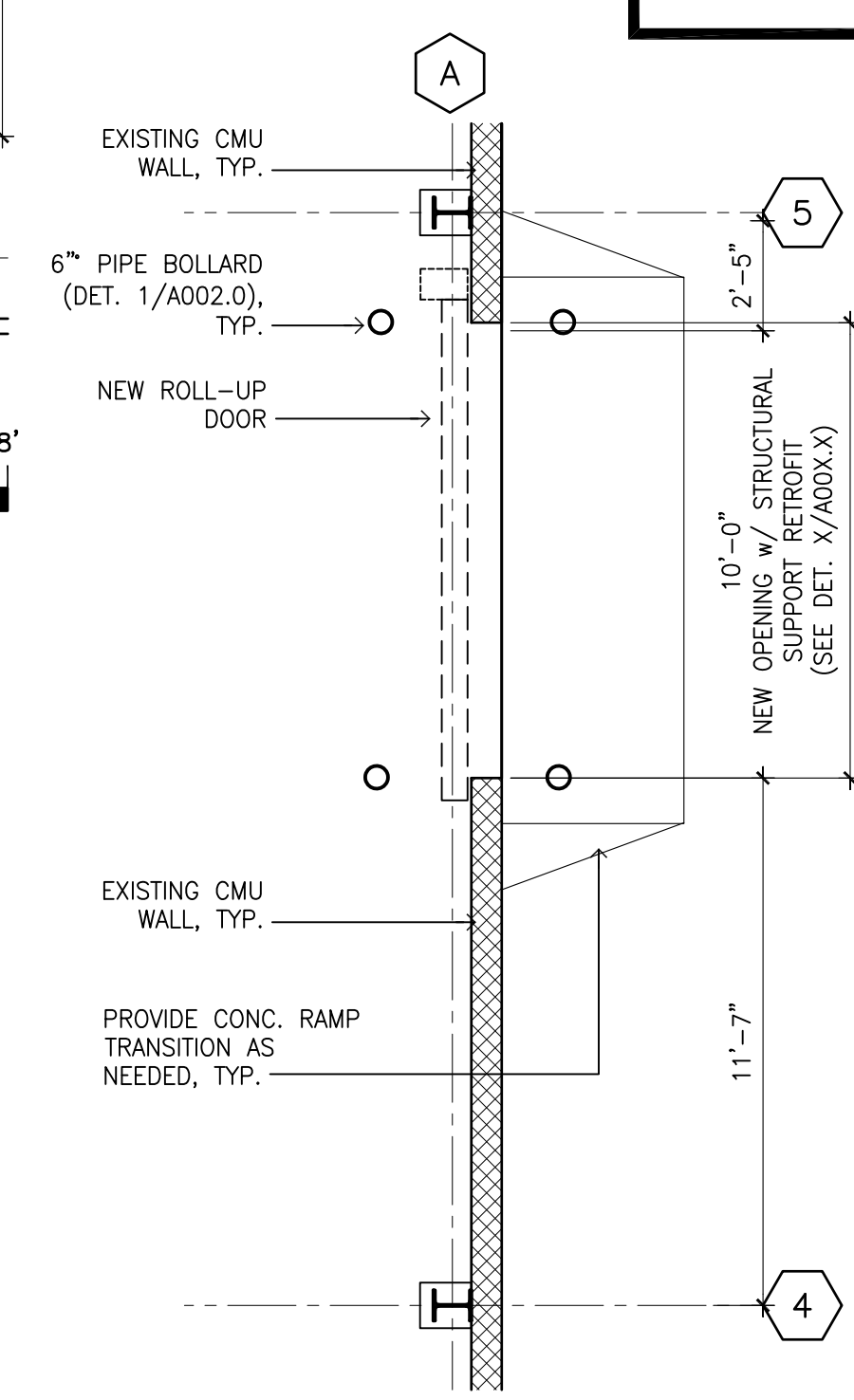
1 PROT. STANCHION - FIXED
SCALE: 3/4" = 1'-0"



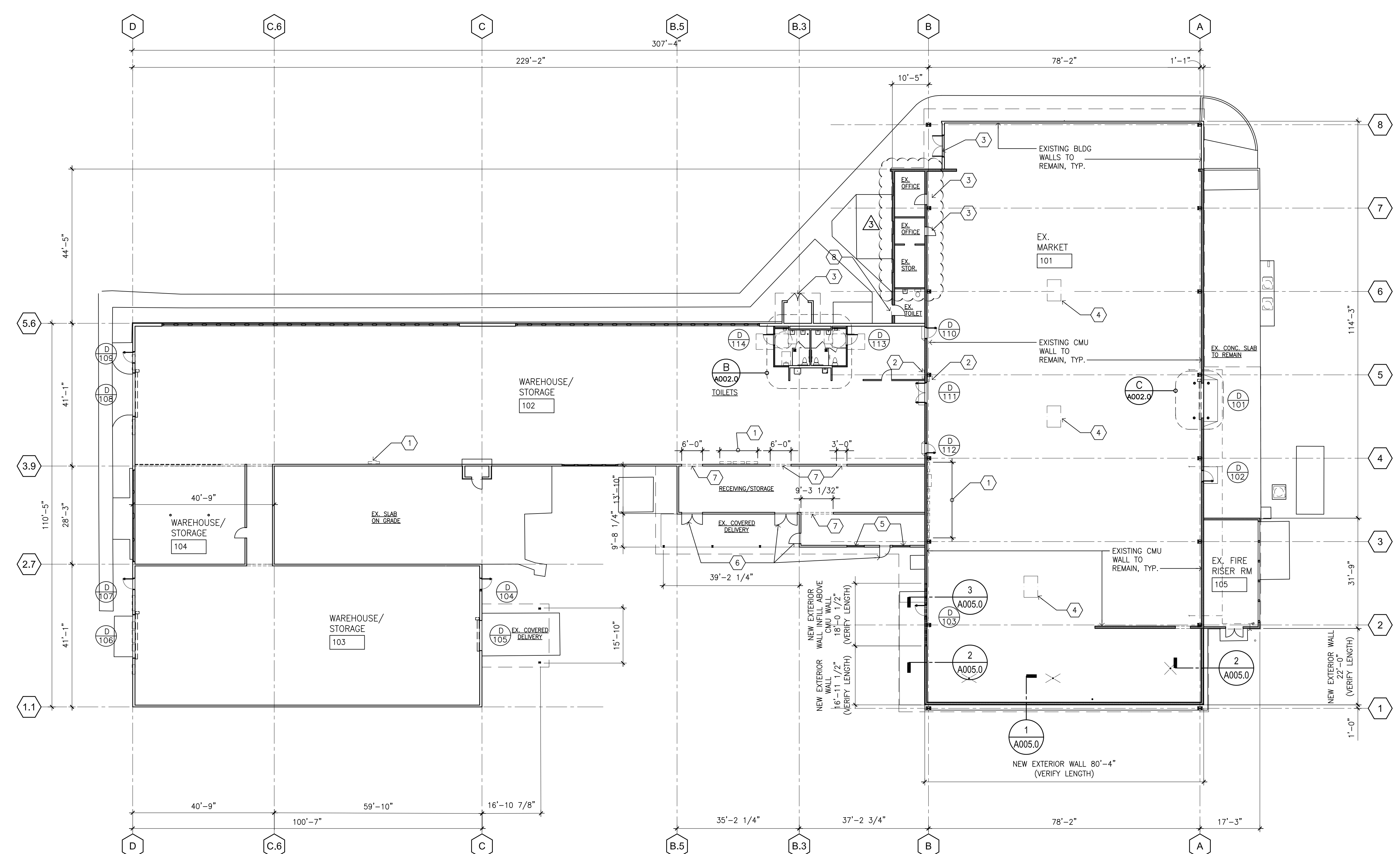
B TOILET AREA FLOOR PLAN
SCALE: 1/4" = 1'-0"

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



C ENLARGED PLAN
SCALE: 1/4" = 1'-0"



A EXISTING/DEMO FLOOR PLAN (OVERALL)
SCALE: 1/16" = 1'-0"

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LICENSE EXPIRES: 30 APRIL 2022

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REVISION MARK	DATE	DESCRIPTION
3	05/10/21	OWNER REV. (REDUCED SOW)
2	04/15/21	TPR COMMENTS
1	03/12/21	OWNER REVS (ELEC)

PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**

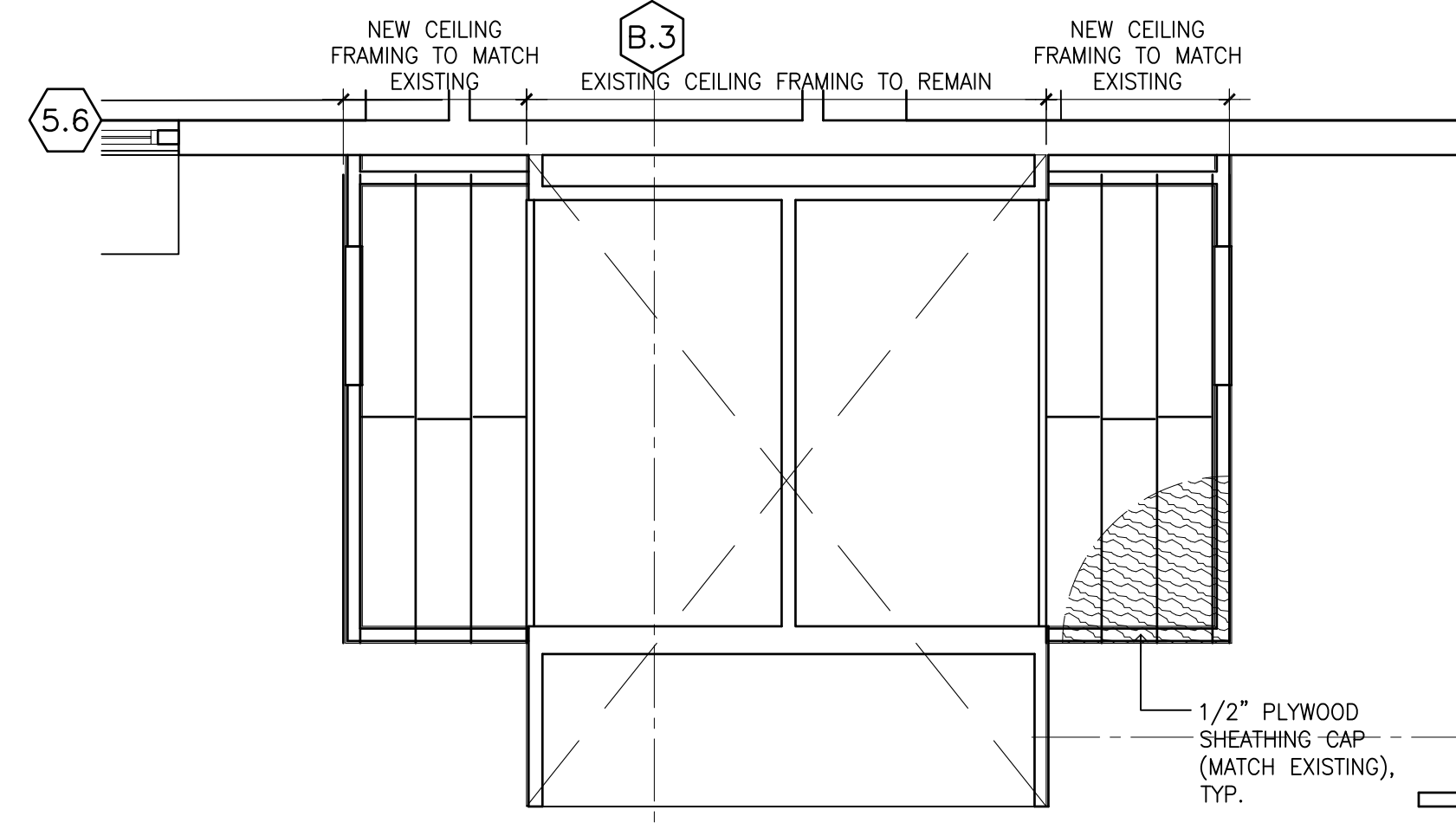
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

FLOOR PLAN
ENLARGED PLANS

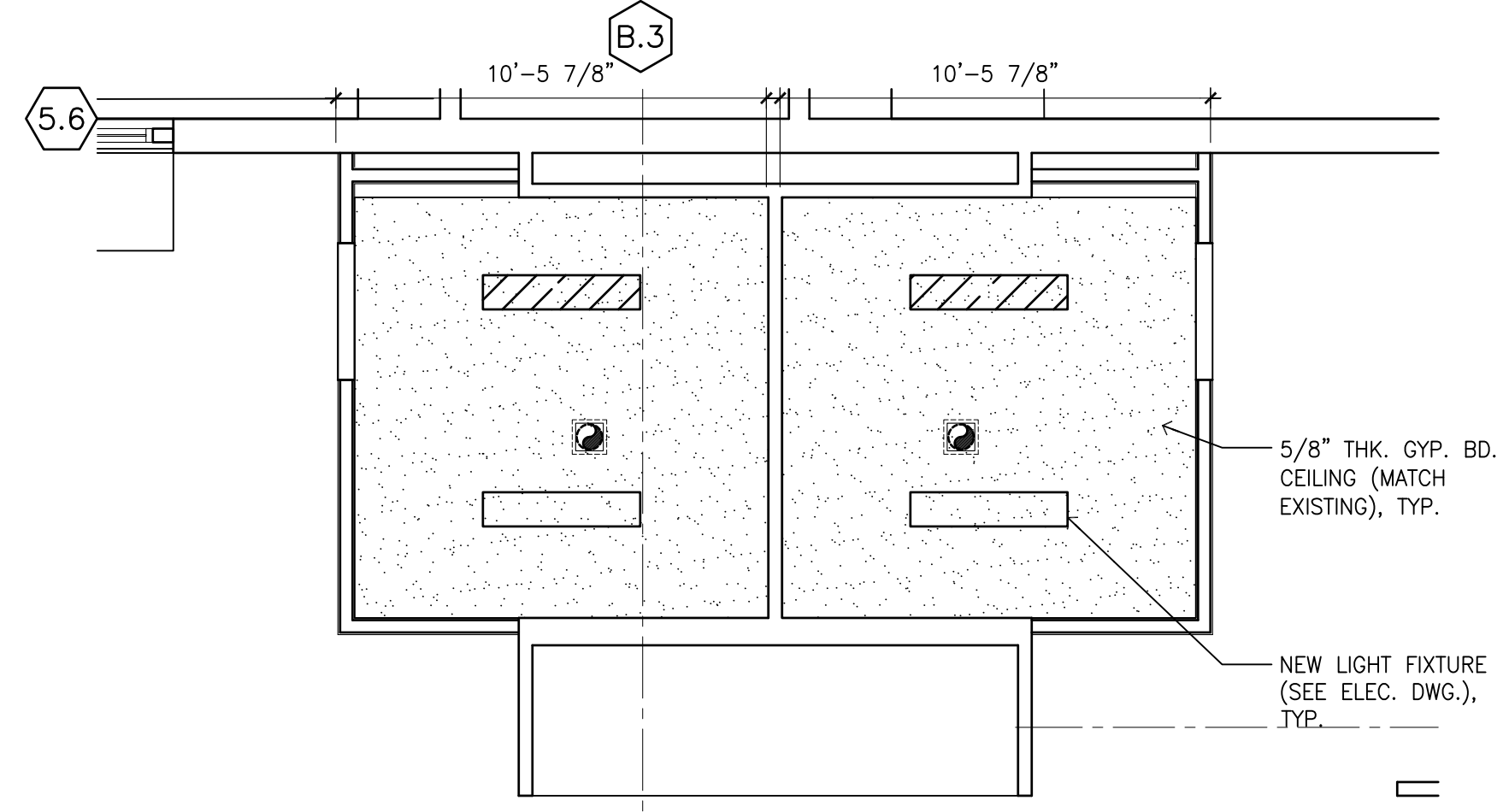
JOB NO. 20007-0000 DRAWING NO. A002.0
DRAWN DRA
CHECKED DRA
DATE DEC 2020 SHEET OF

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY AND NOTIFY ARCHITECT OF EXISTING DIMENSIONS OF PORTION OF BUILDING TO REMAIN. (I.E. - PLATE HEIGHT, ROOF PITCH, ETC.)
2. SEE CIVIL, MECH., ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
3. ALL UNDERGROUND UTILITIES (I.E. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE. SEE CIVIL DWGS. FOR COORDINATION.
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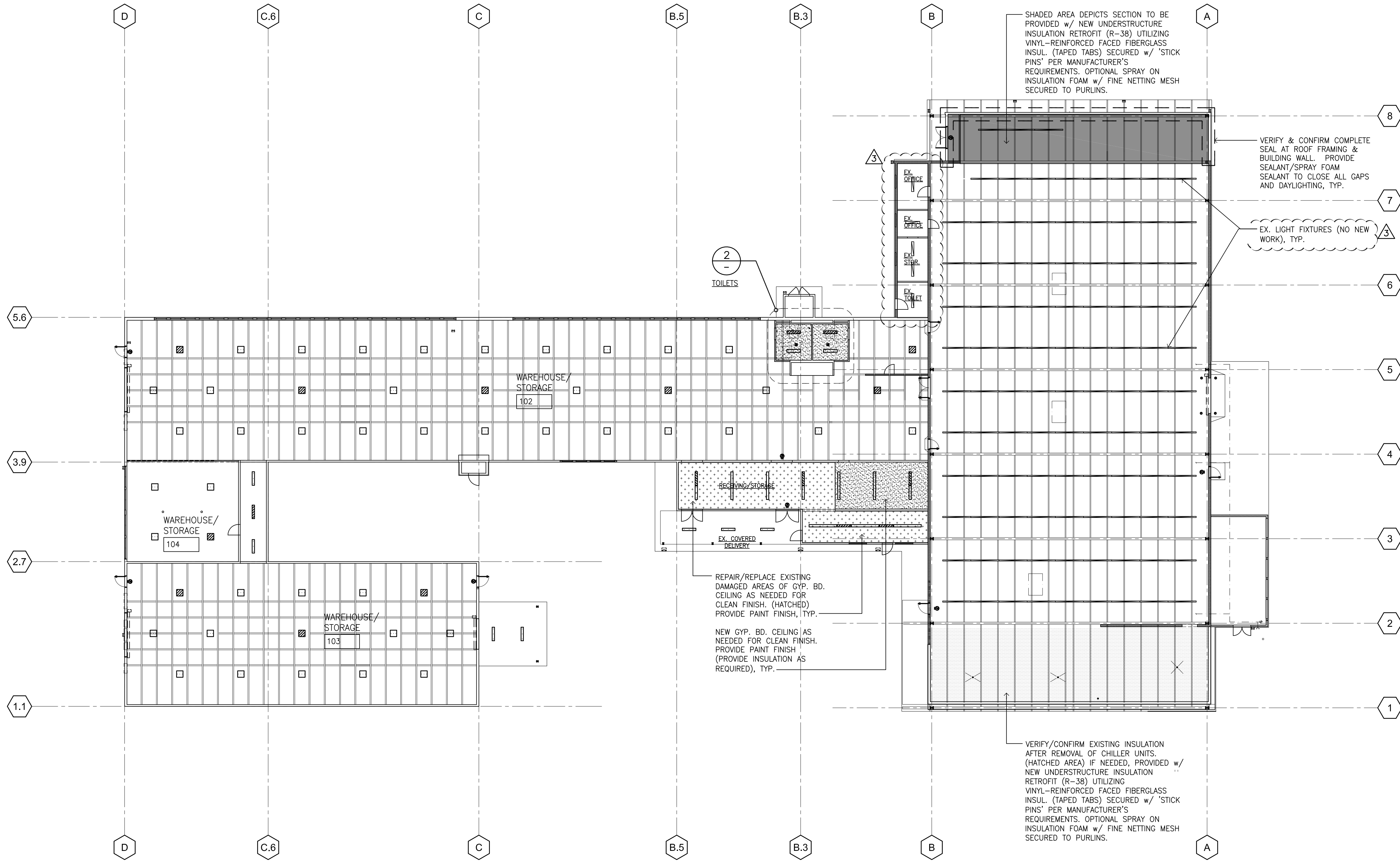
1 TOILET CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"



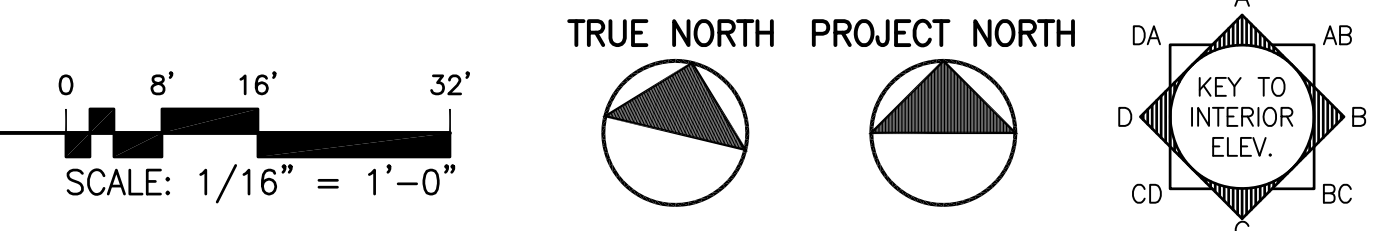
2 TOILET REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



A REFLECTED CEILING PLAN
SCALE: 1/16" = 1'-0"



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AR-13819
HAWAII U.S.A.
LICENSE EXPIRES: 30 APRIL 2022

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REVISION MARK	DATE	DESCRIPTION
3	05/10/21	OWNER REV. (REDUCED SOW)
2	04/15/21	TPR COMMENTS
1	03/12/21	OWNER REVS (ELEC)

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
REFLECTED CEILING PLAN
DETAILED PLAN

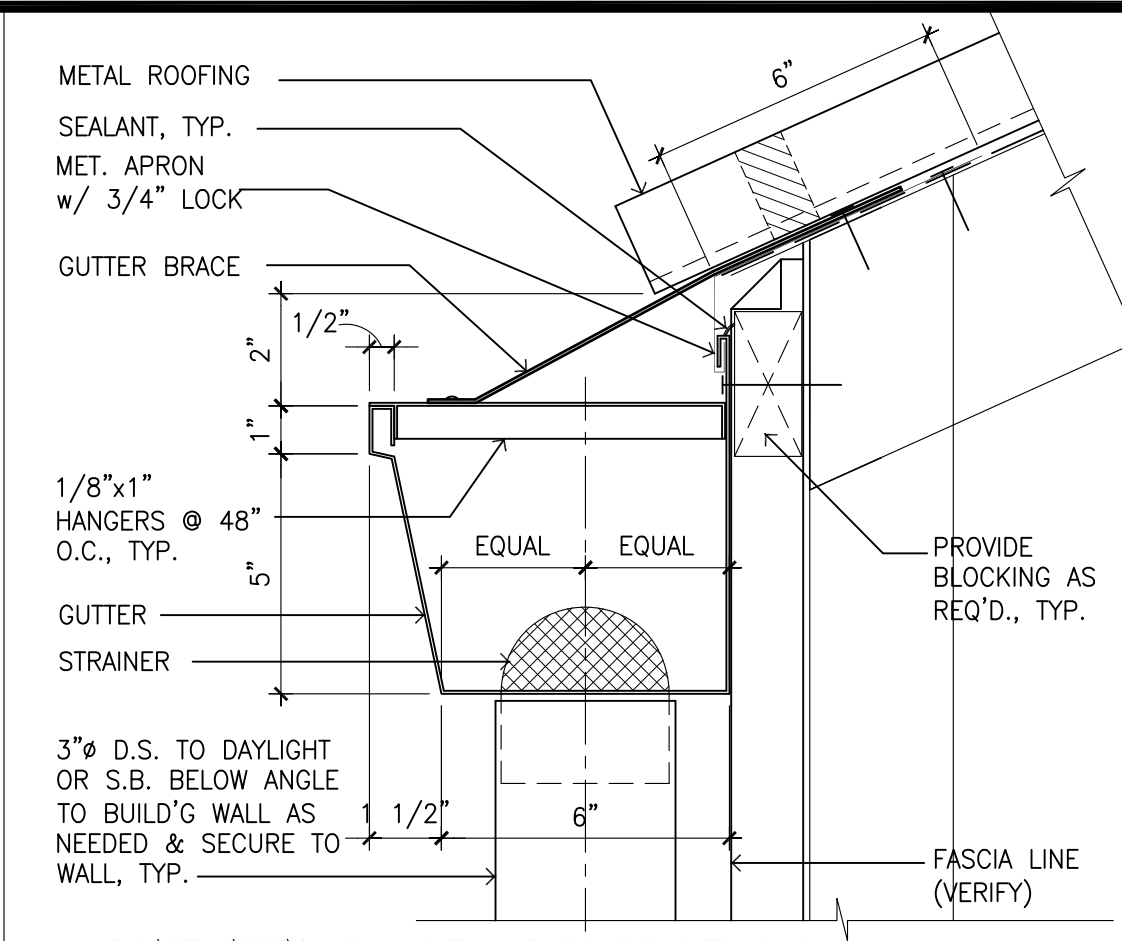
JOB NO. 20007-0000 DRAWING NO. A002.1
DRAWN DRA
CHECKED DRA
DATE DEC 2020 SHEET OF

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6. PATCH/REPAIR ANY ROOF AREA THAT HAS BEEN DETERIORATED AND/OR PROVIDE SEALANT/ROOF PATCH AS REQUIRED FOR CLEAN WATERTIGHT FINISH. CONFIRM LOCATIONS WITH OWNER AND ARCHITECT.
7. UNDER EAVES: WALL TO ROOF FRAMING - SEAL ALL GAPS/CRACKS THAT EXPOSE DAYLIGHT INTO BUILDING INTERIOR SPACE w/ EXPANDABLE FOAM INSULATION AND/OR SEALANT, TYP.

SHEET DEMO KEYNOTES: ①

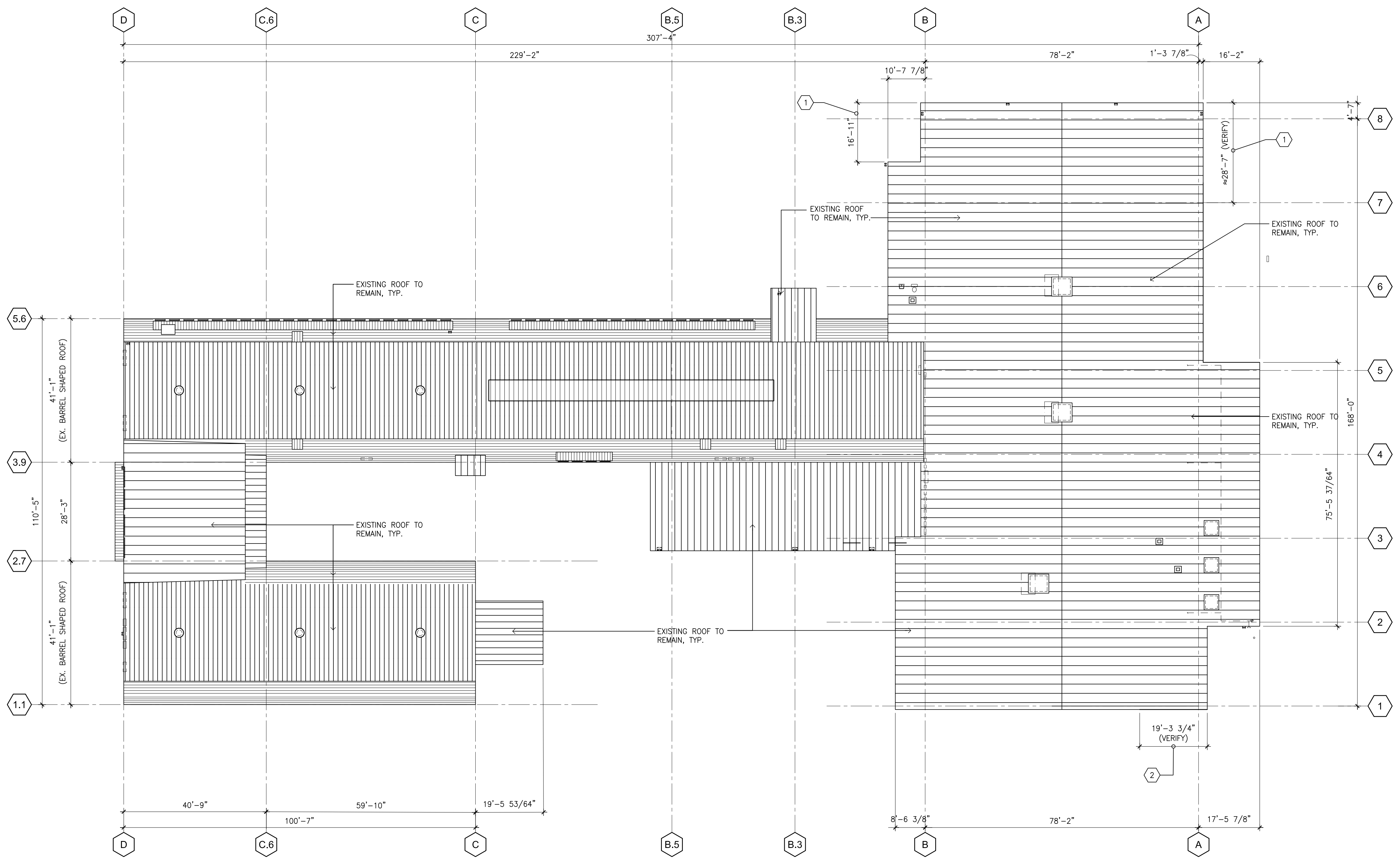
1. REPLACE DETERIORATED OR MISSING GUTTER SYSTEM (TO MATCH EXISTING) AND TIE-IN TO EXISTING FOR CONTINUOUS RUN. PROVIDE DOWNSPOUT TO DAYLIGHT/SPLASHBLOCK AS NEEDED, TYP.
2. REPAIR/REPLACE ROOF FASCIA AS NEEDED DUE TO NEW WORK (MATCH EXISTING), TYP.



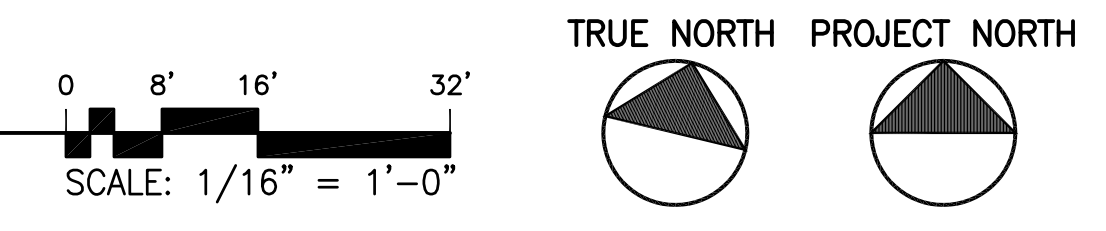
1 GUTTER DETAIL
SCALE: 3" = 1'-0"
GUTTER 7

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



A ROOF PLAN (OVERALL)
SCALE: 1/16" = 1'-0"



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LICENSE EXPIRES: 30 APRIL 2022

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REVISION MARK	DATE	DESCRIPTION
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PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

ROOF PLAN SHEET TITLE

JOB NO. 20007-0000	DRAWING NO.
DRAWN DRA	
CHECKED DRA	A003.0
DATE DEC 2020	SHEET OF

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY AND NOTIFY ARCHITECT OF EXISTING DIMENSIONS OF PORTION OF BUILDING TO REMAIN. (I.E. - PLATE HEIGHT, ROOF PITCH, ETC.)
2. SEE CIVIL, MECH., ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
3. ALL UNDERGROUND UTILITIES (I.E. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE. SEE CIVIL DWGS. FOR COORDINATION.
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6. POWERWASH/PREP ENTIRE EXTERIOR OF BUILDING FOR NEW PAINT FINISH THROUGHOUT, TYP.

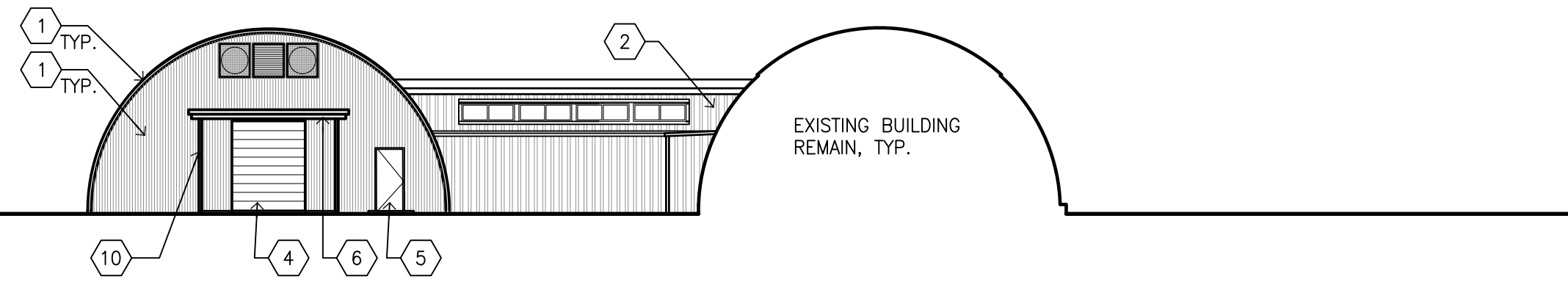
SHEET KEYNOTES: ①

GENERAL: ALL EXTERIOR SURFACES SHALL RECEIVE NEW PAINT FINISH, TYP.

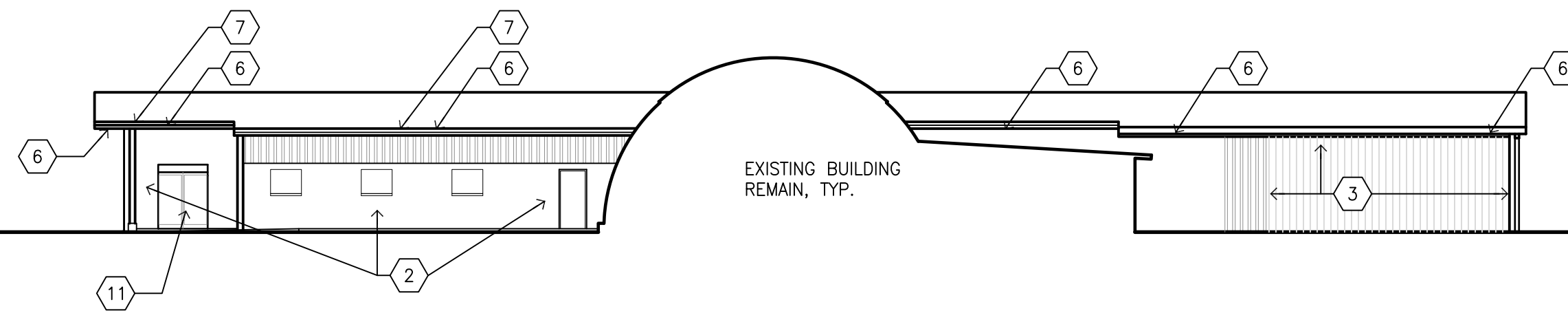
1. EXISTING BARREL-SHAPE BUILDING TO BE CLEANED/PREPARED FOR NEW PAINT FINISH, TYP.
2. EXISTING BUILDING WALL (SIDING/CMU/WOOD) TO BE CLEANED/PREPARED FOR NEW PAINTING FINISH, TYP.
3. NEW EXTERIOR BUILDING WALL (SIDING TO MATCH EXISTING BUILDING) w/ PAINT FINISH, TYP.
4. NEW ROLL-UP DOOR w/ PAINT FINISH, TYP.
5. NEW DOOR w/ PAINT FINISH, TYP.
6. EXISTING FASCIA AND UNDERSIDE OF EAVES TO BE CLEANED/PREPARED FOR NEW PAINTING FINISH, (PATCH/REPAIR AREAS w/ +80% DETERIORATED MEMBERS AFTER CONSULTING w/ LANDLORD/OWNER), TYP.
7. EXISTING GUTTER SYSTEM TO BE CLEANED/PREPARED FOR NEW PAINT FINISH. (REPAIR/REPLACE AREAS w/ +80% DETERIORATED MEMBERS AFTER CONSULTING w/ LANDLORD/OWNER)
8. ADD/REPLACE MISSING GUTTER AND TIE-IN TO EXISTING. MATCH NEW PAINT COLOR. (VERIFY LENGTH)
9. EXISTING METAL LOUVERS - PATCH/REPAIR/REPLACE DAMAGED LOUVERS TO MATCH EXISTING. PROVIDE NEW PAINT FINISH, TYP.
10. EXISTING BUILDING COLUMNS/FRAMING TO RECEIVE NEW PAINT FINISH, TYP.
11. EXISTING EXTERIOR DOORS TO RECEIVE NEW PAINT FINISH, TYP.

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

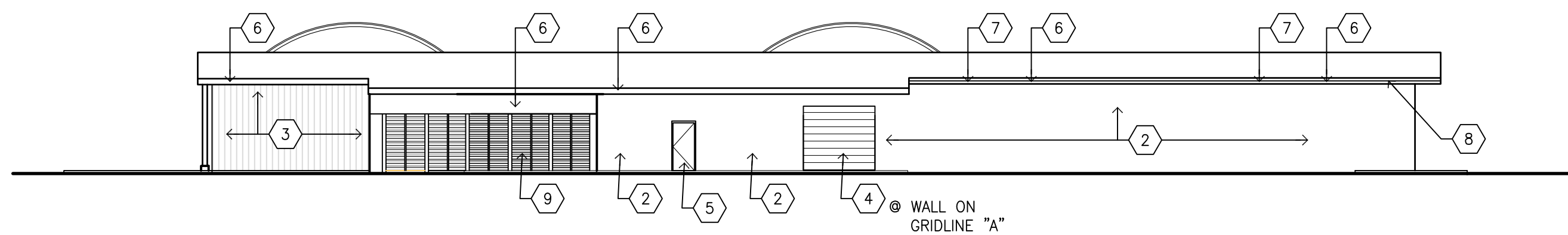
BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



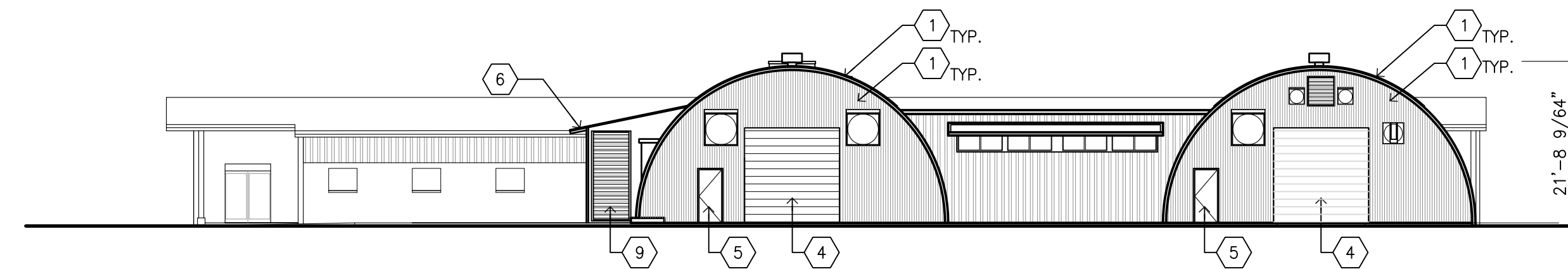
DIAMOND HEAD ELEVATION (FROM INTERIOR YARD)



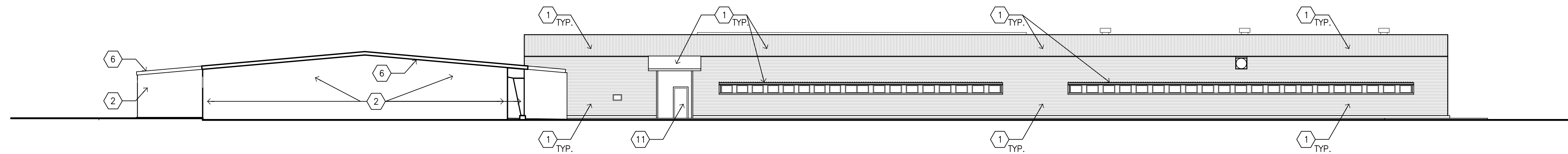
EWA ELEVATION (FROM INTERIOR YARD)



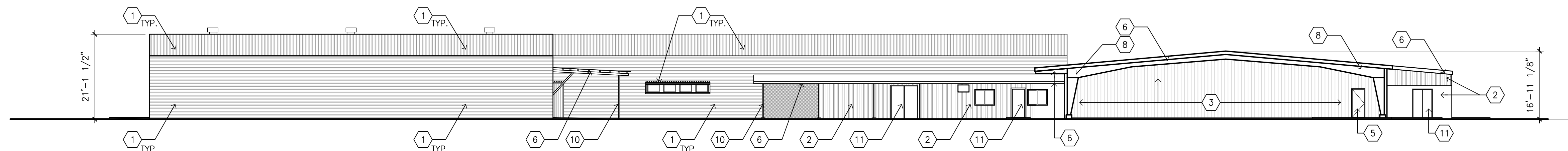
DIAMOND HEAD ELEVATION



EWA ELEVATION (FROM ENTERPRISE STREET)

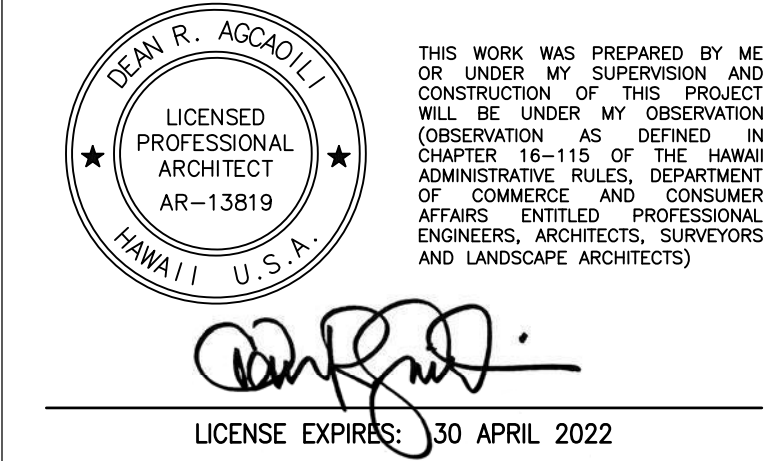


MAUKA ELEVATION (FROM MONTEREY STREET)



MAKAI ELEVATION (FROM RANDOLPH STREET)

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Architecture LLC
ARCHITECTURE DESIGN INTERIORS
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HONOLULU, HAWAII 96826
(808) 292-6287



GENERAL NOTES

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REVISION MARK • DATE • DESCRIPTION

PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

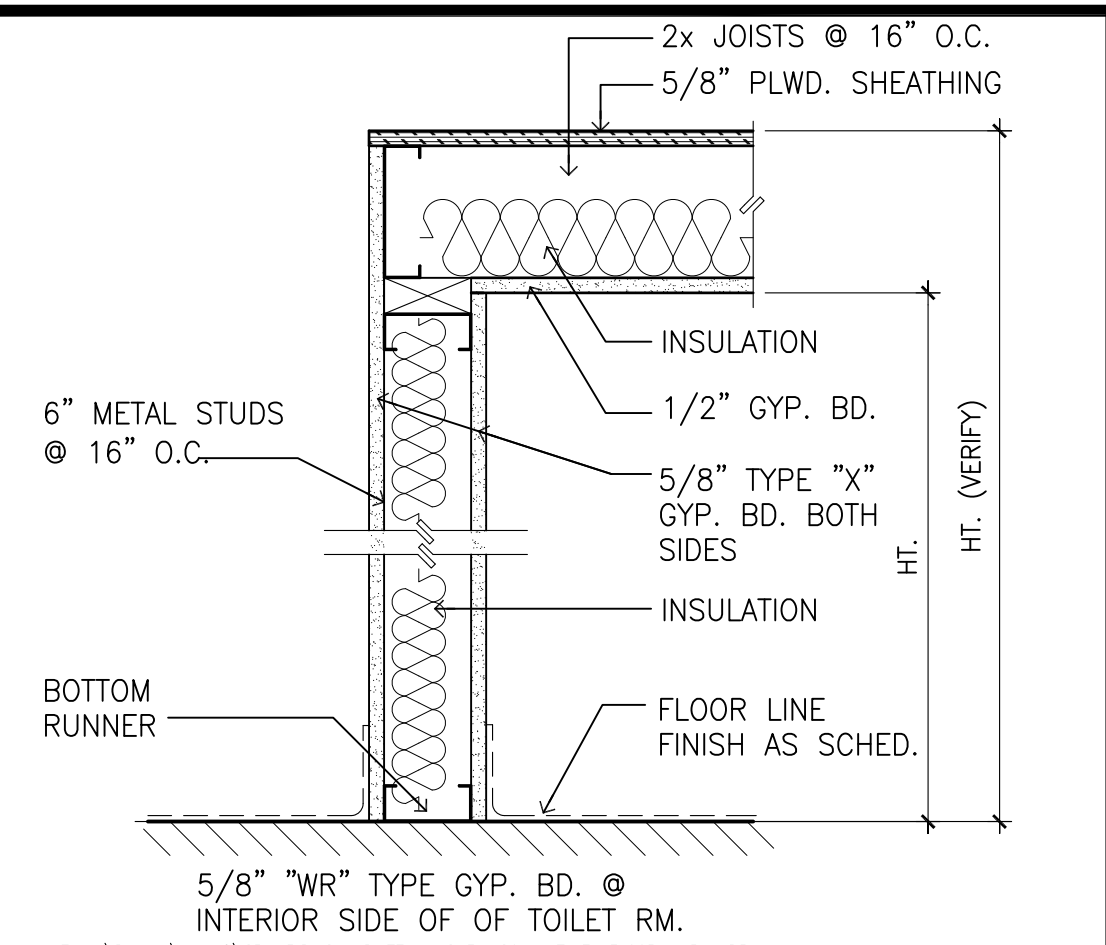
EXTERIOR ELEVATIONS SHEET TITLE

JOB NO. 20007-0000 DRAWING NO.
DRAWN DRA
CHECKED DRA
DATE DEC 2020 SHEET OF

A EXISTING/DEMO EXTERIOR ELEVATIONS
SCALE: 1/16" = 1'-0"

0 8' 16' 32'
SCALE: 1/16" = 1'-0"

NAME: R:\UPA Projects\20007-0000 Hunt Co - Kilaheo Parcel 10 Building Improvements\0000-0.dwg DATE: MAR 18, 2021 TIME: 3:31PM BY: DRA



4 GYP. BD. WALL
SCALE: 1 1/2" = 1'-0" GBW-15

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

DRA
Architecture LLC
ARCHITECTURE DESIGN INTERIORS
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HONOLULU, HAWAII 96826
(808) 292-6287

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LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES

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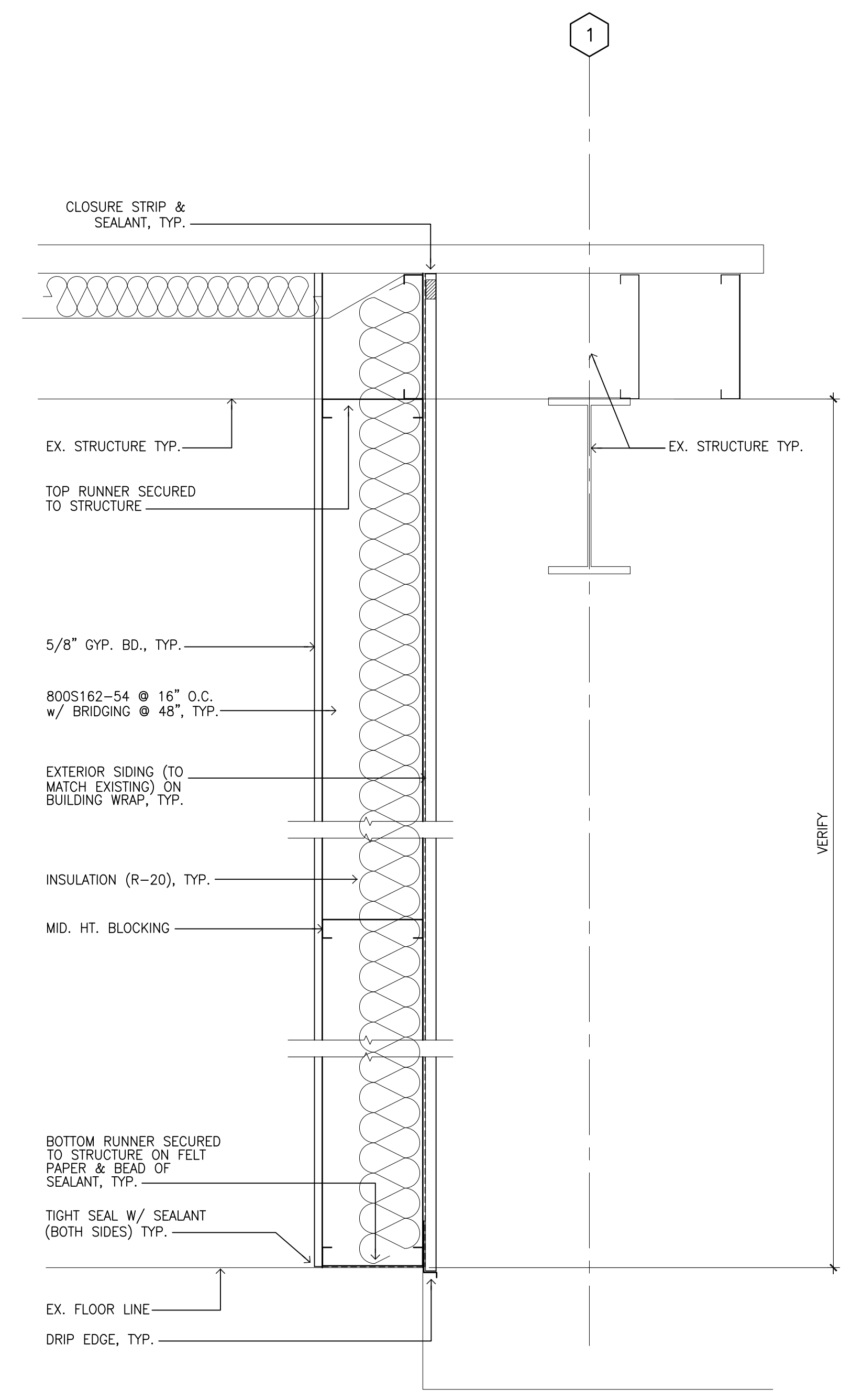
REVISION MARK	DATE	DESCRIPTION
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PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**

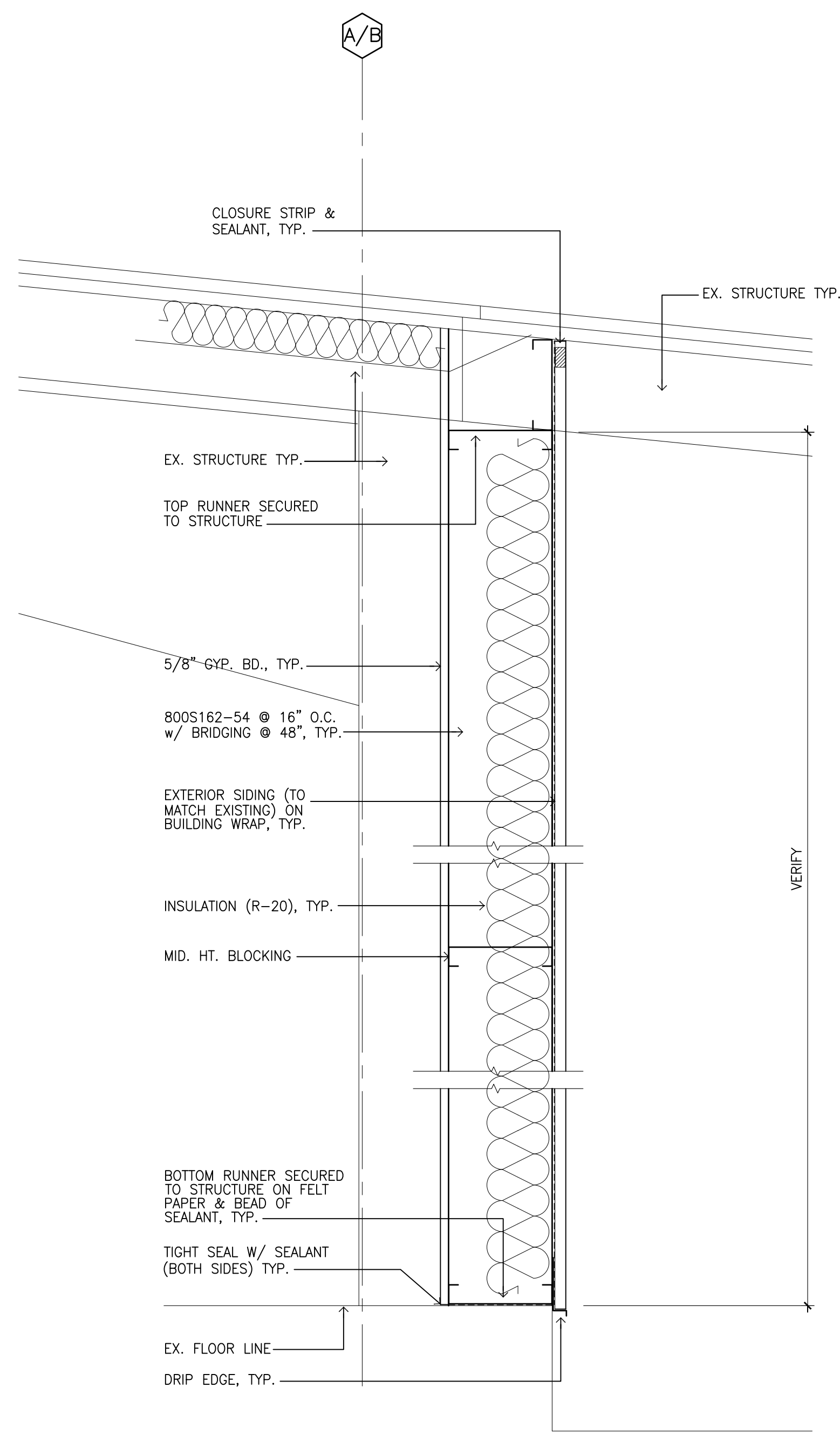
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

WALL DETAILS SHEET TITLE

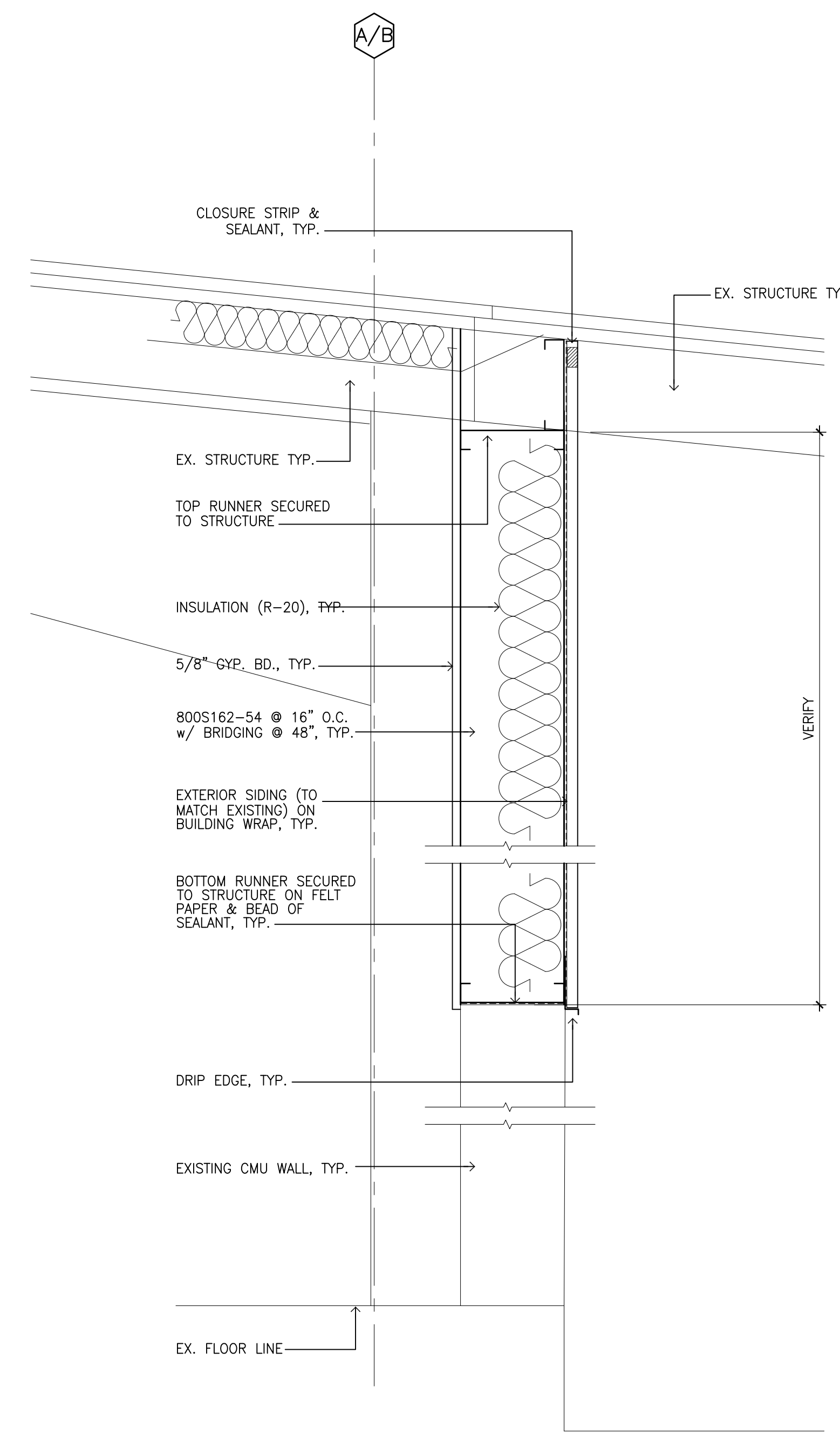
JOB NO. 20007-0000 DRAWING NO.
DRAWN DRA
CHECKED DRA
DATE DEC 2020 SHEET OF



1 WALL SECTION
SCALE: 1-1/2" = 1'-0"



2 WALL SECTION
SCALE: 1-1/2" = 1'-0"



3 WALL SECTION
SCALE: 1-1/2" = 1'-0"

NAME: R:\BPA_Projects\20007-0000_Hunt Co - Kapepe Parcel 10 Building Improvements\A005-1.dwg DATE: JAN 26, 2021 TIME: 5:10PM BY: DBA

- A. GENERAL:**
1. ALL WORK SHALL CONFORM TO THE BUILDING CODE OF THE CITY AND COUNTY OF HONOLULU.
 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF THE JOB AND NOTIFY ALL DISCREPANCIES TO THE ENGINEER
 3. ALL WORK SHALL CONFORM TO THE BEST PRACTICE PREVAILING IN THE VARIOUS TRADES COMPRISING THE WORK.
 4. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
 5. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO INSURE THE PROPER ALIGNMENT OF THE STRUCTURES.
 9. THE CONTRACTOR SHALL PROTECT AND SHIELD FROM DAMAGE ALL AREAS ADJACENT TO AND SURROUNDING THE CONSTRUCTION WORK. EXISTING CONDITIONS OR AREAS DAMAGED OR DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.

- 3. STEEL:**
1. ALL STEEL PLATES, BARS, AND SHAPES SHALL COMPLY WITH ASST. A-36.
 2. ALL WELDS SHALL BE ARC WELDED ACCORDING TO WAS STANDARDS AND PERFORMED BY CERTIFIED WELDERS. ALL WELDS SHALL BE GRINDED SMOOTH. WELDS SHALL BE PAINTED WITH 2 COATS OF ZRC COLD GALVANIZING COMPOUND.

3. UNLESS OTHERWISE INDICATED, ALL STEEL JOINTS NOT DETAILED SHALL BE WELDED BY 1/4" FILLET OR COMPLETE PENETRATION WELD.
4. STEEL FRAME SHALL BE HOT DIP GALVANIZED AFTER FABRICATION. ANCHOR BOLTS TO CMU SHALL BE EPOXY OR SLEEVE TYPE.

- C. EPOXY GROUTING**
1. EPOXY GROUTING OF REBARS AND DOWELS: EPOXY SHALL BE SIKA EPOXY INJECTION GEL SYSTEM OR APPROVED EQUAL. SUBMIT ICBO REPORT AND TECHNICAL DATA FOR ALL EPOXY PRODUCTS. HOLE SIZE SHALL BE 1/8" LARGER THAN BOLT DIAMETER. JUST PRIOR TO GROUTING, EACH HOLE SHALL BE SCRAPED AND NYLON BRUSHED, AND THEN SHALL BE BLOW OUT USING OIL-FREE COMPRESSED AIR TO REMOVE ANY RESIDUE. GROUTING SHALL STRICTLY CONFORM TO THE EPOXY MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

- D. SPECIAL INSPECTIONS:**
1. SPECIAL INSPECTIONS PER UNIFORM BUILDING CODE ARE REQUIRED FOR THE FOLLOWING TYPES OF WORK:
 - A) BOLTS INSTALLED IN CMU
 2. CONTRACTOR SHALL NOTIFY THE SPECIAL INSPECTOR AT LEAST 3 WORKING DAYS PRIOR TO PERFORMING WORK REQUIRING SPECIAL INSPECTIONS.

PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

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 HONOLULU, HAWAII 96826
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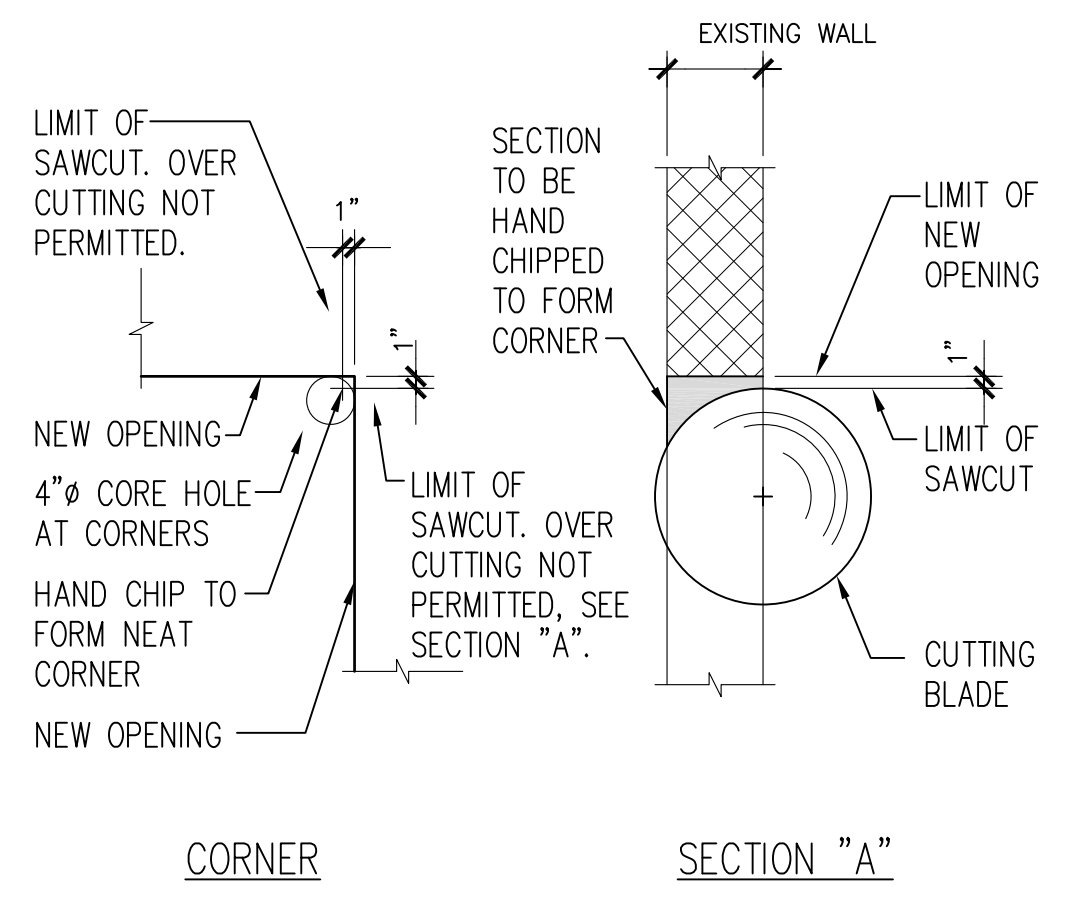
DEAN R. AGCAGIL
 LICENSED PROFESSIONAL ARCHITECT
 AR-13819
 HAWAII U.S.A.

[Signature]
 LICENSE EXPIRES: 30 APRIL 2022

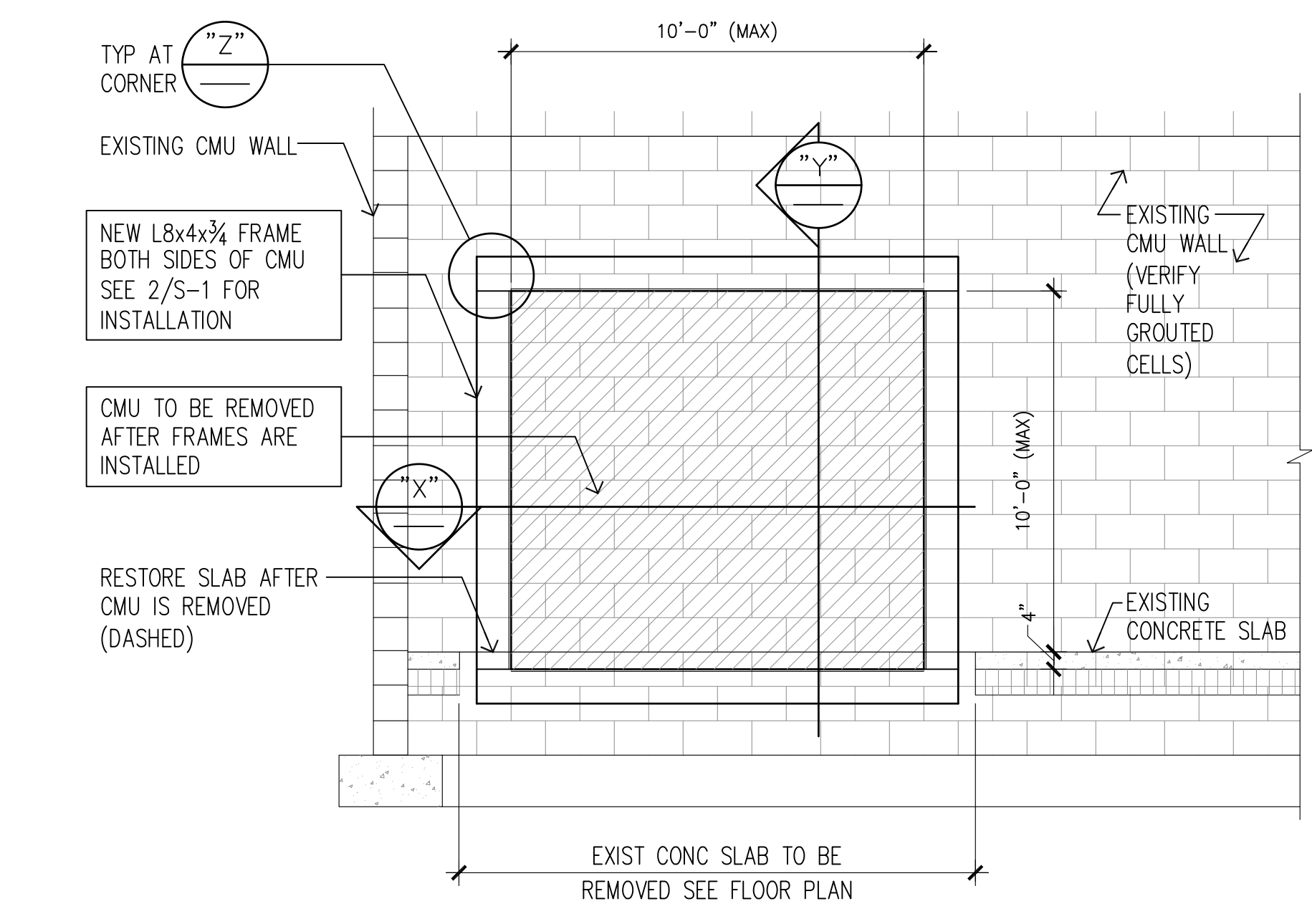
GENERAL NOTES

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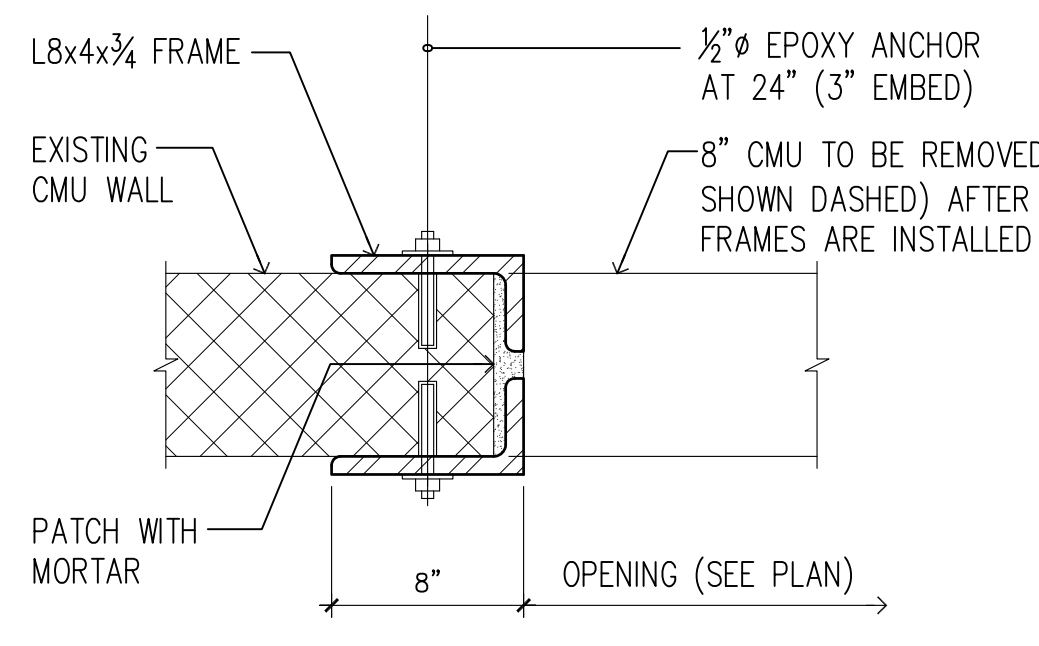
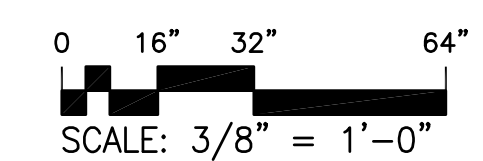
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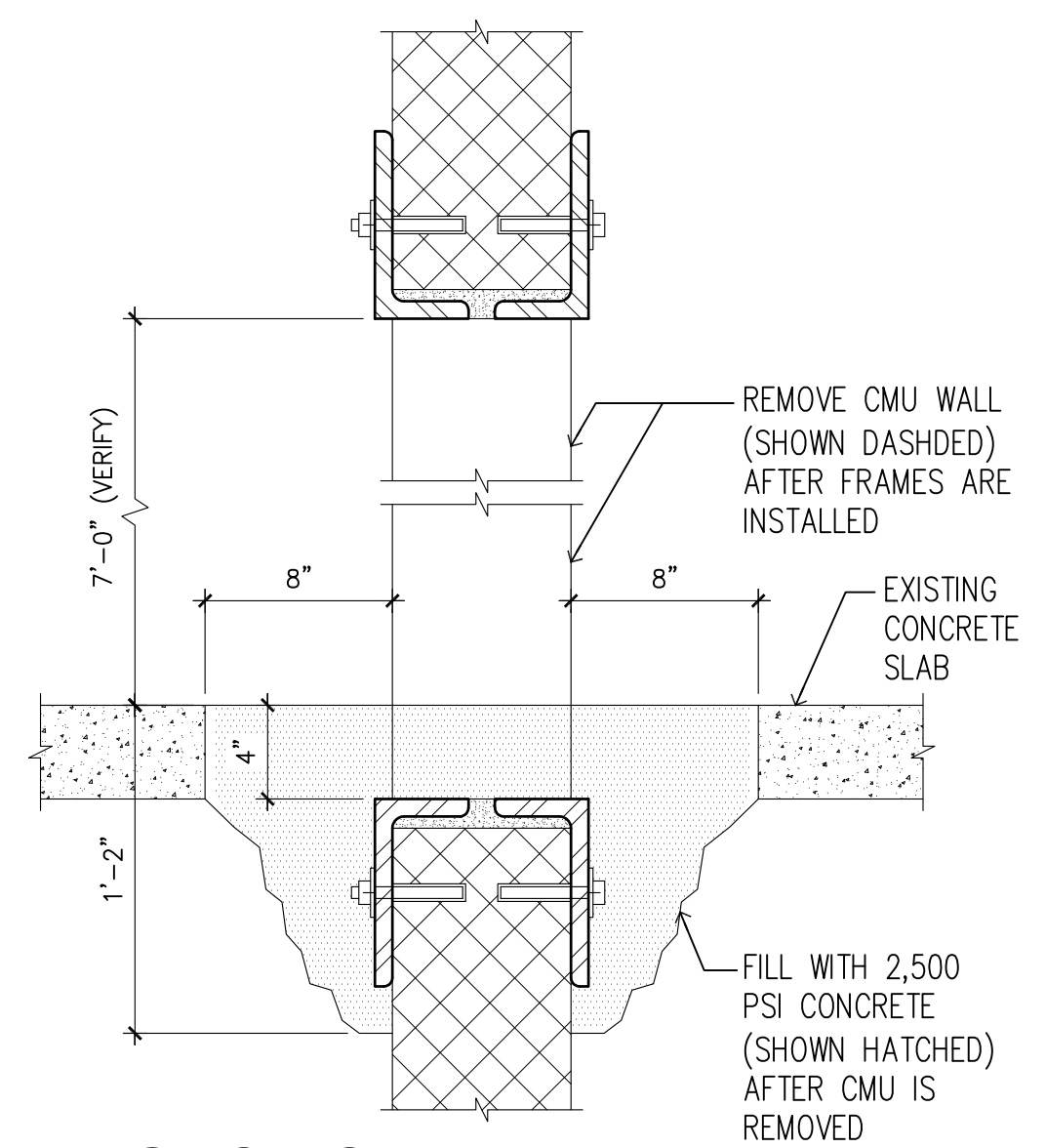
2 TYPICAL SAWCUT DETAIL
 NOT TO SCALE



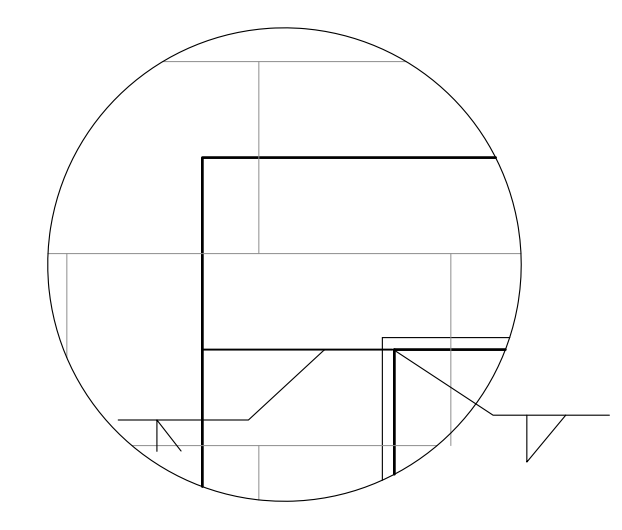
1 NEW OPENING - WALL ELEVATION
 SCALE: 3/8" = 1'-0"



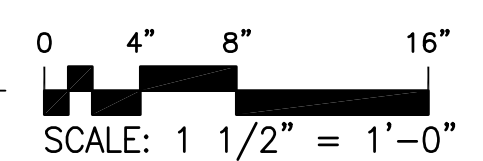
SECTION "X"
 SCALE: 1 1/2" = 1'-0"



SECTION "Y"
 SCALE: 1 1/2" = 1'-0"



DETAIL "Z"
 SCALE: 1 1/2" = 1'-0"



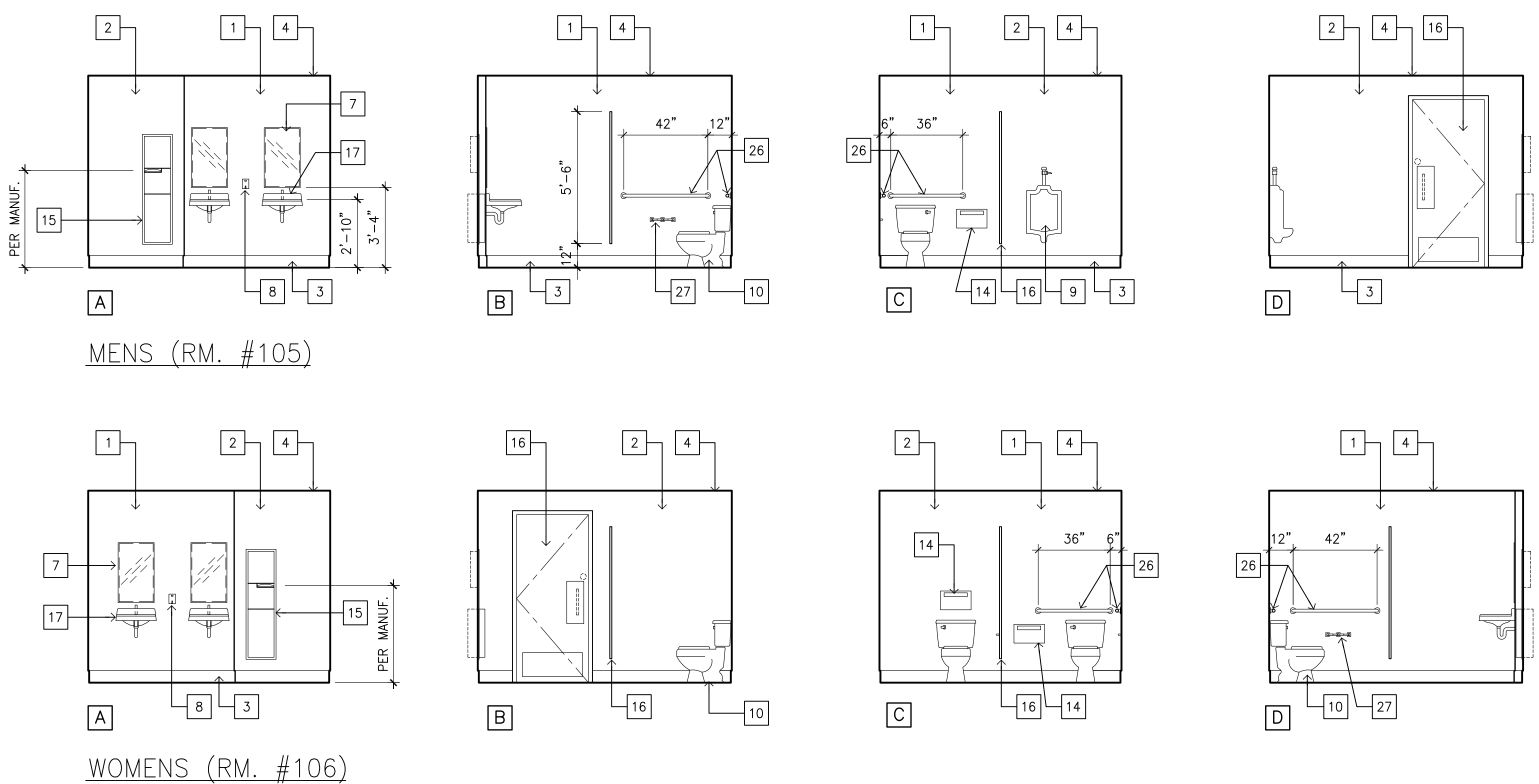
REVISION MARK	DATE	DESCRIPTION

PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
 HUNT COMMUNITIES HAWAII**
 91-1057 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

SHEET TITLE
**NEW OPENING ELEVATION DETAIL
 SECTIONS & DETAILS**

JOB NO. 20007-0000	DRAWING NO.
DRAWN DRA	A005.1
CHECKED DRA	
DATE DEC 2020	

NAME: R:\BPA_Projects\20007-0000 Hunt Co - Kapolei Parcel 10 Building Improvements\A007-0.dwg DATE: MAY 11, 2021 TIME: 3:28PM BY: DBA



MENS (RM. #105)

WOMENS (RM. #106)

ELEVATIONS KEY NOTES:

1. EXISTING WALL w/ ELASTOMERIC PAINT, TYP.
2. "W-R" GYP. BD. WALL w/ ELASTOMERIC PAINT FINISH, TYP.
3. 1x6 WOOD BASE (CHAMFER TOP) w/ PAINT FINISH, TYP.
4. GYP. BD. CEILING (PAINT FINISH), TYP.
5. CERAMIC TILE BACKSPASH, TYP.
6. DOOR AS SCHEDULE, TYP.
7. WALL MIRROR, TYP.
8. SOAP DISPENSER, TYP.
9. URINAL, TYP.
10. WATER CLOSET, TYP.
11. GRAB BARS, TYP.
12. TOILET PAPER DISPENSER, TYP.
13. SANITARY NAPKIN RECEPTACLE, TYP.
14. TOILET SEAT COVER DISPENSER, TYP.
15. P.T.D. & RECEPTACLE, TYP.
16. SOLID PHENOLIC PARTITIONS, TYP.
17. LAVATORY, TYP.

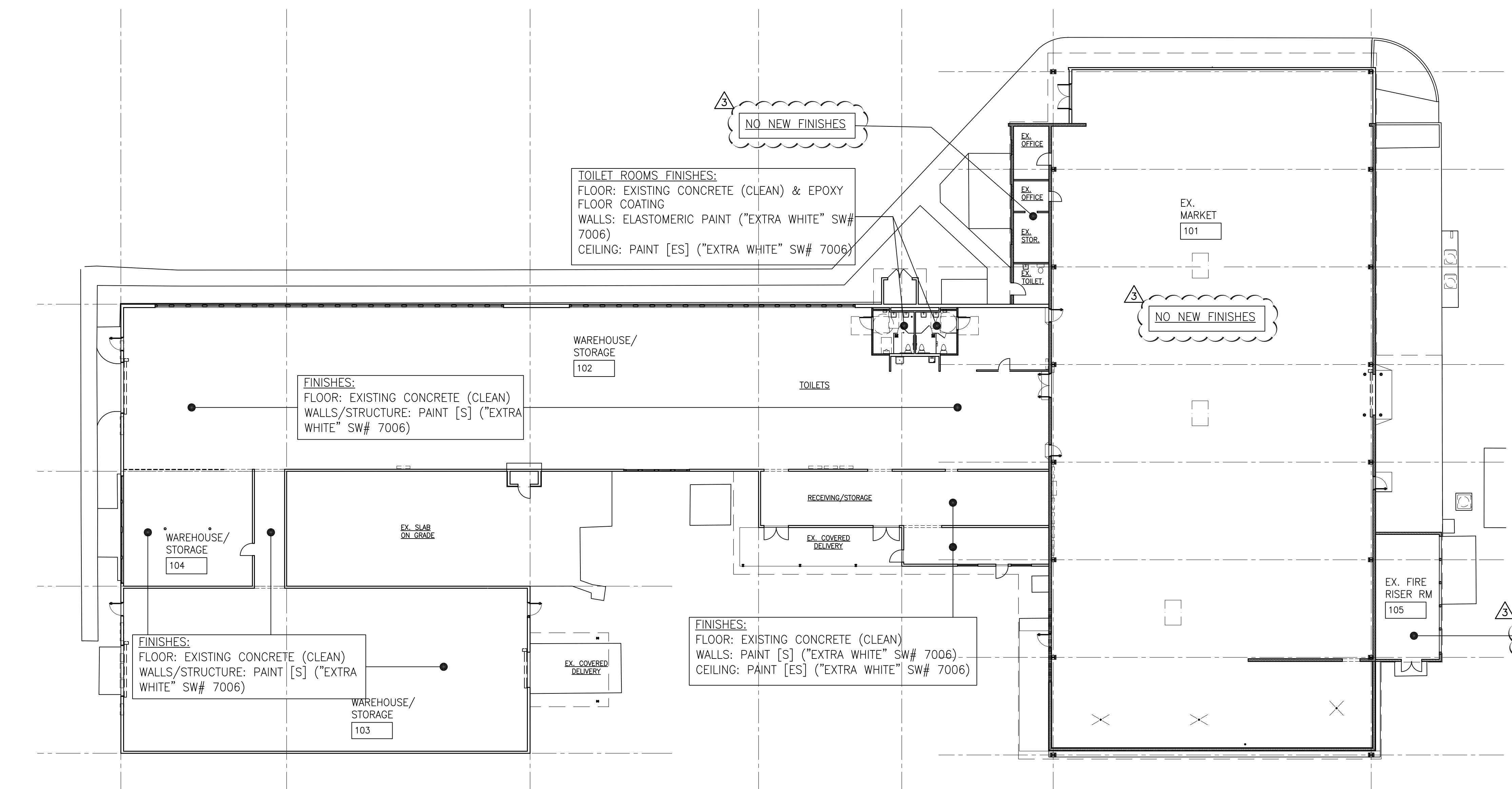
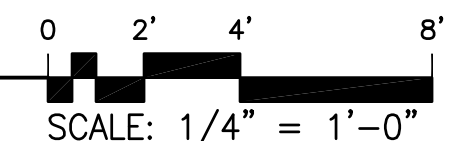
PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE

MECHANICAL CODE ZPRB (LAND USE ORDINANCE)

STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

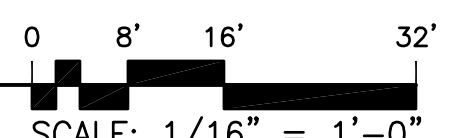
C INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"



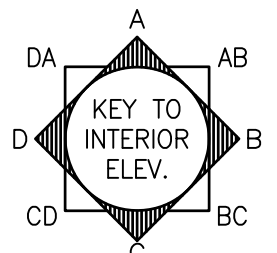
PAINT FINISH LEGEND:

1. SG = SEMI-GLOSS
2. EG = EGGSHELL
3. S = SATIN
4. F = FLAT

A INTERIOR FINISH PLAN
SCALE: 1/16" = 1'-0"



TRUE NORTH PROJECT NORTH



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HONOLULU, HAWAII 96826
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LICENSE EXPIRES: 30 APRIL 2022

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REVISION MARK	DATE	DESCRIPTION
3	05/10/21	OWNER REV. (REDUCED SOW)
2	04/15/21	TPR COMMENTS
1	03/12/21	OWNER REVS (ELEC)

PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

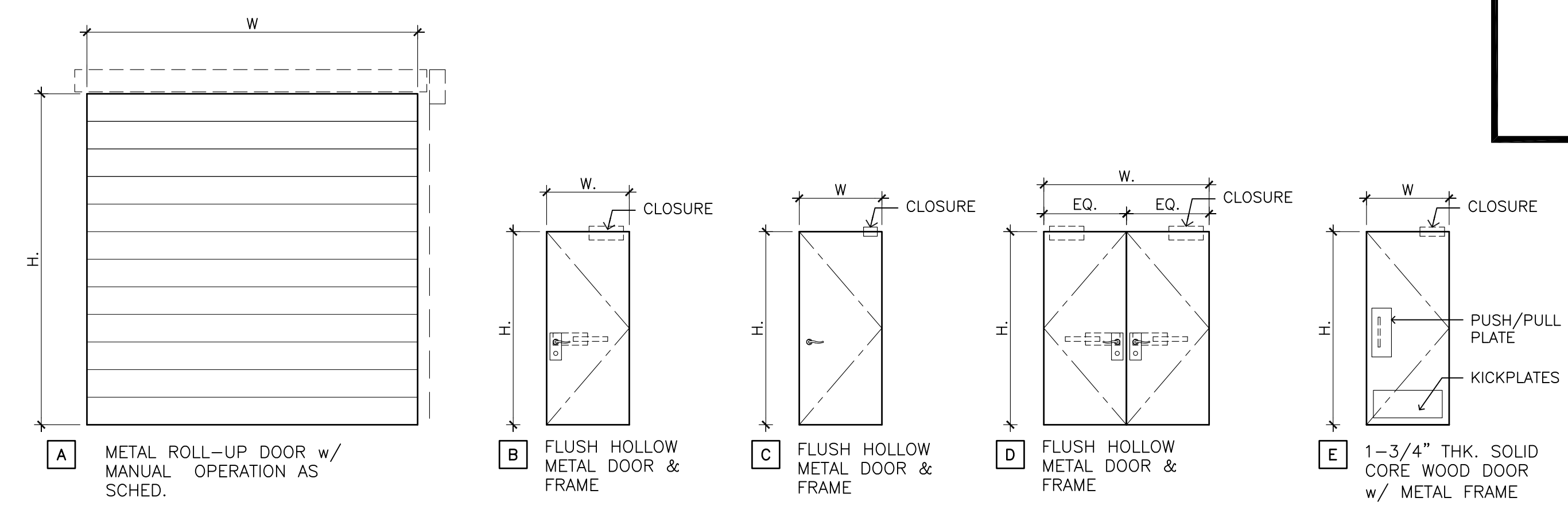
SHEET TITLE
FLOOR FINISHES PLAN
INTERIOR ELEVATIONS

JOB NO. 20007-0000	DRAWING NO.
DRAWN DRA	
CHECKED DRA	A007.0
DATE DEC 2020	SHEET OF

DOOR NO.	DOOR TYPE	DOOR				DOOR FRAME				REMARKS
		DIMENSION W X H	THK.	MAT'L	FINISH	MAT'L	FINISH	THRESHLD.	DETAIL NO.	
101	A	10'-0" x 9'-0"	-	M	FA/PT	M	FA	-	DET. 1/A008.0	MANUAL; PADLOCK w/ KEY @ INTERIOR, INSULATED, NOTE 2
102	B	3'-0" x 7'-0"	1 3/4"	M	PT	M	PT	AL	DET. 3/A008.0	CLOSURE, PANIC HDWR, WEATHER SEAL, THRESHHOLD
103	B	3'-0" x 7'-0"	1 3/4"	M	PT	M	PT	AL	DET. 3/A008.0	CLOSURE, PANIC HDWR, WEATHER SEAL, THRESHHOLD
104	B	3'-0" x 7'-0"	1 3/4"	M	PT	M	PT	AL	DET. 6/A008.0	CLOSURE, PANIC HDWR, WEATHER SEAL, THRESHHOLD
105	A	8'-0" x 12'-0"	-	M	FA/PT	M	FA	-	DET. 2/A008.0	MANUAL; PADLOCK w/ KEY @ INTERIOR
106	A	12'-6" x 12'-6"	-	M	FA/PT	M	FA	-	DET. 2/A008.0	MANUAL; PADLOCK w/ KEY @ INTERIOR, NOTE 3
107	B	3'-0" x 7'-0"	1 3/4"	M	PT	M	PT	AL	DET. 6/A008.0	CLOSURE, PANIC HDWR, WEATHER SEAL, THRESHHOLD
108	A	12'-6" x 12'-6"	-	M	FA/PT	M	FA	-	DET. 2/A008.0	MANUAL; PADLOCK w/ KEY @ INTERIOR, NOTE 3
109	B	3'-0" x 7'-0"	1 3/4"	M	PT	M	PT	AL	DET. 6/A008.0	CLOSURE, PANIC HDWR, WEATHER SEAL, THRESHHOLD
110	C	2'-8" x 6'-8"	1 3/4"	M	PT	M	PT	-	DET. 5/A008.0	CLOSURE, OFFICE LOCK, NOTE 1
111	D	5'-8" x 7'-0"	1 3/4"	M	PT	M	PT	-	DET. 5/A008.0	CLOSURE, OFFICE LOCK, KICK PLATES, NOTE 1
112	C	3'-0" x 7'-0"	1 3/4"	M	PT	M	PT	-	DET. 5/A008.0	CLOSURE, OFFICE LOCK, NOTE 1
113	E	3'-0" x 7'-0"	1 3/4"	W	PT	M	PT	STN	DET. 7/A008.0	CLOSURE, KICKPLATE, PUSH-PULL PLATE
114	E	3'-0" x 7'-0"	1 3/4"	W	PT	M	PT	STN	DET. 7/A008.0	CLOSURE, KICKPLATE, PUSH-PULL PLATE

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



DOOR TYPES

- NOTES:
- CONTRACTOR TO VERIFY EXISTING INTERIOR ROUGH OPENINGS OF DOORS TO BE REPLACED PRIOR TO ORDERING OF MATERIALS.
 - REFER TO NEW CMU WALL OPENING RETROFIT SUPPORT/BRACING DETAIL.
 - PROVIDE 4x4x1/8 HSS POSTS w/ 12" STRUCT CHANNEL HEADER FOR ROLL-UP DOOR SUPPORTS. SECURE POSTS @ BASE w/ 12"x12"x1/4" BASE PLATE (OFF-CENTERED) ANCHORED TO FLOOR. SECURE POSTS AND HEADER TO BUILDING.

FA = FACTORY APPLIED
STN = STONE / MARBLE
PT = PAINT
P-ST = STAIN
AL = ALUMINUM
M = METAL
WD = WOOD
FF-C.A. = FACTORY FINISH-CLEAR ANODIZED

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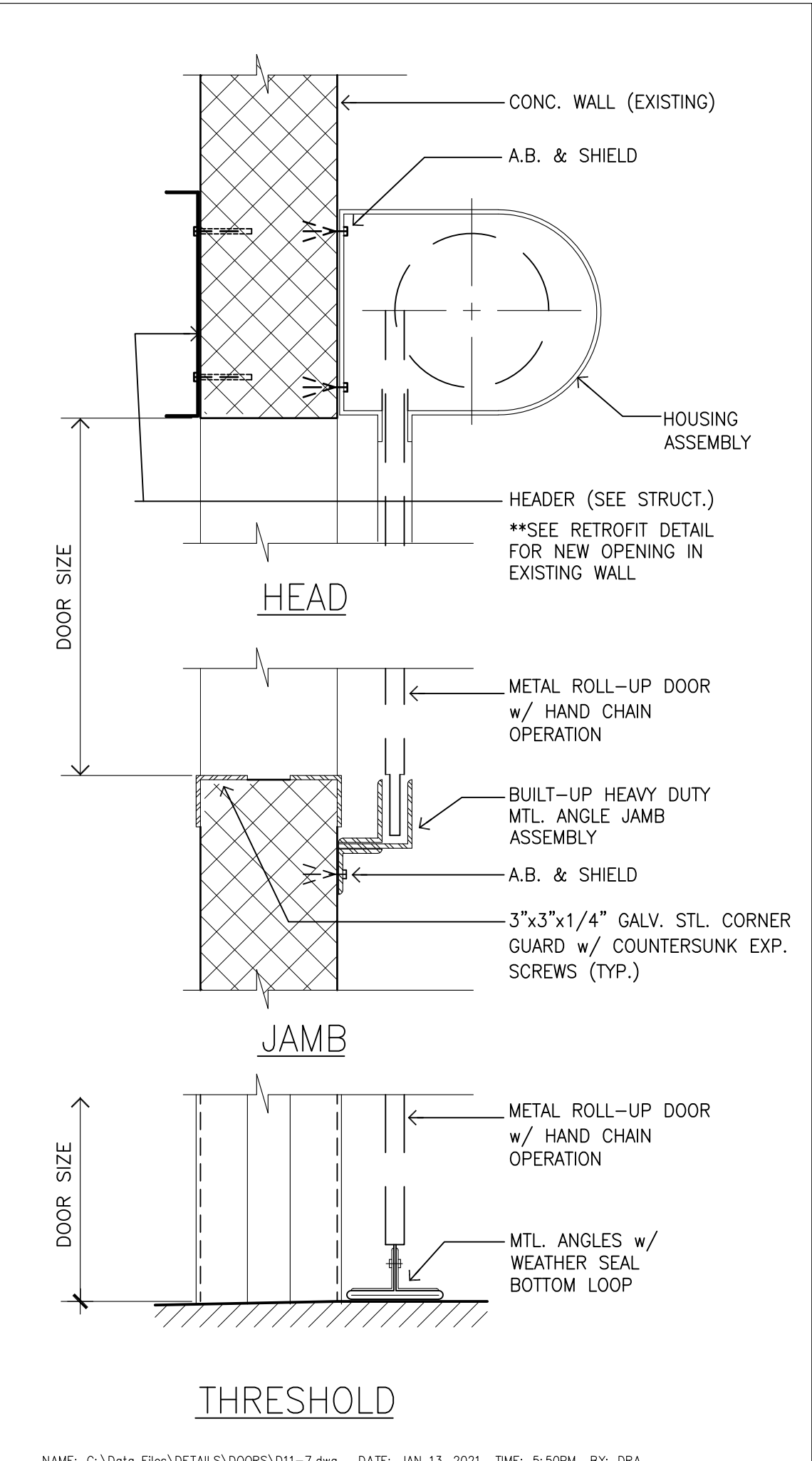
LICENSED PROFESSIONAL ARCHITECT
AR-13819
HAWAII U.S.A.

LICENSE EXPIRES: 30 APRIL 2022

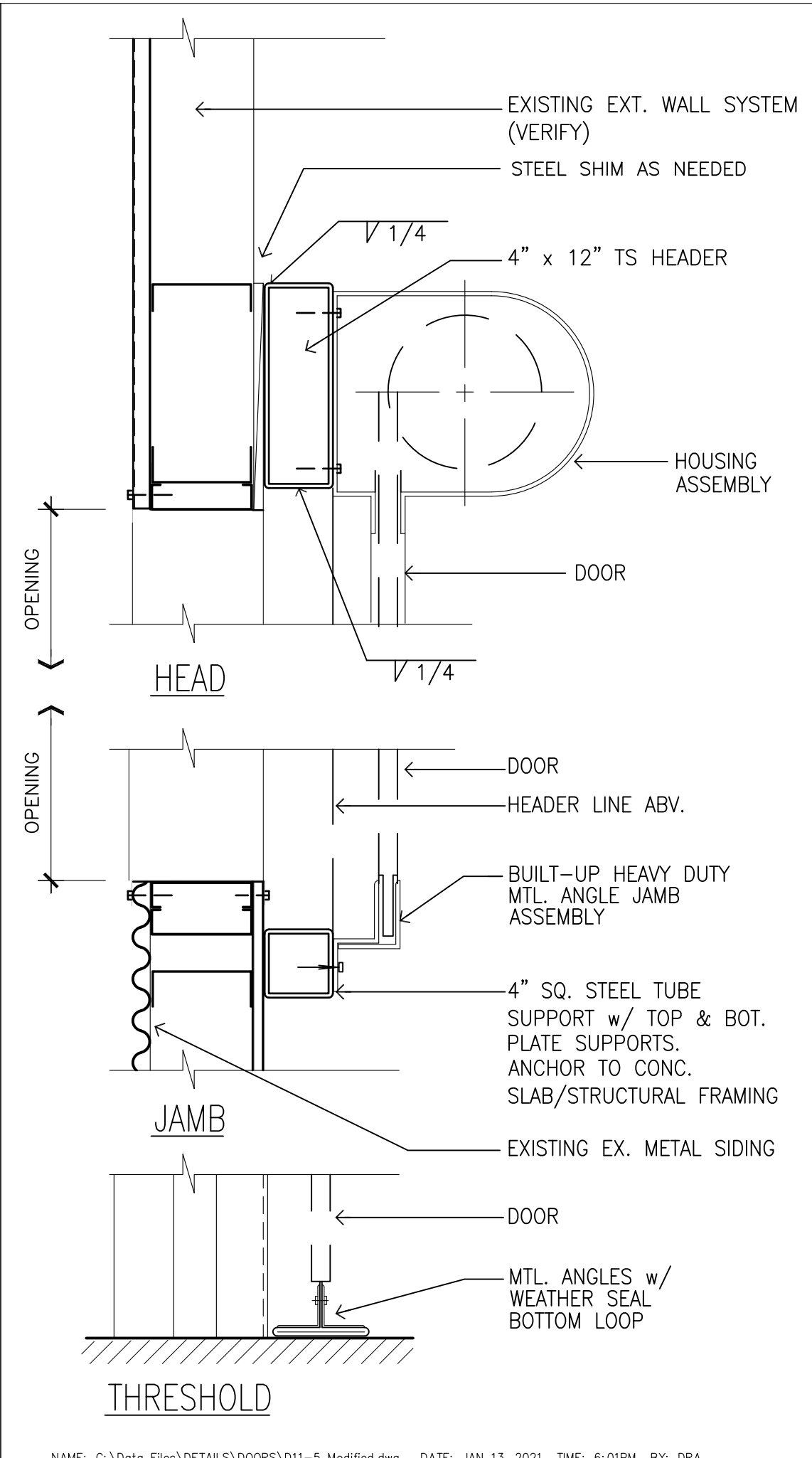
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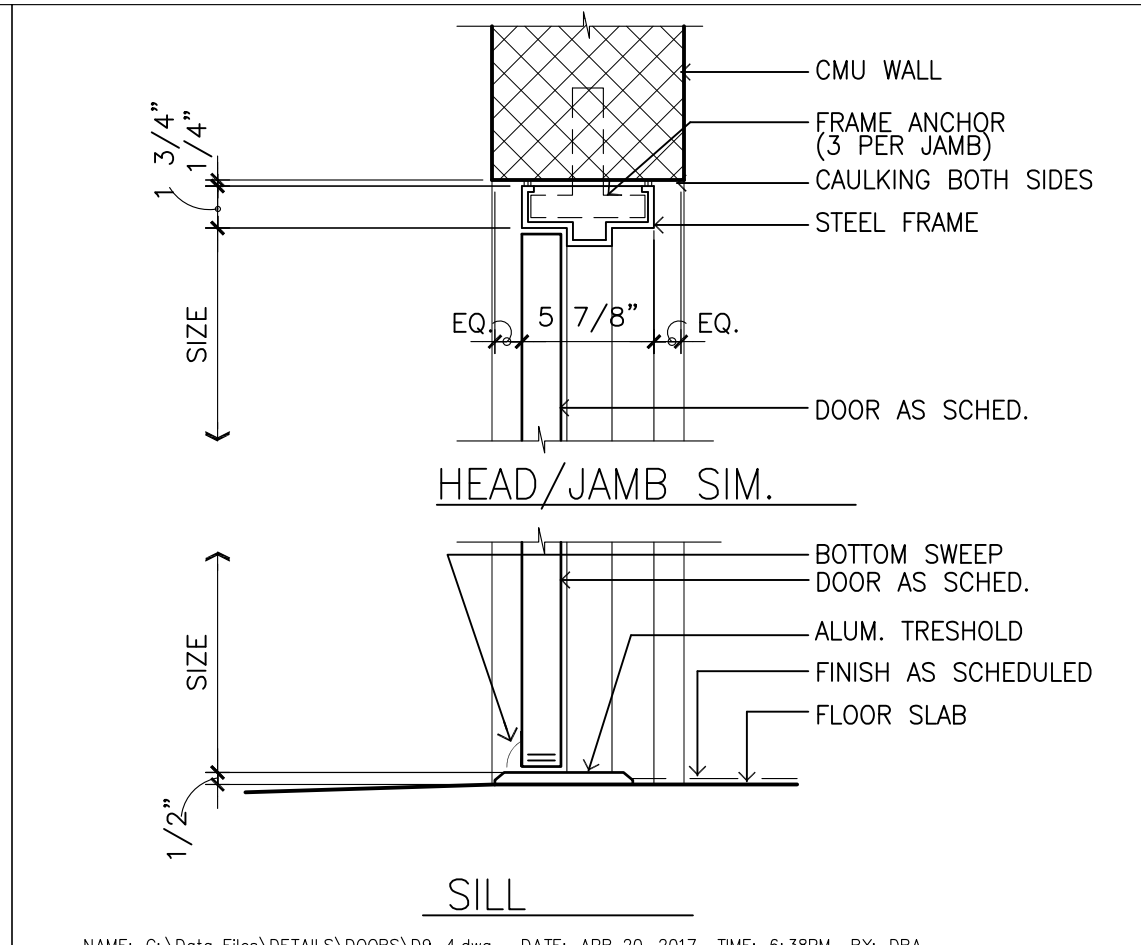
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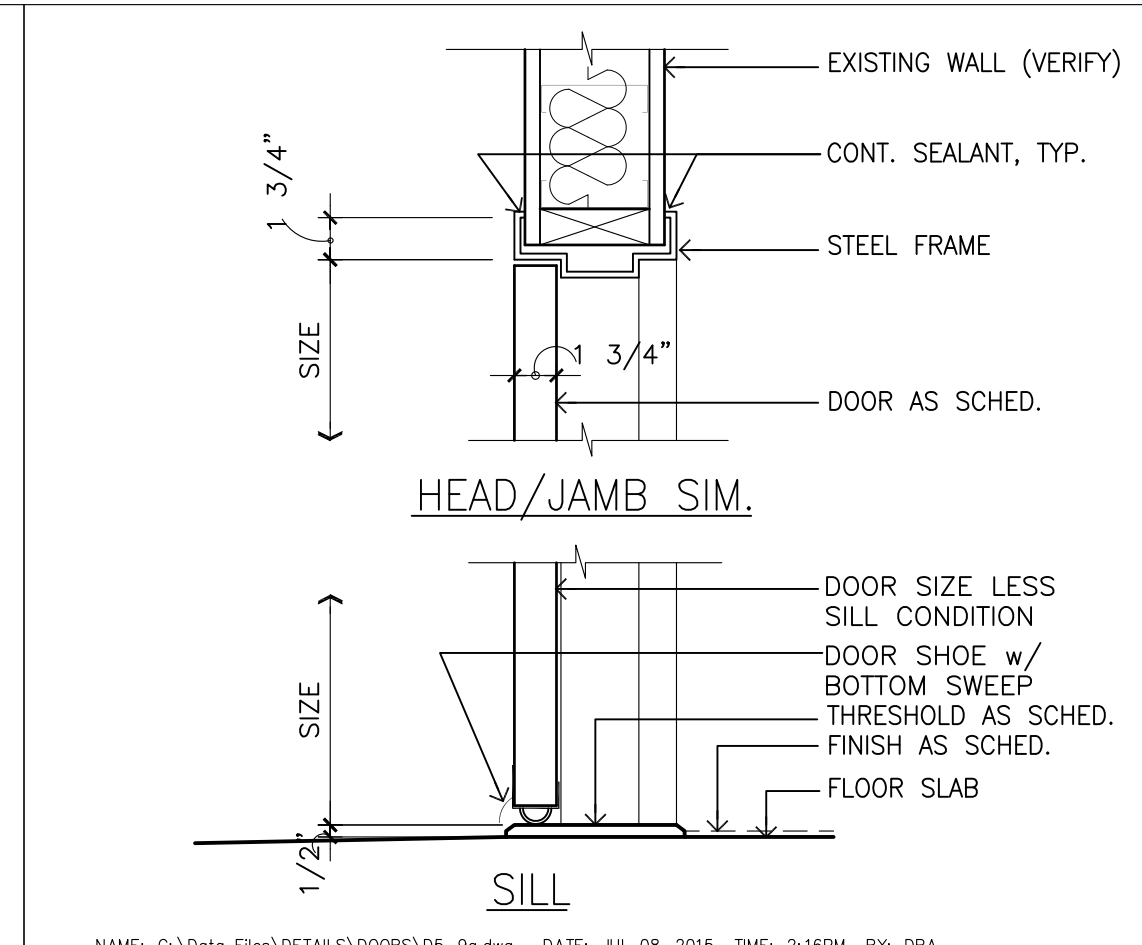
1 ROLL-UP DETAIL
SCALE: 1 1/2" = 1'-0"



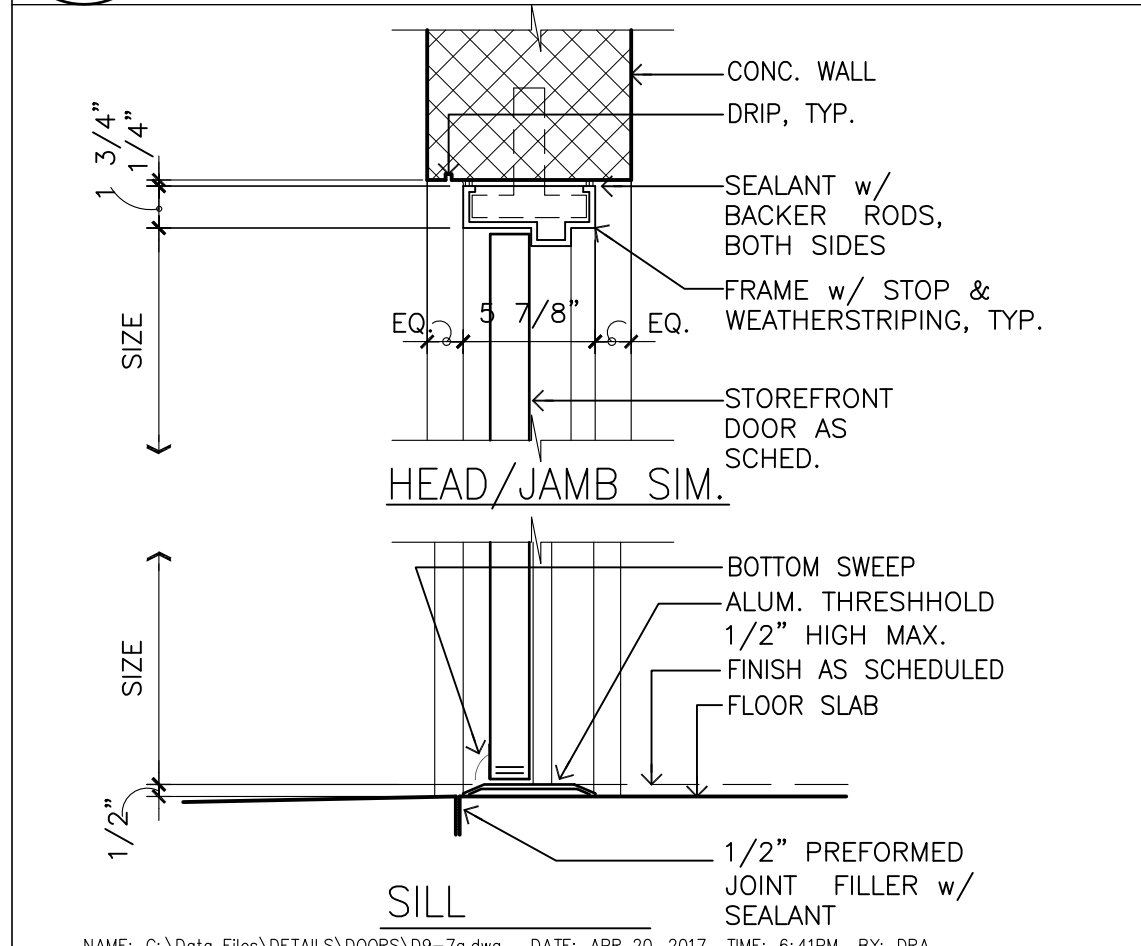
2 ROLL-UP DOOR
SCALE: 1 1/2" = 1'-0"



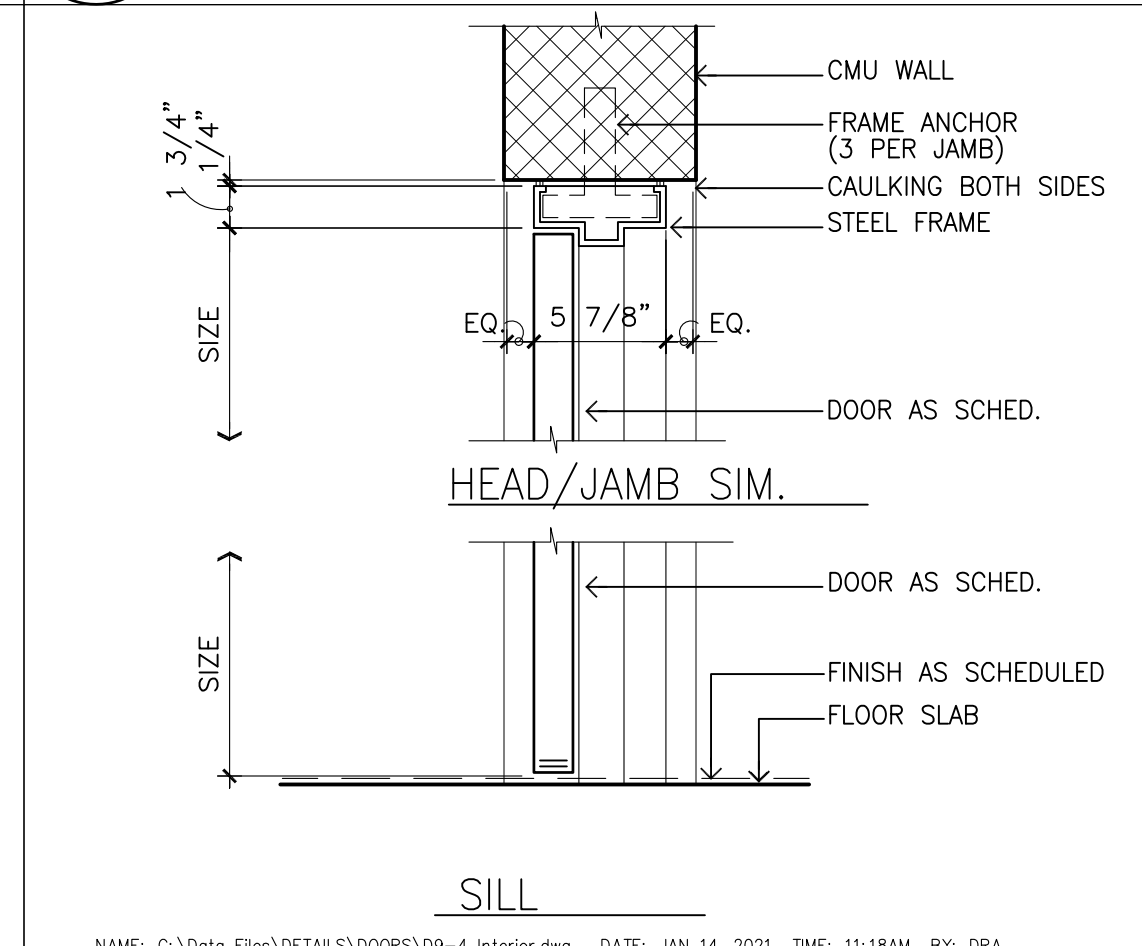
3 METAL DOOR & FRAME
SCALE: 1 1/2" = 1'-0"



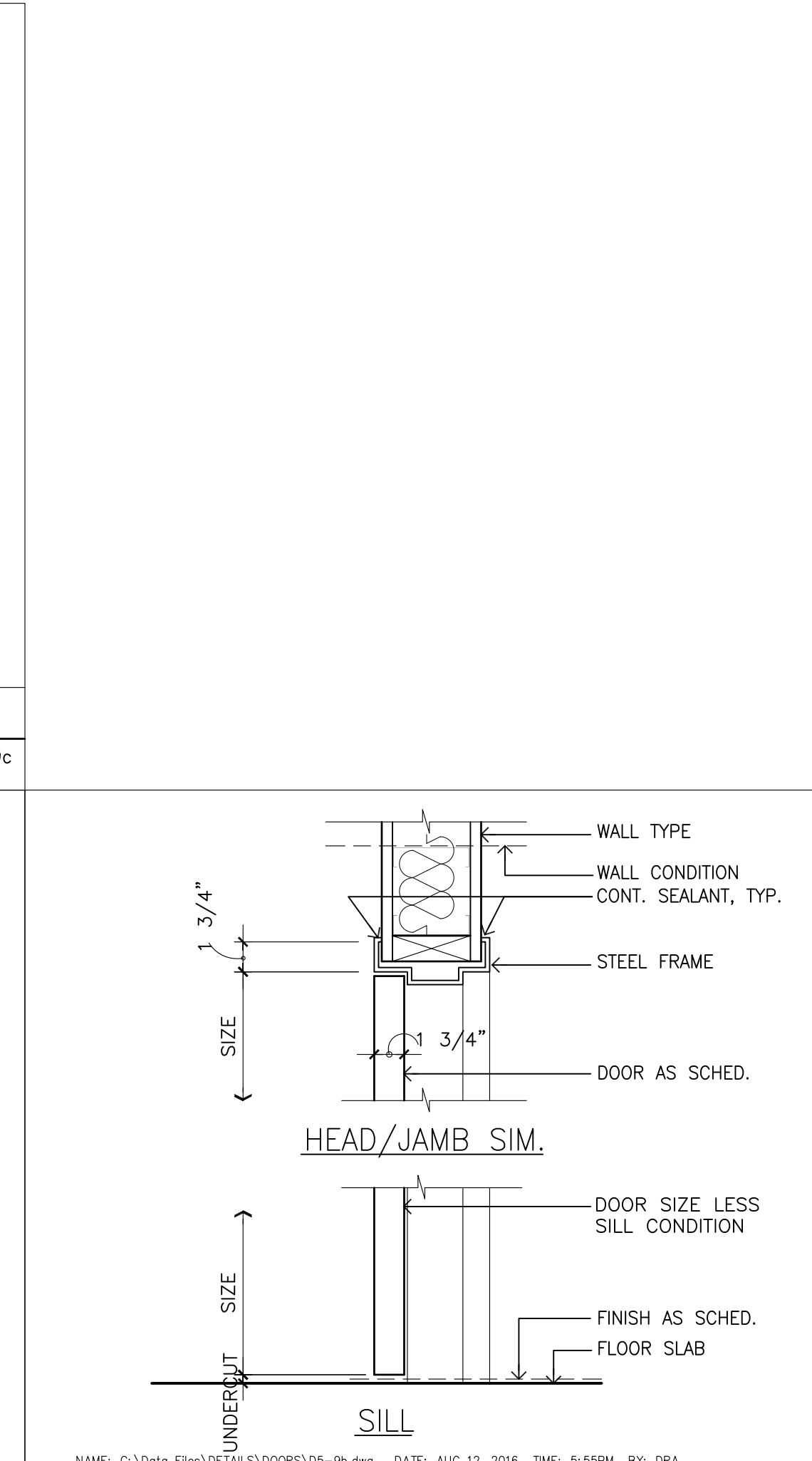
4 DOOR & FRAMING
SCALE: 1 1/2" = 1'-0"



5 METAL DOOR & FRAME
SCALE: 1 1/2" = 1'-0"



6 DOOR & FRAMING
SCALE: 1 1/2" = 1'-0"



7 DOOR & FRAMING
SCALE: 1 1/2" = 1'-0"

REVISION MARK • DATE • DESCRIPTION

PROPOSED PROJECT

PARCEL 10 BUILDING IMPROVEMENTS FOR:

HUNT COMMUNITIES HAWAII

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE

DOOR SCHEDULE & TYPES
DETAILS

JOB NO. 20007-0000 DRAWING NO.
DRAWN DRA
CHECKED DRA
DATE DEC 2020 SHEET OF

GENERAL NOTES:

- CONFORM TO ALL REQUIREMENTS OF THE 2012 IBC, 2012 UPC, 2015 IECC AND 2012 NFPA 1 CODES OF THE CITY AND COUNTY OF HONOLULU, STATE OF HAWAII HEALTH REGULATIONS, FIRE DEPARTMENT REGULATIONS, MANUFACTURER'S RECOMMENDATIONS AND OTHER APPLICABLE REGULATIONS.
- EXAMINE ALL PROJECT PLANS AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS AND THE EXTENT OF REMOVAL, RELOCATION AND/OR NEW WORK PRIOR TO BIDDING. NOTIFY AND COORDINATE WITH THE ENGINEER FOR ANY MAJOR DEVIATIONS OR DISCREPANCIES DISCOVERED IN THE PLANS AND SPECIFICATIONS DUE TO UNFORESEEN OR VARYING FIELD CONDITIONS.
- INSTALLATION SHALL BE GUARANTEED TO BE FREE FROM DEFECTS FOR ONE YEAR FROM FINAL DATE OF ACCEPTANCE OF THE PROJECT AS A WHOLE.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BID AND CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING LINE SIZES, CONDITIONS, AND INVERTS PRIOR TO BID AND CONSTRUCTION.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER THE COMPLETE INSTALLATION OF SYSTEMS TO FUNCTION AS DESCRIBED AND SPECIFIED. THE OMISSION OF REFERENCE TO ANY NECESSARY ITEM OF LABOR OR MATERIAL SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING SUCH LABOR AND MATERIAL AT NO ADDITIONAL COST TO THE OWNER.
- PAY FOR ALL PERMITS AND APPLICATIONS.
- CAULK ALL PENETRATIONS WATERTIGHT. PROVIDE ALL CUTTING, PATCHING, AND RESTORING OF EXISTING SURFACES TO MATCH ORIGINAL SURFACE FINISHES. SPOT PAINT TO MATCH EXISTING SURFACES/COLOR.
- ALL EQUIPMENT AND FIXTURES SHALL BE CAPABLE OF FITTING INTO THE SPACES ALLOTTED WHILE MEETING THE MANUFACTURER'S RECOMMENDED ACCESS REQUIREMENTS. REVIEW ALL SPACES WHERE EQUIPMENT AND FIXTURES ARE TO BE INSTALLED PRIOR TO ORDERING OF ITEMS AND NOTIFY THE ARCHITECT/ENGINEER OF ANY INADEQUATE CLEARANCES OR CONDITIONS THAT WILL PREVENT THE PROPER INSTALLATION, MAINTENANCE, AND OPERATION OF THE EQUIPMENT AND FIXTURES.
- DRAWINGS ARE DIAGRAMMATIC IN NATURE AND DO NOT SHOW EVERY EXACT DETAIL OF PIPING AND DUCTWORK. PROVIDE OFFSETS AS NECESSARY TO AVOID LOCAL OBSTRUCTIONS OR INTERFERENCES WITH OTHER TRADES. REVIEW ALL PIPING AND DUCT RUNS PRIOR TO FABRICATION AND IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF ANY INTERFERENCES AND/OR LACK OF ADEQUATE CLEARANCES.
- SHOULD PROJECT CONDITIONS REQUIRE REARRANGEMENT OF WORK, MARK SUCH CHANGES ON THE AS-BUILT DRAWINGS. IF THESE CHANGES REQUIRE ALTERNATE METHODS TO THOSE APPROVED BY THE CONTRACT DOCUMENTS, SUBMIT SHOP DRAWINGS SHOWING THE PROPOSED ALTERNATE METHODS TO THE ARCHITECT/ENGINEER FOR REVIEW/APPROVAL PRIOR TO PROCEEDING WITH WORK.
- COORDINATE ALL WORK WHICH WILL AFFECT AREAS WITH BUILDING SUPERVISOR. SCHEDULE OFF-HOUR WORK WHEN REQUIRED TO MINIMIZE DISRUPTIONS.
- COORDINATE ALL SWITCH, THERMOSTAT, FIRE EXTINGUISHER, ETC. LOCATIONS WITH USER/ENGINEER PRIOR TO INSTALLATION TO AVOID INTERFERENCES WITH PAINTING, BULLETIN BOARDS, FURNITURE, ETC. ANY ITEM NOT PROPERLY COORDINATED SHALL BE RELOCATED AT NO ADDITIONAL COST TO THE OWNER.
- ALL ELECTRICAL AND CONTROL WIRING SHALL BE IN CONDUIT. PROVIDE GALVANIZED STEEL PIPE CONDUIT FOR EXPOSED TO WEATHER CONDUIT.
- ALL DUCT DIMENSIONS SHOWN ARE NET DIMENSIONS.
- PROVIDE DUCTWORK REDUCER FITTINGS AT AIR DEVICE CONNECTIONS AS REQUIRED.
- ALL SWITCHES, TIMECLOCKS, THERMOSTATS, AND CONTROL ITEMS SHALL BE ADA ACCESSIBLE AND SHALL BE MOUNTED AT 44" AFF AS PER ADA REQUIREMENTS OR ACCORDING TO OWNER'S INSTRUCTIONS.
- PROVIDE REBALANCING DURING ONE YEAR GUARANTEE PERIOD TO SATISFY USER'S REQUIREMENTS. CONTRACTOR SHALL PROVIDE TEST AND BALANCING REPORTS.
- COORDINATE ALL WORK WITH OTHER TRADES TO AVOID INTERFERENCES AND DELAYS.
- EXISTING PLUMBING/STORM DRAIN/CONDUITS SHALL BE REHUNG/REROUTED AS REQUIRED TO ACCOMMODATE NEW HVAC EQUIPMENT AND DUCTWORK. VERIFY ALL WASTE AND WATER INVERTS, LOCATIONS, SIZES, AND CONDITIONS OF PIPING.
- SEISMICALLY BRACE ALL EQUIPMENT, PIPING, AND DUCTWORK IN ACCORDANCE WITH THE CURRENT BUILDING CODE AND THEIR RESPECTIVE SEISMIC ZONE LOCATIONS.
- TONE AND LOCATE ALL UTILITY LINES OR OTHER INTERFERENCES IN AREAS OF PROPOSED TRENCH WORK PRIOR TO START OF EXCAVATION. REPAIR OR PAY FOR ALL DAMAGES TO EXISTING UTILITIES.
- PROVIDE DIELECTRIC UNIONS OR SEPARATIONS AT ALL DISSIMILAR METALS. PROVIDE UNIONS AFTER ALL SHUTOFF VALVES
- PROVIDE ACCESS PANELS FOR ALL ITEMS UNDER THIS SECTION REQUIRING SERVICING, INSPECTION, MAINTENANCE, AND ADJUSTMENT.
- PROVIDE ESCUTCHEON PLATES AT ALL EXPOSED WALL PENETRATIONS IN FINISHED AREAS, EXTERIOR WALL, ETC.
- AFTER CONNECTION OF NEW FIXTURES TO WASTE, CLEANOUT/SNAKE EXISTING LINES FOR PROPER OPERATION.

FIRE SPRINKLER GENERAL NOTES:

- THE ENTIRE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE BUILDING CODE OF THE CITY & COUNTY OF HONOLULU, STATE DEPARTMENT OF HEALTH REGULATIONS, UNIFORM PLUMBING CODE, UNIFORM FIRE CODE, NATIONAL ELECTRICAL CODE, HAWAII STATE MODEL ENERGY CODE, AND ALL OTHER AGENCIES HAVING JURISDICTION.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER THE COMPLETE INSTALLATION OF SYSTEMS TO FUNCTION AS DESCRIBED AND SPECIFIED. THE OMISSION OF REFERENCE TO ANY NECESSARY ITEM OF LABOR OR MATERIAL SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING SUCH LABOR AND MATERIAL.
- ALL EQUIPMENT SHALL BE CAPABLE OF FITTING INTO THE SPACES ALLOCATED WHILE MEETING THE MANUFACTURER'S RECOMMENDED ACCESS REQUIREMENTS. REVIEW ALL SPACES WHERE EQUIPMENT IS TO BE INSTALLED PRIOR TO ORDERING OF EQUIPMENT AND NOTIFY THE ENGINEER OF ANY INADEQUATE CLEARANCES OR CONDITIONS THAT WILL PREVENT THE PROPER INSTALLATION, MAINTENANCE, AND OPERATION OF THE EQUIPMENT.
- OBTAIN APPROVAL FROM THE ARCHITECT BEFORE MAKING ANY PENETRATIONS THROUGH STRUCTURAL MEMBERS, WALLS, AND SLABS.
- REPAIR ANY DAMAGE TO EXISTING CONSTRUCTION RESULTING FROM THE INSTALLATION OF FIRE SPRINKLER ITEMS. THE AREAS REPAIRED SHALL MATCH THE ADJACENT SURFACES IN TEXTURE AND COLOR.
- STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF 2012 NFPA 1.
- 50.4.4.1 FIRE EXTINGUISHING EQUIPMENT SHALL INCLUDE BOTH AUTOMATIC FIRE-EXTINGUISHING SYSTEMS AS PRIMARY PROTECTION AND PORTABLE FIRE EXTINGUISHERS AS SECONDARY BACKUP. 2012 NFPA 1, CHAPTER 50.

BWS NOTES

- BUILDING IS SERVED BY KALAELOA WATER COMPANY FOR THE DOMESTIC WATER

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE

MECHANICAL CODE ZPRB (LAND USE ORDINANCE)

STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

MECHANICAL LEGEND

SYMBOL	ABBREV.	DESCRIPTION	SYMBOL	ABBREV.	DESCRIPTION
GENERAL			PLUMBING		
	AFF	ABOVE FINISHED FLOOR		WHA	WATER HAMMER ARRESTOR
	AP	ACCESS PANEL		WCO	WALL CLEANOUT
	BFF	BELOW FINISHED FLOOR		HWR	HOT WATER RETURN
	CLG	CEILING		CP	CIRCULATION PUMP
	DN	DOWN			
	EA	EACH			
(E)	EXIST	EXISTING (TO REMAIN)			
	FLR	FLOOR			HVAC
(N)	NEW			ACCU	AIR COOLED CONDENSING UNIT
(R)	REMOVE			AHU	AIR HANDLER UNIT
	POC	POINT OF CONNECTION		CD	CONDENSATE DRAIN
	POR	POINT OF REMOVAL		CFM	CUBIC FEET PER MINUTE
	TYP	TYPICAL		DT	DUCT
	W/	WITH		EXH	EXHAUST
PLUMBING			<input checked="" type="checkbox"/>	EAR	EXHAUST AIR REGISTER
	ALAV	ACCESSIBLE LAVATORY		EF	EXHAUST FAN
	AWC	ACCESSIBLE WATER CLOSET		EVP.	EVAPORATOR
	AUR	ACCESSIBLE URINAL		FCU	FAN COIL UNIT
	COTG	CLEAN OUT TO GRADE		OBVD	OPPOSED BLADE VOLUME DAMPER
	CW	COLD WATER		SAD	SUPPLY AIR DIFFUSER
	EWC	ELECTRIC WATER COOLER		T'STAT	THERMOSTAT
	FCO	FLOOR CLEANOUT			
	FIN FL	FINISHED FLOOR			
	GPD	GALLONS PER DAY			
	GPM	GALLONS PER MINUTE			FIRE PROTECTION
	HW	HOT WATER	<input checked="" type="checkbox"/>	FE	FIRE EXTINGUISHER
	LAV	LAVATORY		FS	FIRE SPRINKLER
	S	SANITARY	<input checked="" type="checkbox"/>		PENDANT SPRINKLER HEAD
	SK	SINK	<input checked="" type="checkbox"/>		UPRIGHT SPRINKLER HEAD
	TP	TRAP PRIMER	<input checked="" type="checkbox"/>		CONCEALED SPRINKLER HEAD
	UR	URINAL		FDC	FIRE DEPARTMENT CONNECTION
	V	VENT			
	VTR	VENT THRU ROOF			
	FCO	FLOOR CLEAN OUT			
	FD	FLOOR DRAIN			
	FS	FLOOR SINK			
	SOV	SHUT OFF VALVE			
	WC	WATER CLOSET			

CITY AND COUNTY OF HONOLULU
REVISED ORDINANCES OF HONOLULU 1990
CHAPTER 32

TO THE BEST OF MY KNOWLEDGE, THIS PROJECT'S DESIGN SUBSTANTIALLY CONFORMS TO THE BUILDING ENERGY CONSERVATION CODE FOR:

_____ BUILDING COMPONENT SYSTEMS

_____ ELECTRICAL COMPONENT SYSTEMS

MECHANICAL COMPONENT SYSTEMS

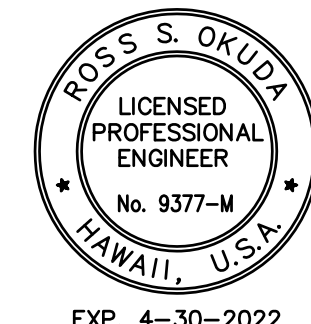
SIGNATURE: *R. O. A. S.*

NAME: ROSS S. OKUDA

TITLE: PRESIDENT

PE #: 9377-M

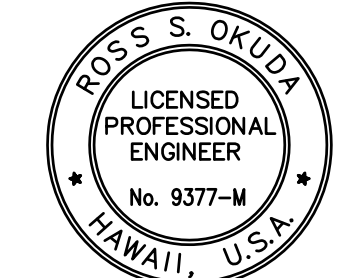
DATE: 1/25/2021



DRA
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905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287



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R. O. A. S.

LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES

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REVISION MARK • DATE • DESCRIPTION

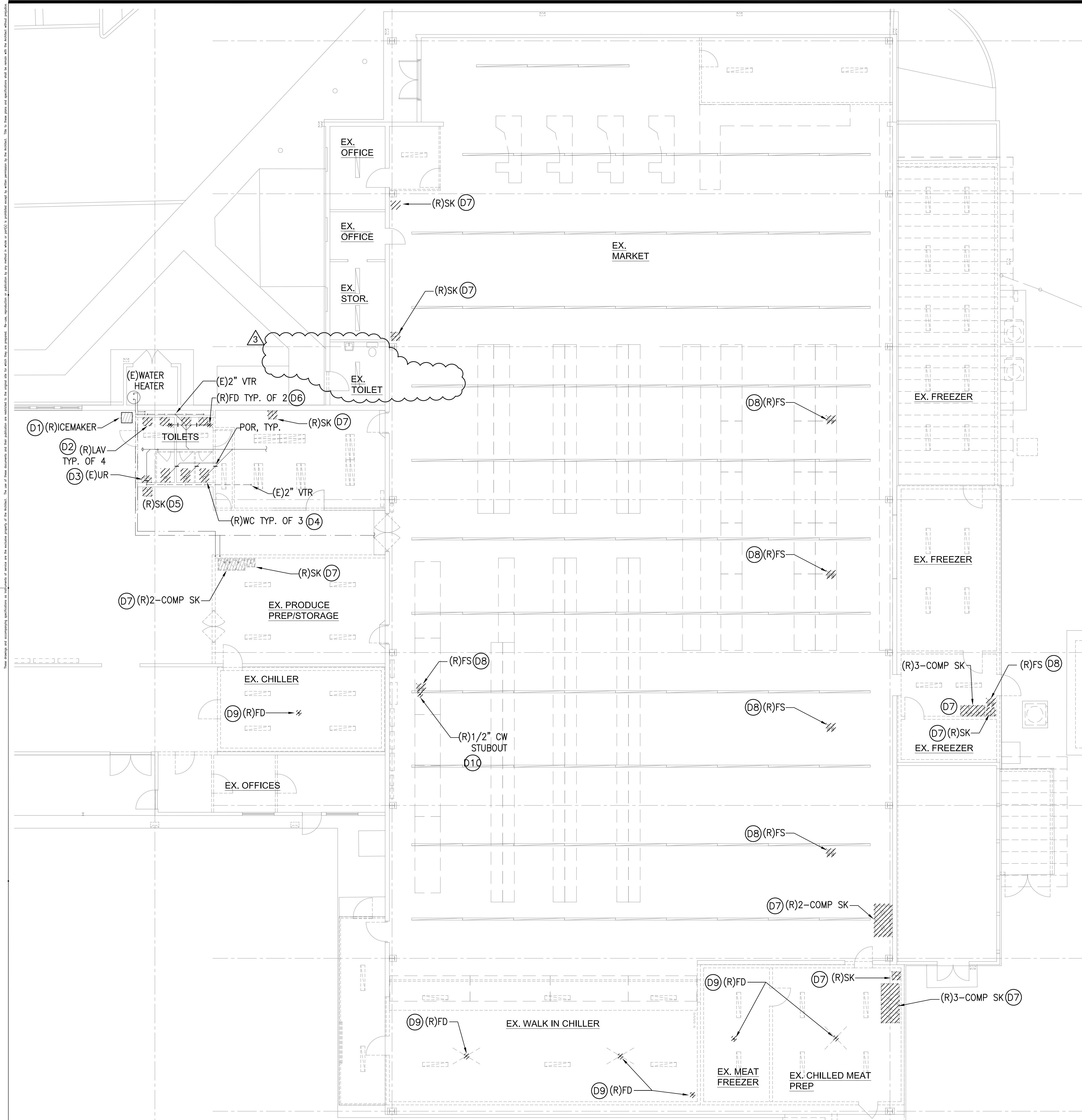
PROPOSED
**BUILDING ALTERATIONS
TO BUILDING 152
FOR:
HUNT
COMPANIES**

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
GENERAL NOTES, LEGEND, AND ENERGY COMPLIANCE

JOB NO. 20007-0000 DRAWING NO.
DRAWN MEI
CHECKED RSO
DATE DEC 2020 SHEET OF

M001

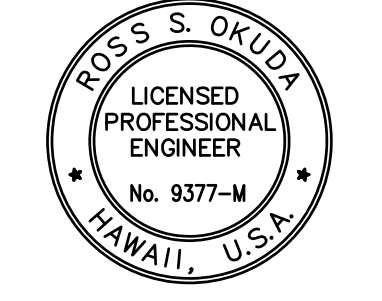


PALEKANA PERMITS THIRD PARTY CERTIFICATION			
<input type="checkbox"/>	BUILDING CODE	<input type="checkbox"/>	ELECTRICAL CODE
<input type="checkbox"/>	MECHANICAL CODE	<input type="checkbox"/>	ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/>	STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)		

DEMOLITION NOTES:

- (D1) REMOVE EXISTING ICEMAKER COMPLETE. CUT AND CAP WASTE AND WATER PIPING AT WALL. REMOVE ALL EXPOSED PIPING. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (D2) REMOVE EXISTING LAVATORY COMPLETE. REMOVE WASTE, VENT, WATER PIPING. MODIFY AS REQUIRED FOR INSTALLATION OF NEW FIXTURE. CONTRACTOR TO FIELD VERIFY.
- (D3) REMOVE EXISTING URINAL COMPLETE. REMOVE WASTE, VENT, WATER PIPING. MODIFY AS REQUIRED FOR INSTALLATION OF NEW FIXTURE. CONTRACTOR TO FIELD VERIFY.
- (D4) REMOVE EXISTING WATER CLOSET COMPLETE. REMOVE WASTE, VENT, WATER PIPING. MODIFY AS REQUIRED FOR INSTALLATION OF NEW FIXTURE. CONTRACTOR TO FIELD VERIFY.
- (D5) REMOVE EXISTING SINK COMPLETE. REMOVE WASTE, VENT, WATER PIPING. MODIFY AS REQUIRED FOR INSTALLATION OF NEW FIXTURE. CONTRACTOR TO FIELD VERIFY.
- (D6) REMOVE EXISTING FLOOR DRAIN COMPLETE. REMOVE WASTE, VENT PIPING. MODIFY AS REQUIRED FOR INSTALLATION OF NEW FIXTURE. CONTRACTOR TO FIELD VERIFY.
- (D7) REMOVE EXISTING SINK, 2-COMP SINK, AND 3-COMP SINK COMPLETE. CUT AND CAP WASTE AND VENT PIPING BELOW FLOOR. CUT AND CAP WATER PIPING AT WALL. REMOVE ALL EXPOSED PIPING. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (D8) REMOVE EXISTING FLOOR SINK COMPLETE. CUT AND CAP WASTE AND VENT PIPING BELOW FLOOR. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (D9) REMOVE EXISTING FLOOR DRAIN COMPLETE. CUT AND CAP WASTE AND VENT PIPING BELOW FLOOR. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (D10) REMOVE EXISTING COLD WATER STUBOUT AND CAP BELOW FLOOR. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.

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R. S. Okuda
LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES

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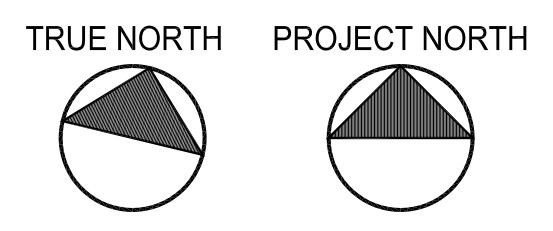
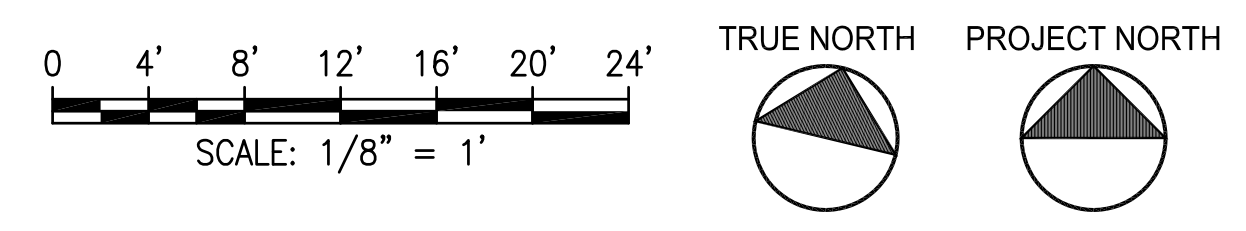
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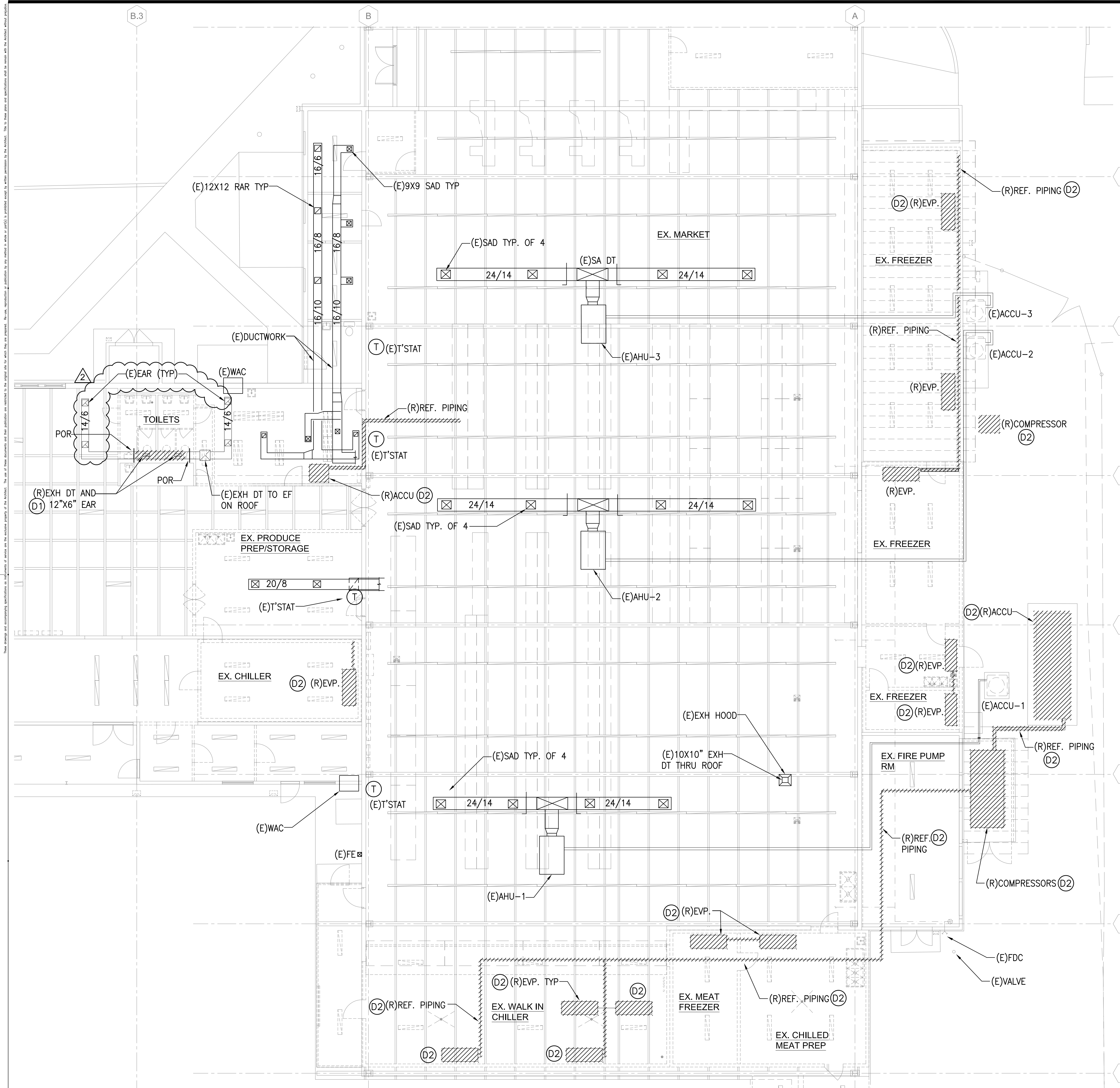
PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
PLUMBING DEMOLITION FLOOR PLAN

JOB NO. 20007-0000	DRAWING NO.
DRAWN MEI	MD100
CHECKED RSO	SHEET OF
DATE DEC 2020	

1 PLUMBING DEMOLITION FLOOR PLAN
MD100 SCALE: 1/8" = 1' - 0"





PALEKANA PERMITS
THIRD PARTY CERTIFICATION

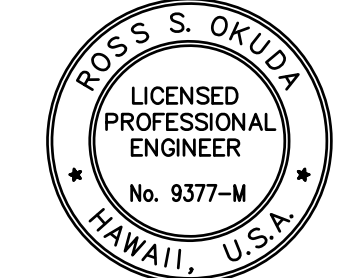
- BUILDING CODE
- ELECTRICAL CODE
- MECHANICAL CODE
- ZPRB (LAND USE ORDINANCE)
- STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

DEMOLITION NOTES:

NOTE: CONTRACTOR TO FIELD VERIFY DEMO EVAPORATOR IS CONNECTED TO DEMO COMPRESSOR/DEMO ACCU.

- (D1) REMOVE EXISTING EXHAUST DUCT AND AIR DEVICE UP TO POR COMPLETE. CUT AND MODIFY DUCTWORK AS REQUIRED FOR INSTALLATION OR NEW EXHAUST AIR REGISTER. CONTRACTOR TO FIELD VERIFY.
- (D2) REMOVE EXISTING REFRIGERATION SYSTEM COMPLETELY, INCLUDING EVAPORATOR, REFRIGERANT PIPING, CONDENSATE PIPING, COMPRESSOR, CONTROLS AND ACCESSORIES. REMOVE CONDENSING UNIT CONCRETE PAT. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.

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Road
LICENSE EXPIRES: 30 APRIL 2022

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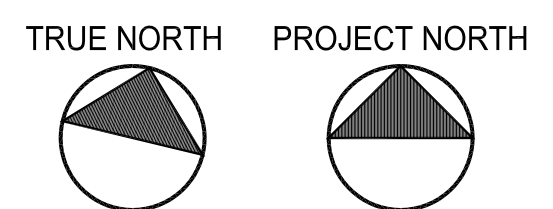
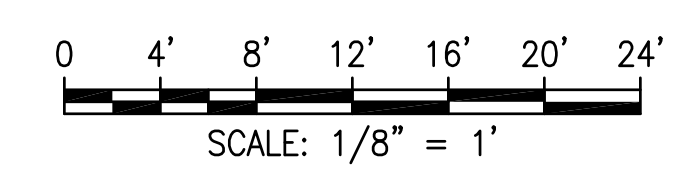
REVISION MARK	DATE	DESCRIPTION
2	04/15/21	TPR COMMENTS

PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
MECHANICAL DEMOLITION PLAN

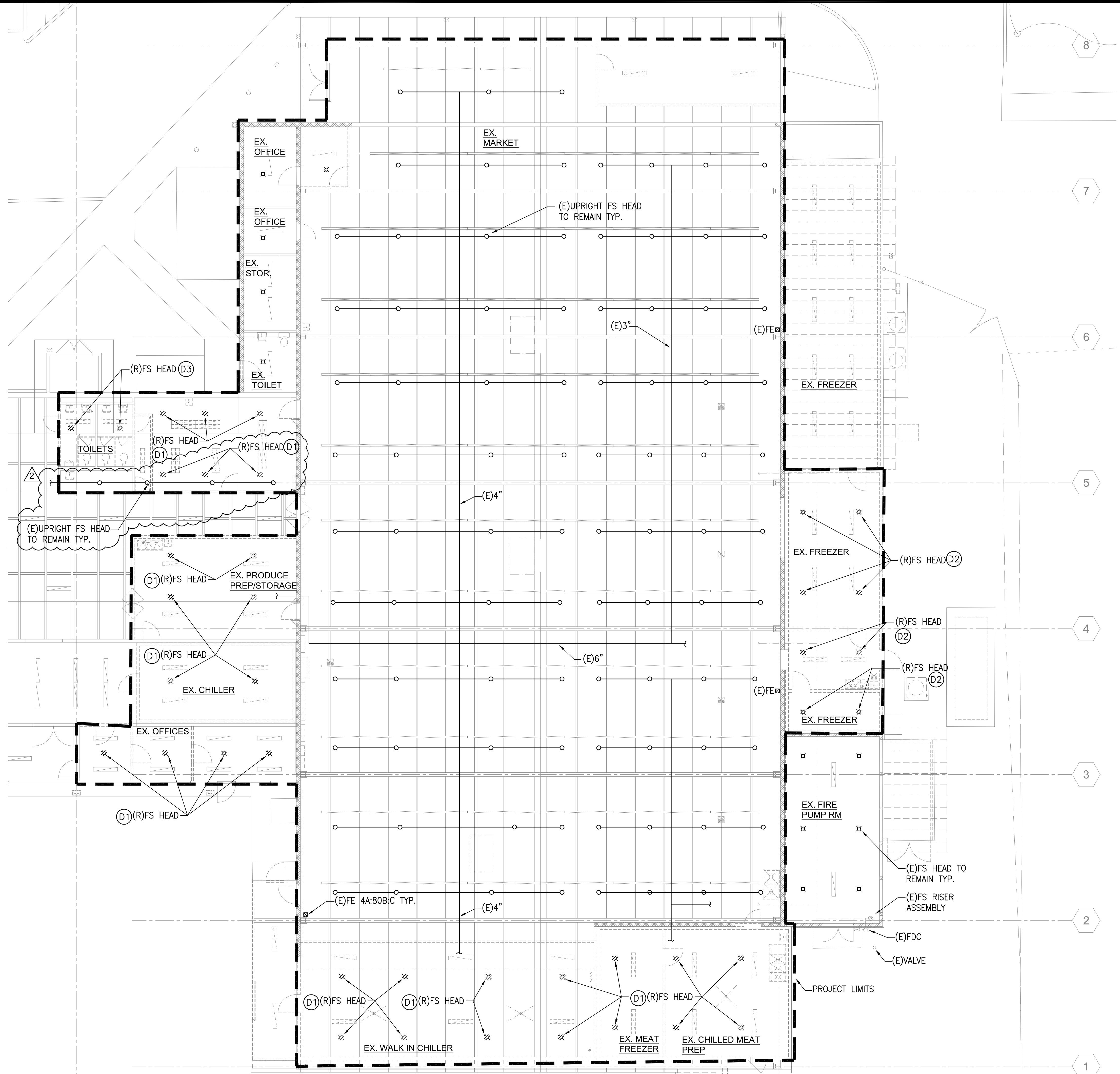
JOB NO. 20007-0000	DRAWING NO.
DRAWN MEI	MD101
CHECKED RSO	SHEET OF
DATE DEC 2020	

MECHANICAL DEMOLITION PLAN
SCALE: 1/8" = 1' - 0"



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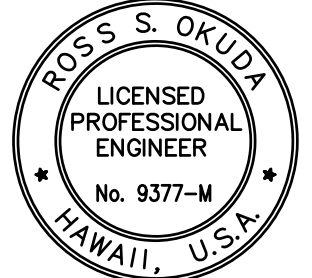
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<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



DEMOLITION NOTES:

- (D1) REMOVE EXISTING FIRE SPRINKLER HEAD AND FIRE SPRINKLER PIPING AS REQUIRED TO PROVIDE NEW UPRIGHT FIRE SPRINKLER HEAD.
- (D2) REMOVE EXISTING FIRE SPRINKLER HEADS COMPLETE. CUT AND CAP EXIST FIRE SPRINKLER PIPING AS REQUIRED.
- (D3) REMOVE EXISTING FIRE SPRINKLER HEAD COMPLETE. MODIFY EXIST FIRE SPRINKLER PIPING AS REQUIRED TO INSTALL NEW CONCEALED PENDANT TYPE FIRE SPRINKLER HEAD AT NEW LOCATION SHOWN ON NEW FIRE SPRINKLER PLAN.

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License Expires: 30 APRIL 2022

GENERAL NOTES

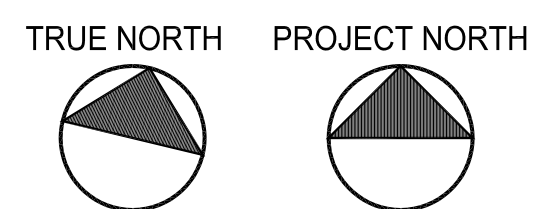
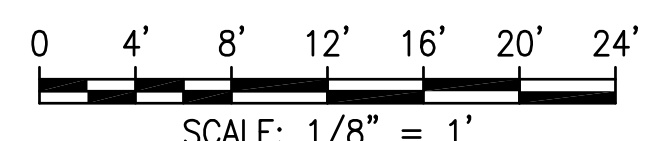
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REVISION MARK	DATE	DESCRIPTION
2	04/15/21	TPR COMMENTS

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII
 91-1057 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

SHEET TITLE
 FIRE SPRINKLER DEMOLITION PLAN

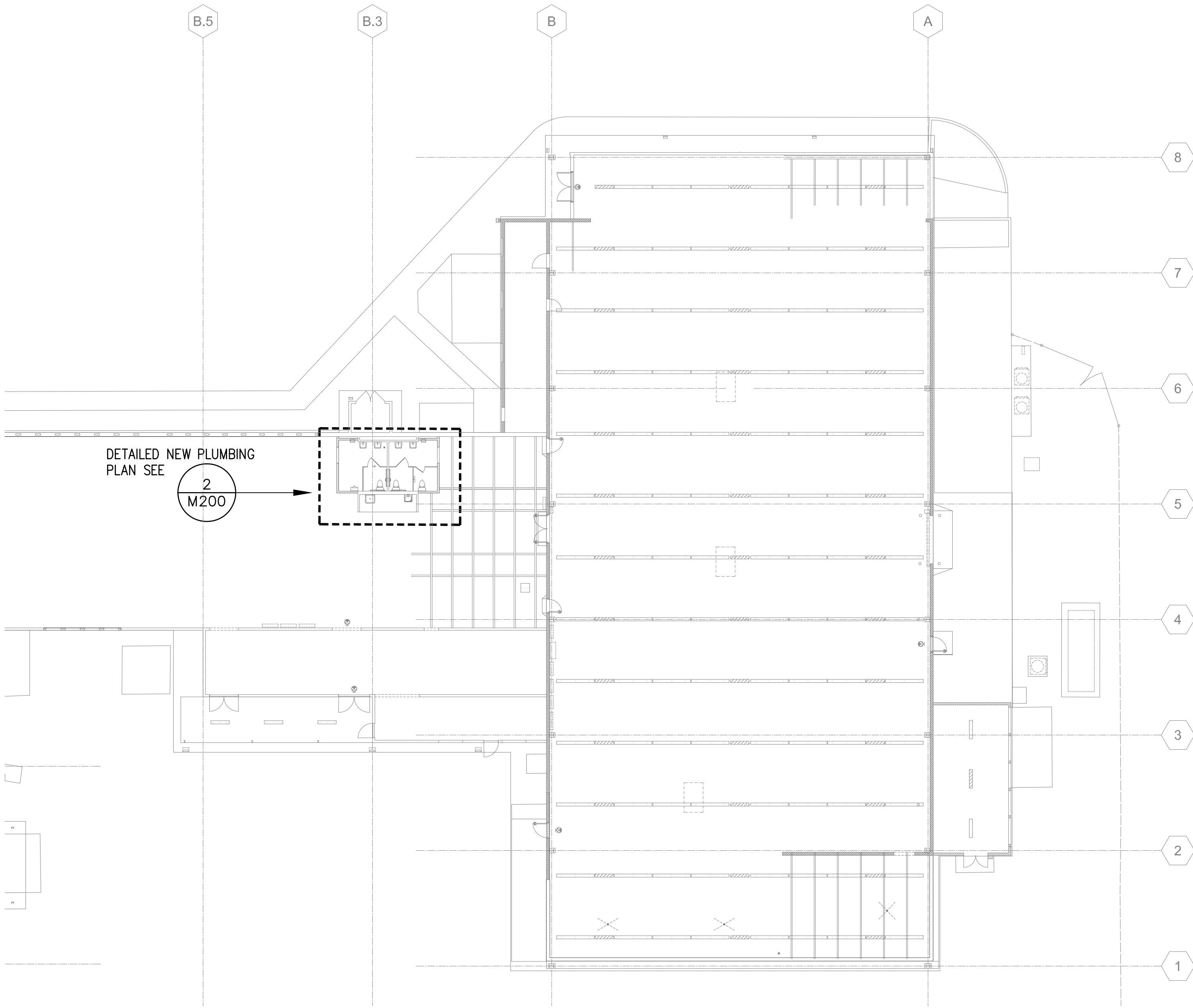


1 FIRE SPRINKLER DEMOLITION FLOOR PLAN
 MD102 SCALE: 1/8" = 1' - 0"

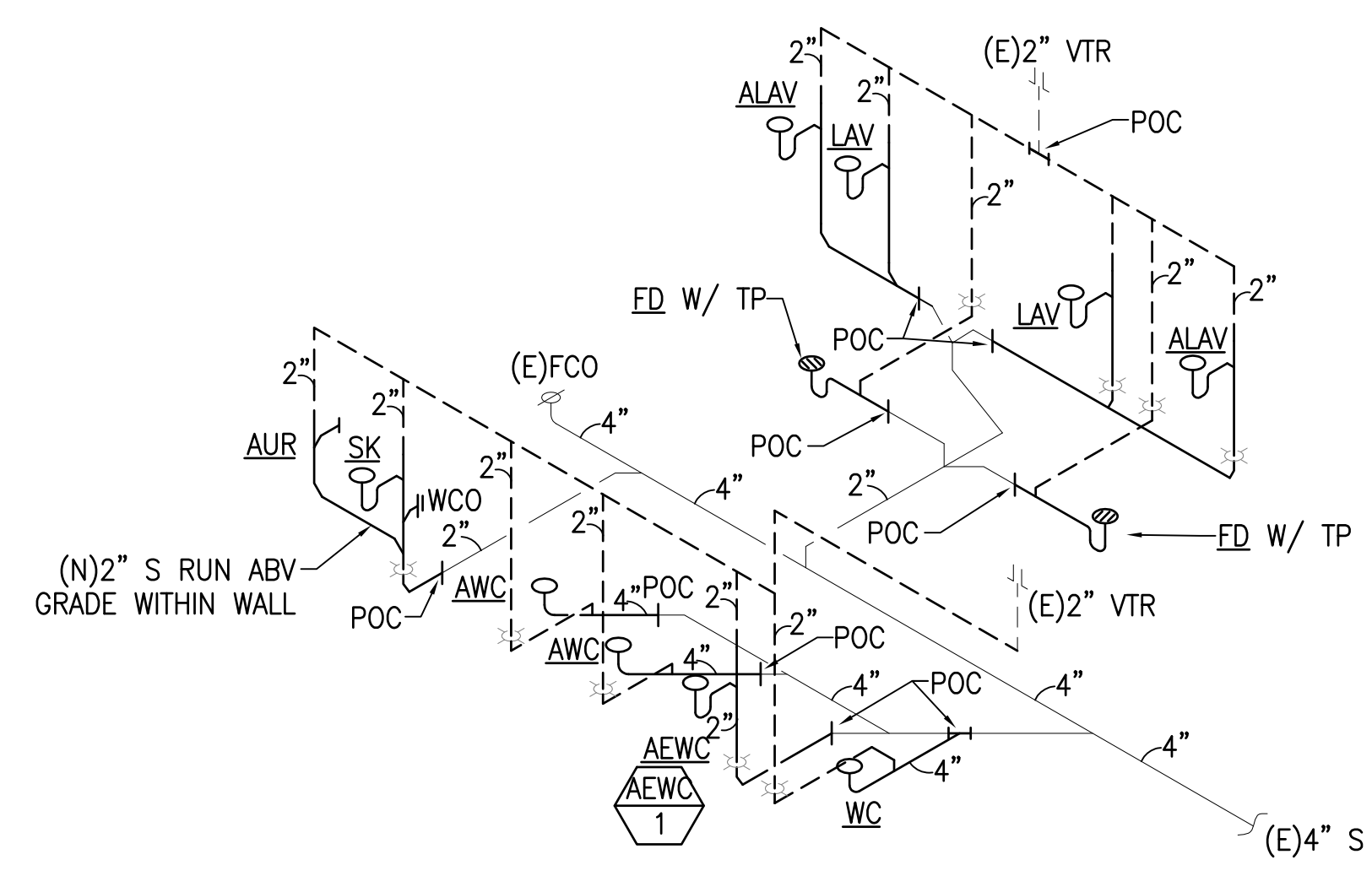
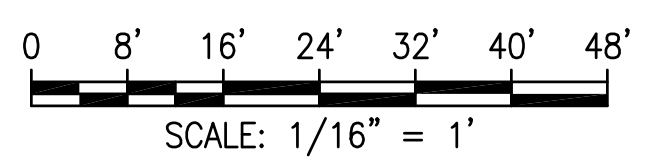
JOB NO. 20007-0000	DRAWING NO.
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CHECKED RSO	MD102
DATE DEC 2020	SHEET OF

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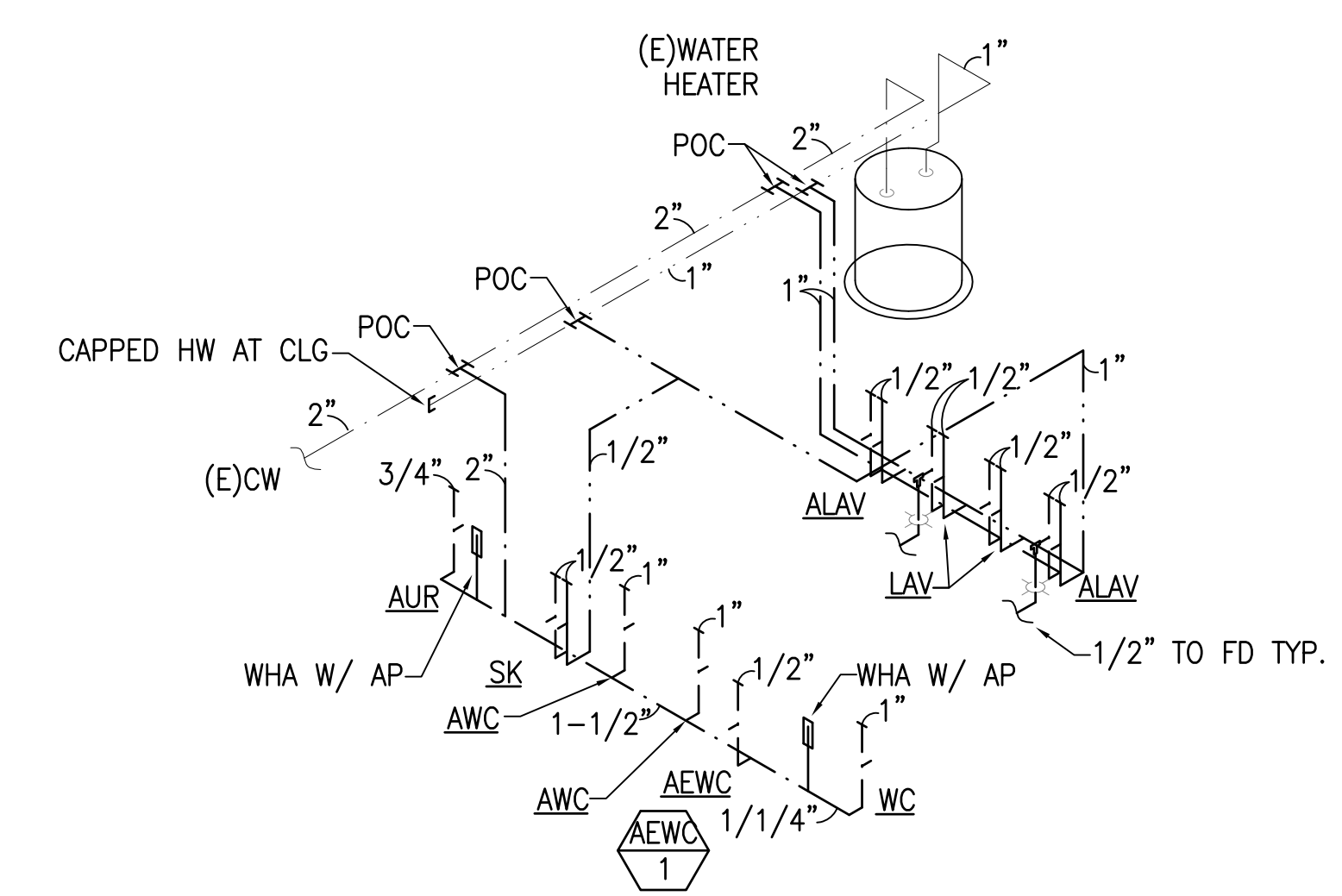
PALEKANA PERMITS
 THIRD PARTY CERTIFICATION
 BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



1 OVERALL NEW PLUMBING FLOOR PLAN
 M200 SCALE: 1/16" = 1' - 0"



3 SANITARY PIPING DIAGRAM
 M200 NOT TO SCALE

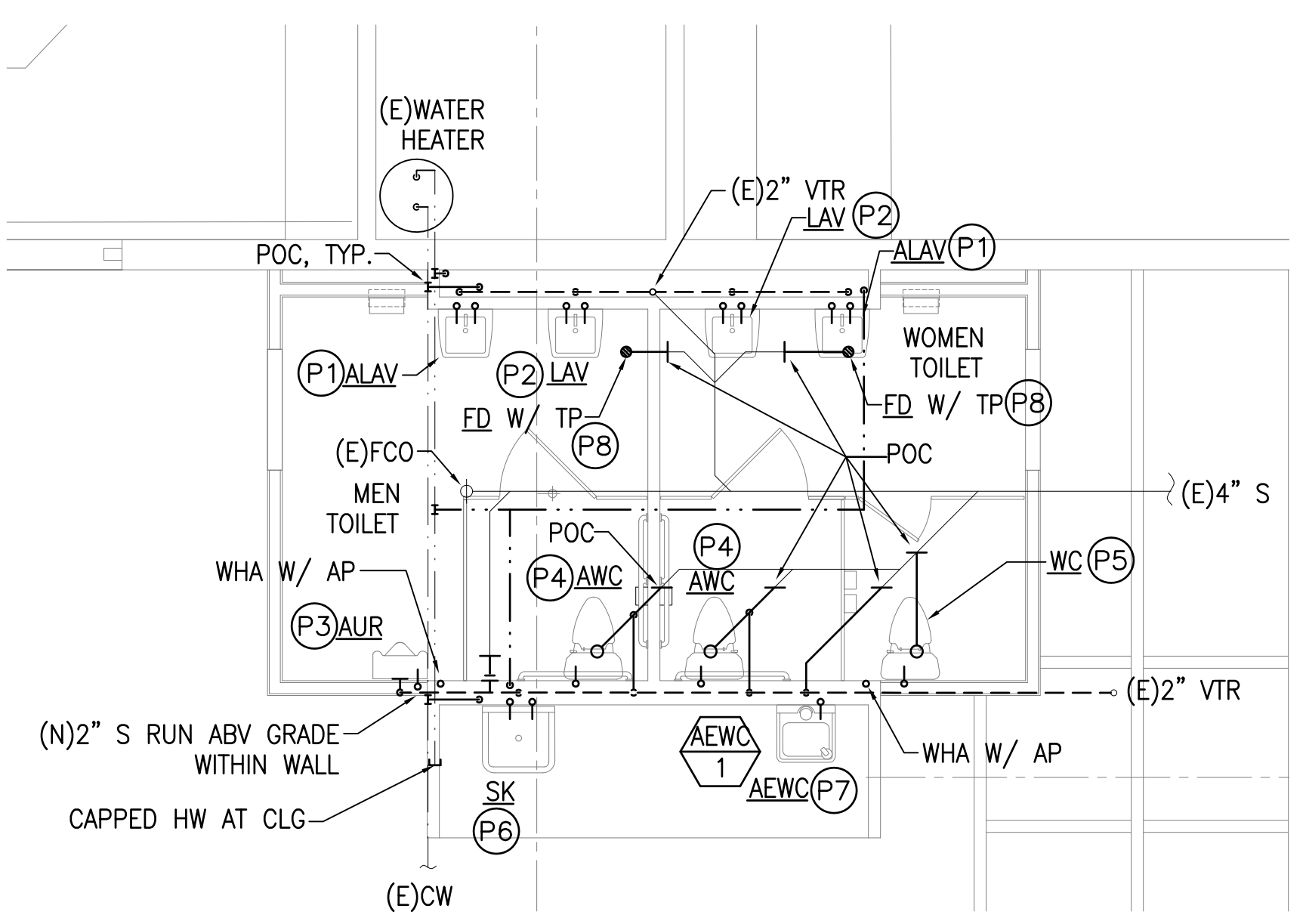


4 WATER PIPING DIAGRAM
 M200 NOT TO SCALE

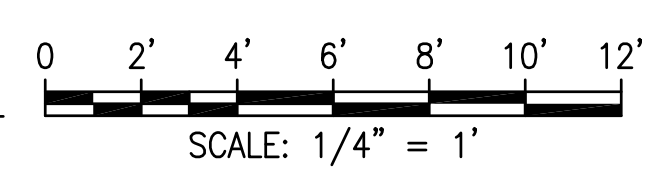
NEW PLUMBING WORK NOTES:

NOTE: CONTRACTOR TO EXCAVATE AND FIELD VERIFY THE LINE SIZE, CONDITION, AND INVERT OF THE EXISTING SEWER LINE AT POC AND REPORT FINDING TO THE ARCH/ENGINEER PRIOR TO START OF ANY WORK.

- (P1) PROVIDE NEW ACCESSIBLE LAVATORY COMPLETE. PROVIDE NEW SANITARY, VENT, AND WATER PIPING AS REQUIRED TO CONNECT TO EXISTING PLUMBING LINES. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (P2) PROVIDE NEW LAVATORY COMPLETE. PROVIDE NEW SANITARY, VENT, AND WATER PIPING AS REQUIRED TO CONNECT TO EXISTING PLUMBING LINES. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (P3) PROVIDE NEW ACCESSIBLE URINAL COMPLETE. PROVIDE NEW SANITARY, VENT, AND WATER PIPING AS REQUIRED TO CONNECT TO EXISTING PLUMBING LINES. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (P4) PROVIDE NEW ACCESSIBLE WATER CLOSET COMPLETE. PROVIDE NEW SANITARY, VENT, AND WATER PIPING AS REQUIRED TO CONNECT TO EXISTING PLUMBING LINES. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (P5) PROVIDE NEW WATER CLOSET COMPLETE. PROVIDE NEW SANITARY, VENT, AND WATER PIPING AS REQUIRED TO CONNECT TO EXISTING PLUMBING LINES. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (P6) PROVIDE NEW SINK COMPLETE. PROVIDE NEW SANITARY, VENT, AND WATER PIPING AS REQUIRED TO CONNECT TO EXISTING PLUMBING LINES. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (P7) PROVIDE NEW ACCESSIBLE ELECTRIC WATER COOLER COMPLETE. PROVIDE NEW SANITARY, VENT, AND WATER PIPING AS REQUIRED TO CONNECT TO EXISTING PLUMBING LINES. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (P8) PROVIDE NEW FLOOR DRAIN WITH TRAP PRIMER COMPLETE. PROVIDE NEW SANITARY, VENT, AND WATER PIPING AS REQUIRED TO CONNECT TO EXISTING PLUMBING LINES. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.

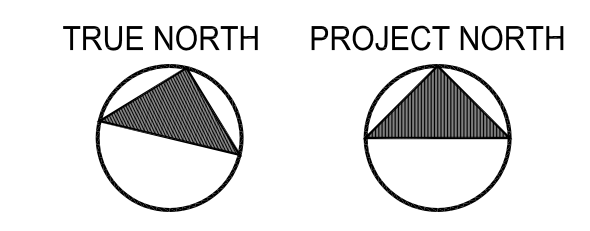


2 DETAILED NEW PLUMBING FLOOR PLAN
 M200 SCALE: 1/4" = 1' - 0"

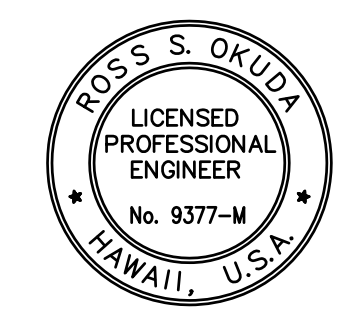


ELECTRIC WATER COOLER SCHEDULE

UNIT NO.	MAKE AND MODEL OR APPROVED EQUAL	LOCATION	ELECTRICAL				REMARKS
			V	Ø	Hz	FLA	
AEWC 1	ELKAY LZSBSWLK	HALLWAY	115	1	60	1	IN-WALL BOTTLE FILLING STATION. PROVIDE WITH WALL CARRIER AND ACCESSORIES.



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License Expires: 30 APRIL 2022

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REVISION MARK • DATE • DESCRIPTION

PROPOSED
BUILDING ALTERATIONS TO BUILDING 152 FOR: HUNT COMPANIES
 91-1057 ENTERPRISE AVENUE KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

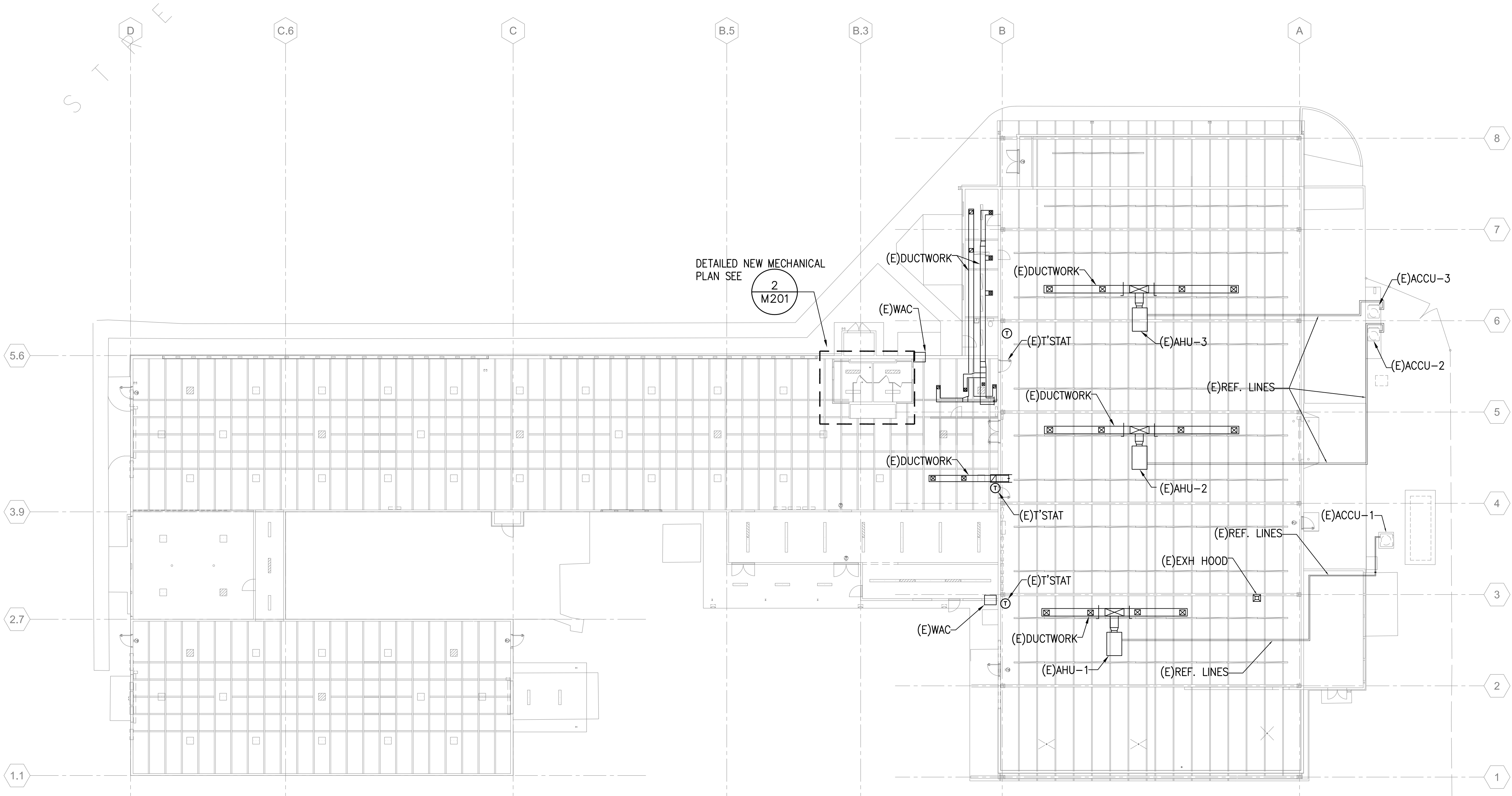
SHEET TITLE
 NEW PLUMBING PLAN
 WATER AND SANITARY PIPING DIAGRAMS

JOB NO. 20007-0000 DRAWING NO. M200
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 DATE DEC 2020 SHEET OF

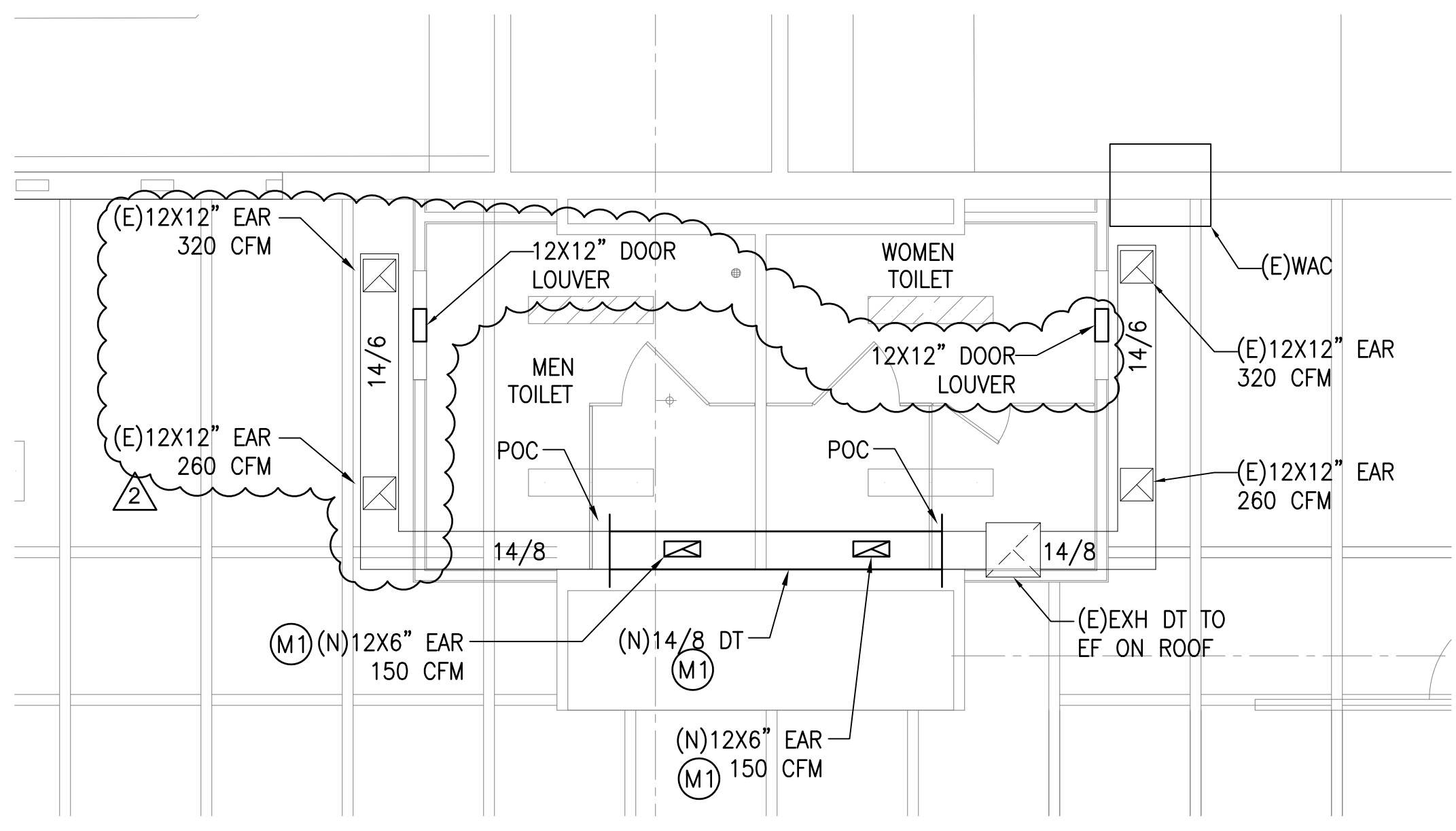
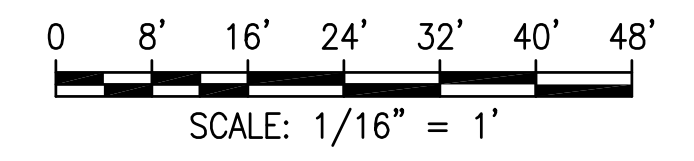
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PALEKANA PERMITS
THIRD PARTY CERTIFICATION

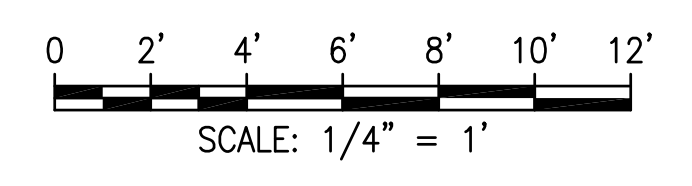
BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



1 OVERALL NEW MECHANICAL FLOOR PLAN
SCALE: 1/16" = 1' - 0"



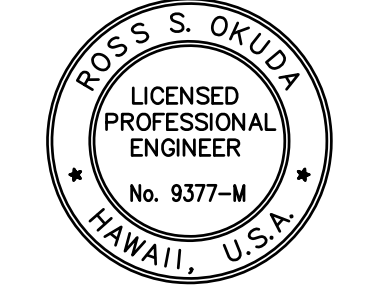
2 NEW MECHANICAL PLAN
SCALE: 1/4" = 1' - 0"



NEW MECHANICAL WORK NOTES:

- (M1) PROVIDE NEW EXHAUST AIR REGISTER AND DUCTWORK AS REQUIRED TO CONNECT TO EXISTING DUCT. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE.

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R. Okuda
LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES

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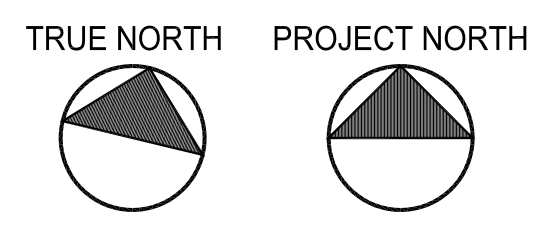
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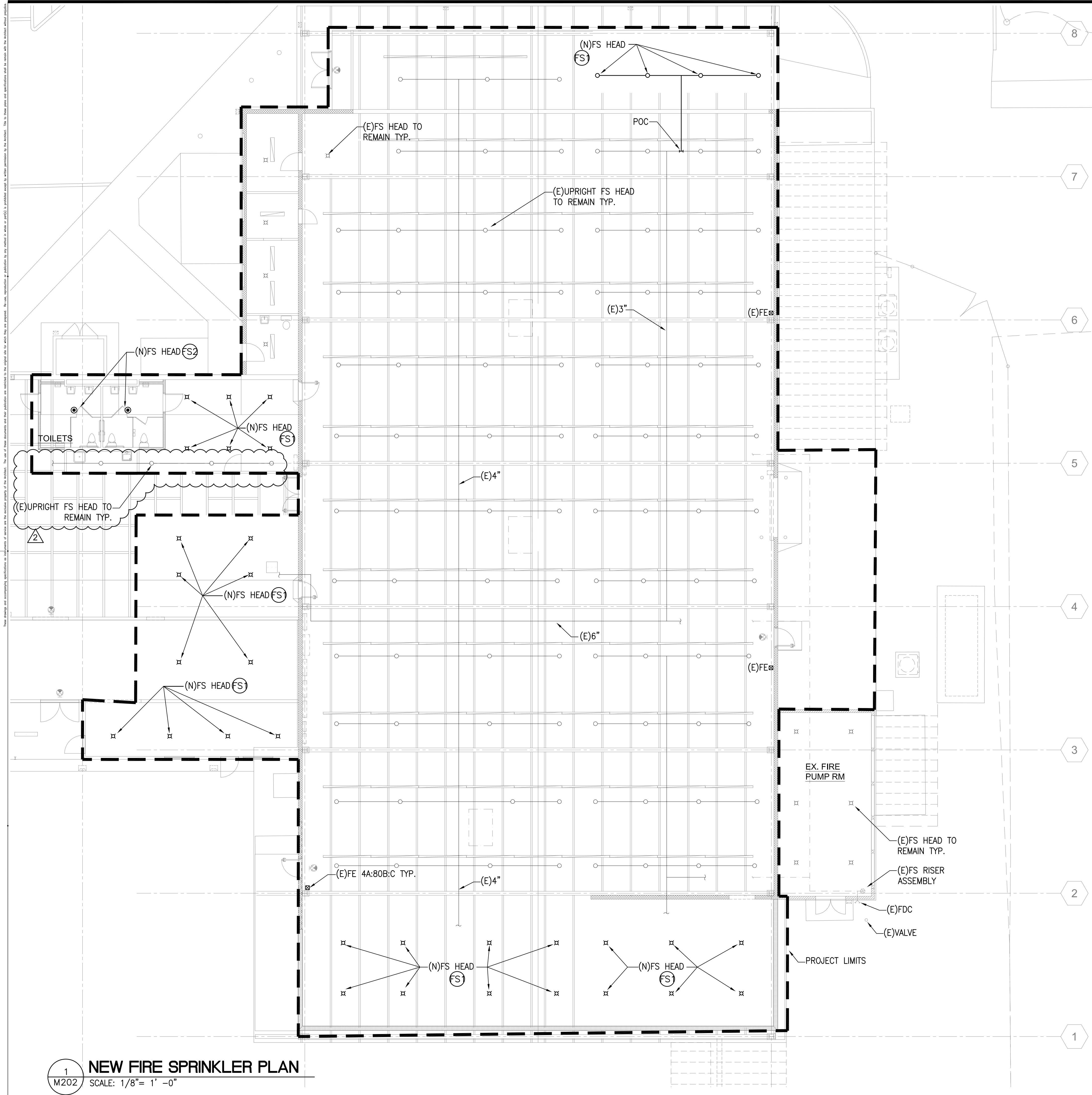
REVISION MARK	DATE	DESCRIPTION
2	04/15/21	TPR COMMENTS

PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII**
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

NEW MECHANICAL PLAN SHEET TITLE

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DATE DEC 2020	





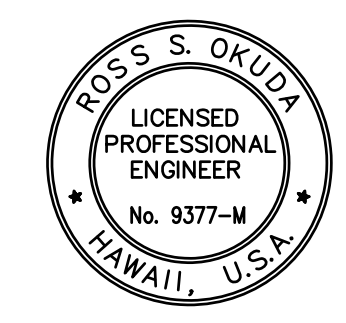
PALEKANA PERMITS
THIRD PARTY CERTIFICATION

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<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

FIRE SPRINKLER NOTES:

- (FS) PROVIDE NEW FIRE SPRINKLER HEAD AND FIRE SPRINKLER PIPING AS REQUIRED.
- (FS2) PROVIDE AND INSTALL NEW CONCEALED PENDANT TYPE FIRE SPRINKLER HEAD AT LOCATION SHOWN. PROVIDE FIRE SPRINKLER PIPING AS REQUIRED.

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HONOLULU, HAWAII 96826
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R. S. Okuda
LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES

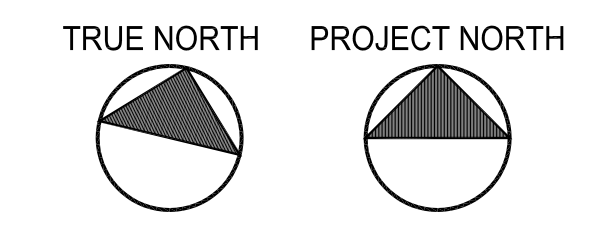
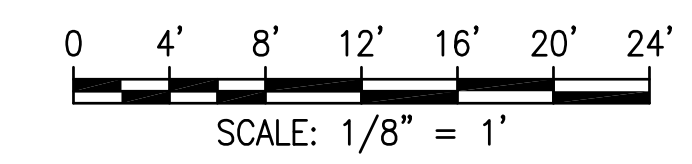
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REVISION MARK	DATE	DESCRIPTION
2	04/15/21	TPR COMMENTS

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
NEW FIRE SPRINKLER PLAN



1
M202 SCALE: 1/8" = 1' - 0"

NEW FIRE SPRINKLER PLAN

JOB NO. 20007-0000	DRAWING NO.
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CHECKED RSO	M202
DATE DEC 2020	SHEET OF

MECHANICAL SPECIFICATIONS

SECTION 15A – GENERAL

- INSTALLATION AND WORKMANSHIP: ALL WORKMANSHIP SHALL BE OF THE HIGHEST STANDARD. ALL PIPING SHALL BE LAID OUT TO INSURE A NEAT, SYSTEMATIC AND ORDERLY ARRANGEMENT OF ALL WORK. ALL PLUMBING INSTALLED SHALL COMPLY WITH THE UNIFORM PLUMBING CODE, FIRE DEPARTMENT REGULATIONS, THE REGULATIONS OF THE DEPARTMENT OF HEALTH, OF THE STATE OF HAWAII, OSHA, NATIONAL FIRE CODES AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER WORK IN THIS SECTION. WHERE NOTED, FIXTURES SHALL COMPLY WITH ALL APPLICABLE ADA STANDARDS.
- GENERAL REQUIREMENTS: IT IS THE INTENT OF THE PLANS AND SPECIFICATIONS TO PROVIDE A COMPLETE INSTALLATION. SHOULD THERE BE OMISSIONS OR DISCREPANCIES IN THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE ENGINEER TO SUCH OMISSIONS AND DISCREPANCIES IN ADVANCE OF CONSTRUCTION SO THAT THE NECESSARY CORRECTIONS CAN BE MADE, OTHERWISE THE CONTRACTOR SHALL FURNISH AND INSTALL THE OMISSIONS OR DISCREPANCIES AS IF THE SAME WERE SPECIFIED AND PROVIDED FOR.
 - STANDARDS:
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH UPC 2012, IBC 2012, IECC 2015, NFPA 1 2012, HAWAII FIRE DEPARTMENT REGULATIONS, LANDLORD REQUIREMENT, AND ALL APPLICABLE ORDINANCES AND CODES OF THE COUNTY OF HAWAII.
 - CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENSES, AND CERTIFICATES AND PAY FOR ALL FEES.
 - DRAWINGS AND SPECIFICATIONS:
 - CONTRACT DRAWINGS: MECHANICAL PLANS ARE ESSENTIALLY DIAGRAMMATIC, SHOWING LOCATIONS OF PIPES AND OTHER MECHANICAL EQUIPMENT. WHERE LOCATIONS ARE NOT DIMENSIONED, THEY ARE APPROXIMATE, AND BEFORE INSTALLING, THE CONTRACTOR SHALL STUDY THE EXISTING CONDITIONS AND MAKE THE INSTALLATION IN THE MOST LOGICAL MANNER.
 - SHOP DRAWINGS: AS SOON AS PRACTICAL AND WITHIN THIRTY (30) DAYS AFTER AWARD OF CONTRACT AND BEFORE COMMENCEMENT OF INSTALLATION OF ANY MATERIALS, SIX (6) SETS OF MATERIAL SUBMITTALS AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. SUBMITTALS SHALL CONSIST OF A COMPLETE LIST OF MATERIALS. SHOP DRAWINGS SHALL CONTAIN ALL PIPING, DUCTWORK, EQUIPMENT, HANGERS, VALVES, AND SPECIALTIES. ALLOW FOR SERVICE CLEARANCES AS RECOMMENDED BY EQUIPMENT MANUFACTURER.
 - RECORD DRAWINGS: CONTRACTOR SHALL KEEP A SET OF DRAWINGS AVAILABLE AT THE JOBSITE ON WHICH ALL CHANGES AND ADDITIONS IN THE MECHANICAL WORK ARE SHOWN.
 - WORK AREA SHALL BE CLEANED OF DEBRIS AT THE END OF EACH DAY.

GUARANTEE

 - GUARANTEE: ALL WORK AND MATERIAL EXECUTED UNDER THIS SECTION SHALL BE GUARANTEED TO BE FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE OF PROJECT AS A WHOLE. ALL WORK OR REPAIR AND REPLACEMENT REQUIRED, INCLUDING OTHER WORK DAMAGED BY THIS WORK'S DEFECT SHALL BE PERFORMED AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO ANY PART OF THE PREMISES CAUSED BY FAILURE IN THE EQUIPMENT UNDER THIS SECTION FOR A PERIOD OF ONE (1) YEAR AFTER THE FINAL ACCEPTANCE OF THE WORK AS A WHOLE.

SECTION 15B – PLUMBING

- SCOPE: FURNISH AND INSTALL ALL MATERIALS, LABOR, SERVICES AND EQUIPMENT TO PROVIDE WATER, AND SANITARY CONNECTIONS TO ALL NEW FIXTURES AS WELL AS ANY ASSOCIATED PIPING ALTERATIONS, AS INDICATED ON THE PLANS AND/OR SPECIFIED HEREIN.
- MATERIALS: ALL MATERIALS SHALL BE NEW AND OF THE BEST QUALITY AVAILABLE IN THEIR RESPECTIVE KINDS. FREE FROM ALL DEFECTS AND SHALL BE OF THE MAKE AND TYPE SPECIFIED OR APPROVED EQUAL. ALL PRODUCTS AND MATERIAL SERVING PORTABLE WATER SYSTEM SHALL BE LEAD FREE.
 - PIPING MATERIAL:
 - ABOVEGROUND SOIL, WASTE, AND VENT PIPING: SERVICE WEIGHT CAST-IRON "NO-HUB" CAST IRON WITH STAINLESS STEEL BANDS. AT CONTRACTORS OPTION, DWV COPPER WITH 95-5 SOLDER JOINTS MAY BE USED, HOWEVER, ONLY ONE TYPE SHALL BE USED THROUGHOUT.
 - BELOWGROUND SOIL, WASTE, AND VENT PIPING: SERVICE WEIGHT CAST-IRON HUB AND SPIGOT CAST IRON, DOUBLE ASPHALT COATED, ASTM A74, WITH ASTM C564 RUBBER COMPRESSION GASKET. AT CONTRACTOR'S OPTION, HUBLESS CAST IRON SANITARY SYSTEM WITH MG MECHANICAL CAST IRON COUPLINGS OR APPROVED EQUAL MAY BE USED, HOWEVER, ONLY ONE TYPE SHALL BE USED THROUGHOUT. STAINLESS STEEL COUPLINGS BELOW GROUND ARE UNACCEPTABLE.
 - ABOVE GROUND HOT AND COLD DOMESTIC WATER PIPING SHALL BE COPPER, TYPE "L", SEAMLESS HARD DRAWN WITH WROUGHT COPPER OR CAST BRONZE FITTINGS; 95-5 LEAD-FREE SOLDER JOINTS. ALL HOT WATER SUPPLY AND RETURN LINES EXCEPT SMALL FIXTURE BRANCHES SHALL BE INSULATED WITH 1" THICK CLOSED-CELL ELASTOMERIC INSULATION ARMAFLEX OR APPROVED EQUAL.
 - FIXTURES:
 - ACCESSIBLE LAVATORY (ALAV): KOHLER K-2030 GREENWICH, 20-3/4" X 18-1/4", WHITE VITREOUS CHINA WALL-MOUNTED LAVATORY. KOHLER K-13885 OFFSET DRAIN WITH PERFORATED GRATE AND 1-1/4" INCH TAILPIECE. PROVIDE WITH DELTA DECK-MOUNTED CENTERSET FAUCET, MODEL 500-DST, HEAVY-DUTY BRASS WITH CHROME FINISH, SINGLE HANDLE CONTROL, CACHE AERATOR. PROVIDE 1-1/2" TAILPIECE, 3/8" ANGLE SUPPLY WITH STOPS, P-TRAP, AND CHROME PLATED ESCUTCHEONS. INSTALL IN ACCORDANCE WITH ADAAG 2010 SECTION 606 REQUIREMENTS.
 - ACCESSIBLE URINAL (AUR): KOHLER K-4991-ET BARDON, VITREOUS CHINA, WALL-HUNG, URINAL WITH 3/4" TOP SPUD, 2" OUTLET AND WALL HANGER SUPPORT, WASHOUT DESIGN. PROVIDE SLOAN 186-0.125 MANUAL FLUSH VALVE, 0.125 GPF, 3/4" IPS SCREWDRIVER BAK-CHEK ANGLE STOP SPUD, ADJUSTABLE TAILPIECE. INSTALL IN ACCORDANCE WITH ADAAG 2010 SECTION 605 REQUIREMENTS.
 - ACCESSIBLE WATER CLOSET (AWC): KOHLER MODEL K-96057 HIGHCLIFF ULTRA VITREOUS CHINA, 16-5/8" HIGH BOWL, 1-1/2" TOP-SPUD, ELONGATED BOWL, FLOOR MOUNTED, WHITE. PROVIDE K-76321 1.28 GPF, EXPOSED FLUSHOMETER WITH ADA COMPLIANT HANDLE. PROVIDE KOHLER K-4731-CA STRONGHOLD ELONGATED SOLID PLASTIC OPEN FRONT SEAT WITH CHECK HINGE. PROVIDE ANGLE SUPPLY WITH STOP AND TRIP LEVER HANDLE. INSTALL IN ACCORDANCE WITH ADAAG 2010 SECTION 604 REQUIREMENTS.
 - LAVATORY (LAV): KOHLER K-2030 GREENWICH, 20-3/4" X 18-1/4", WHITE VITREOUS CHINA WALL-MOUNTED LAVATORY. PROVIDE WITH DELTA DECK-MOUNTED CENTERSET FAUCET, MODEL 500-DST, HEAVY-DUTY BRASS WITH CHROME FINISH, SINGLE HANDLE CONTROL, CACHE AERATOR. PROVIDE 1-1/2" TAILPIECE, 3/8" ANGLE SUPPLY WITH STOPS, P-TRAP, AND CHROME PLATED ESCUTCHEONS.
 - WATER CLOSET (WC): KOHLER MODEL K-96057 HIGHCLIFF ULTRA VITREOUS CHINA, 16-5/8" HIGH BOWL, 1-1/2" TOP-SPUD, ELONGATED BOWL, FLOOR MOUNTED, WHITE. PROVIDE K-76321 1.28 GPF FLUSHOMETER. PROVIDE KOHLER K-4731-CA STRONGHOLD ELONGATED SOLID PLASTIC OPEN FRONT SEAT WITH CHECK HINGE. PROVIDE ANGLE SUPPLY WITH STOP AND TRIP LEVER HANDLE.
 - UTILITY SINK (SK): REGENCY STAINLESS STEEL ONE COMPARTMENT MOP SINK MODEL 600SMFS2124. 21"x24"x8" DIMENSIONS, FREESTANDING, 3-1/2" BASKET STRAINER, 1-1/2" IPS DRAINAGE CONNECTION. PROVIDE REGENCY WALL MOUNTED MOP SINK FAUCET, MODEL 600FMS86, VACUUM BREAKER, 8" FAUCET CENTER, CHROME-PLATED COPPER.
 - ACCESSIBLE ELECTRIC WATER COOLER (AEWC): ELKAY MODEL LZS8WSLK WITH EZH2O BOTTLE FILLING STATION, WALL MOUNT ADA WATER COOLER, LIGHT GRAY GRANITE FINISH, 8 GPH OF 50° F DRINKING WATER. INSTALL SHALL BE IN FULL COMPLIANCE WITH 2010 ADA STANDARD FOR ACCESSIBLE DESIGN. SEE ARCHITECTURAL DRAWINGS FOR MOUNTING DIMENSIONS.
 - FLOOR DRAIN (FD): WATTS FD-1100-B SERIES, EPOXY COATED CAST IRON FLOOR DRAIN WITH ANCHOR FLANGE, REVERSIBLE CLAMPING COLLAR WITH PRIMARY AND SECONDARY WEEPHOLES, 5-INCH ADJUSTABLE HEAVY DUTY ROUND HEEL PROOF STAINLESS STEEL STRAINER, APPROVED TRAP PRIMER CONNECTION AND NO HUB OUTLET.
 - TRAP PRIMER (TP): ZURN Z1021 WATER SAVER TRAP PRIMER, CHROME-PLATED POLISHED CAST BRASS BODY WITH CLEANOUT, 17-GAUGE POLISHED CHROME WALL ARM, GROUND JOINT ELBOW WITH 1-1/2" NPT OUTLET.

- EXECUTION: THE INSTALLATION SHALL BE ACCOMPLISHED BY A QUALIFIED, LICENSED CONTRACTOR RECOGNIZED AS A FULLY EXPERIENCED SPECIALIST IN THE PLUMBING TRADE.
 - PLUMBING UTILITIES PIPING SHALL NOT BE SUPPORTED FROM DUCTS, CONDUITS, AIR CONDITIONING DUCTWORK, OR ELECTRICAL/COMMUNICATIONS WIRING.
 - SLOPE DRAIN LINES AT 1/4" PER FOOT UNLESS OTHERWISE INDICATED. INSTALL DRAIN, WASTE, AND VENT PIPING IN ACCORDANCE WITH PLUMBING CODE AND MANUFACTURER'S INSTRUCTIONS.
 - STERILIZE AND TEST ALL WASTE AND WATER LINES IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PLUMBING CODE.
 - PROVIDE ESCUTCHEON PLATES FOR EXPOSED ALL WALL, ROOF, AND FLOOR PENETRATIONS. EACH FIXTURE SHALL BE SET LEVEL AND IN CONTINUOUS CONTACT WITH FLOOR OR WALL IN ACCORDANCE WITH RECOMMENDATIONS AND BEST INDUSTRY STANDARDS. PROVIDE ADEQUATE SPACE FOR FUTURE SERVICE OF EQUIPMENT.
 - INSTALL ALL FIXTURES AND EQUIPMENT IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - PROVIDE DIELECTRIC UNIONS WHEN CONNECTING DISSIMILAR METAL WATER PIPING, ACCESSORIES, OR EQUIPMENT.
 - PROVIDE STOPS OR VALVES AND P-TRAPS FOR ALL FIXTURES. PROVIDE RISERS, ESCUTCHEON PLATES, VACUUM PLATES, VACUUM BREAKERS AS REQUIRED.

SECTION 15C – AUTOMATIC FIRE SPRINKLER SYSTEM

- SCOPE: MODIFY EXIST WET PIPE FIRE SPRINKLER SYSTEM, INSTALLED COMPLETE AND READY TO OPERATE IN ACCORDANCE WITH THE SPECIFICATIONS AND AS SHOWN ON THE DRAWINGS.
- GENERAL REQUIREMENTS: IT IS THE INTENT OF THE PLANS AND SPECIFICATIONS TO PROVIDE A COMPLETE INSTALLATION. SHOULD THERE BE OMISSIONS OR DISCREPANCIES IN THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE ENGINEER TO SUCH OMISSIONS AND DISCREPANCIES IN ADVANCE OF CONSTRUCTION SO THAT THE NECESSARY CORRECTIONS CAN BE MADE, OTHERWISE THE CONTRACTOR SHALL FURNISH AND INSTALL THE OMISSIONS OR DISCREPANCIES AS IF THE SAME WERE SPECIFIED AND PROVIDED FOR.
 - STANDARDS:
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM PLUMBING CODE, INTERNATIONAL BUILDING CODE, UNIFORM FIRE CODE, INSURANCE, HONOLULU FIRE DEPARTMENT, LANDLORD REQUIREMENTS, AND APPLICABLE ORDINANCES AND CODES OF THE CITY AND COUNTY OF HONOLULU.
 - CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENSES AND CERTIFICATES AND PAY FOR ALL FEES.
 - ALL MATERIALS AND INSTALLATION SHALL MEET NFPA 13, CURRENT EDITION.
 - PRODUCTS: ALL FIRE SUPPRESSION EQUIPMENT SHALL BE SELECTED FROM "LIST OF INSPECTED FIRE PROTECTION EQUIPMENT AND MATERIALS", PUBLISHED ANNUALLY BY UL AND SHALL BEAR UL APPROVED STAMP OR LABEL.
 - PIPE AND FITTINGS:
 - PIPE: BLACK STEEL PIPE, SCHEDULE 40, ASTM A120.
 - FITTINGS: BLACK CAST IRON, SCREWED, SUITABLE FOR 175 PSI WWP OR GROOVED -PIPE FITTING WITH GROOVED -PIPE COUPLINGS, VICTAULOC OR APPROVED EQUAL.
 - SPRINKLER HEADS: SPRINKLER HEAD SHALL BE 1/2 INCH ORIFICE, AUTOMATIC 165 DEGREE UPRIGHT TYPE AS APPLICABLE FOR NEW CEILING CONDITION. SPRINKLER HEADS IN SPACES WITH UNFINISHED CEILINGS SHALL BE AUTOMATIC, QUICK RESPONSE, PENDENT TYPE. PROVIDE UL OR FM APPROVED SPRINKLER HEADS FOR THE APPLICATION DESCRIBED. PROVIDE UL OR FM APPROVED SPRINKLER HEADS FOR THE APPLICATION DESCRIBED. SPARE SPRINKLER HEADS SHALL BE PROVIDED AND STORED IN A CABINET IN A LOCATION APPROVED BY THE CHIEF. IN ADDITION, THREE SPRINKLER STOPPERS AND A SPECIAL SPRINKLER WRENCH SHALL BE PROVIDED AND KEPT IN THE CABINET TO BE USED IN THE REMOVAL AND INSTALLATION OF SPRINKLER HEADS. NFPA 13, SECTION 6.2.7 AS AMENDED.
 - EXECUTION: THE INSTALLATION SHALL BE ACCOMPLISHED BY A QUALIFIED, LICENSED CONTRACTOR RECOGNIZED AS A FULLY EXPERIENCED SPECIALIST IN AUTOMATIC FIRE SPRINKLER SYSTEMS, AND IN CONFORMANCE WITH NFPA 13.
 - POWDER SHOTS SHALL NOT TO BE USED TO ANCHOR HANGERS TO SUPPORT FIRE SPRINKLER PIPING OR ELECTRICAL/COMMUNICATIONS WIRING.
 - FIRE SPRINKLER PIPING WILL NOT BE SUPPORTED FROM DUCTS, AND CONDUITS.
 - PIPING:
 - PROVIDE AND INSTALL HANGER AND SUPPORTS FOR ALL PIPE WORK TO PROVIDE FOR EXPANSION AND CONTRACTION, PREVENT VIBRATION AND MAINTAIN REQUIRED GRADING BY PROPER ADJUSTMENT.
 - SUPPORTS, HANGERS, BOLTS, NUTS, WASHERS, ETC., SHALL BE GALVANIZED UNLESS OTHERWISE SPECIFIED. SUPPORTS FOR COPPER PIPE SHALL BE IN ADDITION COATED WITH PLASTIC.
 - STERILIZE AND TEST ALL WASTE AND WATER LINES IN ACCORDANCE WITH RECOMMENDATIONS OF THE PLUMBING CODE.
 - PROVIDE ESCUTCHEON PLATES FOR ALL EXPOSED WALL, ROOF, AND FLOOR PENETRATIONS.

SECTION 15B: AIR CONDITIONING AND VENTILATION

- SCOPE: COMPLETE REINSTALLATION OF VENTILATION SYSTEM. THE AIR VENTILATION SYSTEMS SHALL INCLUDE ALL EQUIPMENT AND ALL RELATED ITEMS NECESSARY TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED. THE WORK SHALL INCLUDE THE FOLLOWING:
 - FANS
 - DUCTWORK AND ACCESSORIES
 - CONTROLS & WIRING
- PRODUCTS: ALL MATERIALS DELIVERED TO THE JOB SITE AND INSTALLED SHALL BE NEW, BEST OF THEIR RESPECTIVE GRADES AND AS SPECIFIED ON THE DRAWINGS. MATERIALS SHALL BE OF THE SAME BRAND OR MANUFACTURER THROUGHOUT FOR EACH CLASS OF MATERIAL OR EQUIPMENT.
 - DUCTWORK AND ACCESSORIES:
 - DUCTWORK: GALVANIZED STEEL SHEETS, ASTM A527. CONSTRUCTION, GAGES, AND REINFORCEMENT SHALL COMPLY WITH LATEST SMACNA HVAC DUCT CONSTRUCTION STANDARDS.
 - SUPPORTS: GALVANIZED STEEL STRAPS OR HANGER RODS IN ACCORDANCE WITH SMACNA DUCT CONSTRUCTION STANDARDS.
- EXECUTION: THE INSTALLATION SHALL BE ACCOMPLISHED BY A QUALIFIED, LICENSED CONTRACTOR RECOGNIZED AS A FULLY EXPERIENCED SPECIALIST IN HVAC SYSTEMS.
 - EQUIPMENT INSTALLATION:
 - INSTALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
 - INSTALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED CLEARANCES
 - AFTER COMPLETING THE INSTALLATION OF DUCTWORK AND EQUIPMENT, ENTIRE SYSTEM SHALL BE CLEANED OF RUBBISH, PLASTER DIRT AND OTHER DEBRIS.

PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

AS PER ROH 18, SEC. 18-5.2 RETENTION OF PLANS ONE SET OF APPROVED PLANS, SPECIFICATIONS, AND COMPUTATIONS SHALL BE RETAINED BY THE BUILDING OFFICIAL FOR A PERIOD OF NOT LESS THAN 90 DAYS FROM DATE OF COMPLETION OF THE WORK COVERED THEREIN, AND ONE SET OF APPROVED PLANS SHALL BE RETURNED TO THE APPLICANT, AND SAID SET SHALL BE KEPT ON THE SITE OF THE BUILDING OR WORK AT ALL TIMES DURING WHICH THE WORK AUTHORIZED THEREBY IS IN PROGRESS. (SEC. 18-5.2 R.O. 1978 (1983 ED.); AM. ORD. 93-59)

FIRE SAFETY NOTES:

16.1.1 STRUCTURE UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND THIS CHAPTER. 2012 NFPA 1.

ALTERATION OF BUILDINGS

16.4.4.1 WHERE THE BUILDING IS PROTECTED BY FIRE PROTECTION SYSTEMS, SUCH SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING ALTERATION.

16.4.4.2 WHERE ALTERATION REQUIRES MODIFICATION OF A PORTION OF FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE AND THE FIRE DEPARTMENT SHALL BE NOTIFIED.

16.4.4.3 WHEN IT IS NECESSARY TO SHUT DOWN THE SYSTEM, THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE ALTERNATE MEASURES OF PROTECTION UNTIL THE SYSTEM IS RETURNED TO SERVICE.

16.4.4.4 THE FIRE DEPARTMENT SHALL BE NOTIFIED WHEN THE SYSTEM IS SHUT DOWN AND WHEN THE SYSTEM IS RETURNED TO SERVICE.

10.8.1.1 AS NECESSARY DURING EMERGENCIES, MAINTENANCE, DRILLS, PRESCRIBED TESTING, ALTERATIONS, OR RENOVATIONS, PORTABLE OR FIXED FIRE-EXTINGUISHING SYSTEMS OR DEVICES OR ANY FIRE-WARNING SYSTEM SHALL BE PERMITTED TO BE MADE INOPERATIVE OR INACCESSIBLE.

13.1.9 WHEN A FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR MORE THAN 4 HOURS IN A 24-HOUR PERIOD, THE AHJ SHALL BE PERMITTED TO REQUIRE THE BUILDING TO BE EVACUATED OR AN APPROVED FIRE WATCH TO BE PROVIDED FOR ALL PORTIONS LEFT UNPROTECTED BY THE FIRE PROTECTION SYSTEM SHUTDOWN UNTIL THE FIRE PROTECTION SYSTEM HAS BEEN RETURNED TO SERVICE.

APPROVAL AND ACCEPTANCE

13.7.3.2.1.3 BEFORE REQUESTING FINAL APPROVAL OF THE INSTALLATION, IF REQUIRED BY THE AHJ, THE INSTALLING CONTRACTOR SHALL FURNISH A WRITTEN STATEMENT STATING THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH APPROVED PLANS AND TESTED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS AND THE APPROPRIATE NFPA REQUIREMENTS.

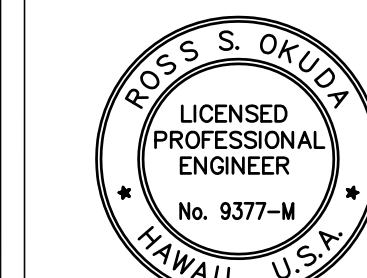
13.7.3.2.1.4* THE RECORD OF COMPLETION FORM, FIGURE 10.18.2.1.1 OF NFPA 72, SHALL BE PERMITTED TO BE A PART OF THE WRITTEN STATEMENT REQUIRED IN 13.7.3.2.1.3. WHEN MORE THAN ONE CONTRACTOR HAS BEEN RESPONSIBLE FOR THE INSTALLATION, EACH CONTRACTOR SHALL COMPLETE THE PORTIONS OF THE FORM FOR WHICH THAT CONTRACTOR HAD RESPONSIBILITY.

PROVIDE CONSTRUCTION DETAIL OR NOTE ON PLANS TO INDICATE THE USE OF APPROVED PENETRATION FIRESTOP WITH AN "F" RATING OF NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL PENETRATED, AS PER IBC SECTION 712.3.1.2

1.14 PLAN REVIEW

1.14.4 REVIEW AND APPROVAL BY AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.

1.3.6.3 REPAIRS, RENOVATIONS, ALTERATIONS, RECONSTRUCTION, CHANGE OF OCCUPANCY, AND ADDITIONS TO BUILDINGS SHALL CONFORM TO THIS CODE, NFPA 101, AND THE BUILDING CODE.



R. S. Okuda

LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES

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REVISION MARK • DATE • DESCRIPTION

PROPOSED PROJECT

BUILDING ALTERATIONS TO BUILDING 152 FOR: HUNT COMPANIES

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

MECHANICAL SPECIFICATIONS SHEET TITLE

JOB NO. 20007-0000 DRAWING NO.
DRAWN MEI
CHECKED RSO
DATE DEC 2020 SHEET OF

M300

ELECTRICAL SPECIFICATIONS

PART 1 - GENERAL

- 1.01 GENERAL CONDITIONS: AS SPECIFIED IN ARCHITECTURAL SECTIONS.
1.02 SCOPE: FURNISH ALL MATERIALS REQUIRED TO COMPLETE ALL ELECTRICAL WORK.
A. IN GENERAL, THE FOLLOWING WORK IS INCLUDED:
1. DEMOLITION WORK AS INDICATED OR REQUIRED.
2. PROVIDE SERVICE AND METERING EQUIPMENT.
3. PROVIDE POWER AND LIGHTING SYSTEMS INCLUDING LUMINAIRES, PANELBOARDS, WIRING DEVICES AND WIRING.
4. PROVIDE FIRE ALARM SYSTEM, INCLUDING BUT NOT LIMITED TO ALL EQUIPMENT, DEVICES, WIRING AND SYSTEM DESIGN DOCUMENTS AND SHOP DRAWINGS FOR A COMPLETE AND OPERATING SYSTEM...
1.03 RELATED WORK SPECIFIED IN OTHER SECTIONS:
A. CONNECT ALL ELECTRICAL EQUIPMENT FURNISHED OR PROVIDED UNDER OTHER SECTIONS.
1.04 QUALITY ASSURANCE:
A. COMPLY WITH THE REQUIREMENTS OF CITY AND COUNTY OF HONOLULU, STATE AND THE OWNER.

PART 2 - PRODUCTS

- 2.01 MATERIALS: MATERIALS AND EQUIPMENT SHALL BE NEW AND THOSE ITEMS LISTED BY UNDERWRITER'S LABORATORIES SHALL BEAR "UL" LABEL OF APPROVAL.
A. ELECTRICAL METALLIC TUBING (EMT) AND GALVANIZED RIGID CONDUIT (GR): HOT DIPPED GALVANIZED, 1/2", MINIMUM FOR POWER SYSTEMS; 3/4", MINIMUM FOR COMMUNICATION AND FIRE ALARM SYSTEMS.
B. OUTLET BOXES: CONCEALED BOXES SHALL BE PRESSED DOWN NEC GAUGE STEEL, GALVANIZED 4" SQUARE X 1-1/2" DEEP, MINIMUM.
C. DEVICE AND COVER PLATES: PLATES FOR FLUSH CONSTRUCTION SHALL BE ONE PIECE, SMOOTH, PLASTIC SUITABLE HOLE FOR DEVICE, WHITE.
D. WIRES: CONDUCTORS SHALL BE COPPER, 600 VOLTS, NO. 12 AWG, MINIMUM. CONDUCTORS NO. 10 AND SMALLER SHALL BE SOLID.
E. MC CABLES: COMPLY WITH NEC 330. CONDUCTORS SHALL BE COPPER, 600 VOLTS, NO. 12 AWG, MINIMUM, WITH GROUND CONDUCTOR.
F. WIRING DEVICES:
1. SWITCHES: SPECIFICATION GRADE, 20 AMPERE, 120/277 VOLTS, WHITE.
2. OCCUPANCY SENSOR SWITCHES: SINGLE POLE, WALL MOUNT, PASSIVE INFRARED TECHNOLOGY, ADJUSTABLE 30 SEC. - 30 MIN. TIME DELAY "OFF", 180° PATTERN, 120/277 VOLTS, WHITE.
3. DUPLEX CONVENIENCE OUTLETS: SPECIFICATION GRADE, DUPLEX NEMA 5-20R, GROUNDING TYPE, WHITE.
4. DUPLEX GROUND FAULT OUTLETS: SPECIFICATION GRADE, DUPLEX NEMA 5-20R, GROUNDING TYPE, "TRIP" AND "RESET" BUTTONS AND L.E.D. INDICATOR LIGHT, WHITE.
G. LUMINAIRES: AS INDICATED ON "LUMINAIRE SCHEDULE", COMPLETE WITH ALL NECESSARY ACCESSORIES.
H. PANELBOARD: TYPE AND RATING AS SCHEDULED. PROVIDE BREAKER COMPLEMENT AS INDICATED; PROVIDE TYPED CIRCUIT DIRECTORY.
I. DISCONNECT SWITCH: HEAVY DUTY SAFETY SWITCH WITH RATING AS NOTED. NEMA 1 ENCLOSURE FOR INDOOR LOCATIONS AND NEMA 4X (STAINLESS STEEL) FOR WET AND OUTDOOR LOCATIONS.
J. HARDWARE, SUPPORTS, BACKING, ETC.: PROVIDE ALL HARDWARE, SUPPORTS, BACKING AND OTHER ACCESSORIES NECESSARY TO INSTALL ELECTRICAL EQUIPMENT.
K. FIRE ALARM SYSTEM: FIRE ALARM SYSTEM INDICATED ON THESE DRAWINGS ARE DIAGRAMMATIC ONLY TO INDICATE INTENT OF A COMPLETE AND OPERATIONAL SYSTEM...
END OF SECTION

PART 3 - EXECUTION

- 3.01 CONSTRUCTION METHODS:
A. WIRING SHALL CONFORM TO THE REQUIREMENTS OF THE CITY AND COUNTY OF HONOLULU, STATE AND THE OWNER.
B. COMPLY WITH ALL LOCAL ORDINANCES AND REGULATIONS OF CITY AND COUNTY OF HONOLULU, HAWAIIAN ELECTRIC COMPANY AND VERIZON HAWAII AND WORKMANSHIP SHALL BE SUBJECT TO ARCHITECT'S REVIEW.
C. RACEWAYS: EMT MAY BE USED IN DRY LOCATIONS AND WHERE NOT SUBJECT TO PHYSICAL DAMAGE. USE GRC IN DAMP OR WET LOCATIONS AND WHERE SUBJECT TO PHYSICAL DAMAGE.
D. OUTLET BOXES: PROVIDE OUTLET BOXES TO SUIT CONDITIONS ENCOUNTERED. WHEN TWO OR MORE DEVICES ARE INSTALLED AT A SINGLE LOCATION. MOUNT IN GANGED BOX UNDER SINGLE DEVICE PLATE.
E. INSTALLATION OF LUMINAIRES: SUPPORT LUMINAIRES AND FANS SECURELY AND SAFELY BY APPROVED MEANS. PROVIDE ALL NECESSARY ACCESSORIES AND HARDWARE FOR PROPER INSTALLATION.
F. MOTOR CONNECTIONS: MAKE POWER CONNECTIONS TO MOTORS ON EQUIPMENT WITH SHORT SECTION OF LIQUID-TIGHT FLEXIBLE RACEWAY.
G. GROUNDING: METALLIC ENCLOSURES, RACEWAYS AND ELECTRICAL EQUIPMENT SHALL BE GROUNDED ACCORDING TO THE REQUIREMENTS OF THE NEC ARTICLE 250.
H. FINISHING: PATCH, REPAIR AND RESTORE ALL ELEMENTS DAMAGED DURING THE INSTALLATION OF ELECTRICAL SYSTEM.
I. TESTING: TEST ALL WIRING AND CIRCUITS TO INSURE PROPER OPERATION OF ALL ELECTRICAL SYSTEMS.

LUMINAIRE SCHEDULE table with columns: TYPE, LAMP, DESCRIPTION, MANUFACTURER. Includes rows A through EM with detailed specifications for various lighting fixtures like striplights, floodlights, and emergency lights.

EXTERIOR LIGHTING NOTE: ALL EXTERIOR LIGHT FIXTURES SHALL BE DESIGNED/SHIELDED TO PREVENT DIRECT ILLUMINATION ONTO ADJACENT RIGHT-OF-WAYS.

SYMBOLS

Legend for electrical symbols including Demolish Remove, Existing Remain, and New. Lists symbols for ceiling lights, wall lights, floodlights, exit signs, switches, occupancy sensors, duplex outlets, ground fault outlets, telephones, fire alarm devices, motor connections, safety switches, panelboards, fire alarm control panels, and weather proofing. Includes wiring raceway symbols for concealed, below grade, exposed, and flexible metal.

PALEKANA PERMITS THIRD PARTY CERTIFICATION box with checkboxes for Building Code, Mechanical Code, Structural, Electrical Code, and ZPRB (Land Use Ordinance).

DRA Architecture LLC logo and contact information: 905 MAKAKIHI WAY, MAUKA SUITE HONOLULU, HAWAII 96826 (808) 292-6287

Licensed Professional Engineer stamp for Darrel T. Itano, No. 4367-E, Hawaii, U.S.A. License expires 30 April 2022.

GENERAL NOTES: CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE BEFORE PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.

LIGHTING LOAD CALCULATIONS (INTERIOR) [2015 IECC] table with columns: ACTIVITY, AREA, ALLOWED WATTS/SF, TOTAL, TOTAL WATTS ALLOWED. Totals: 20,368.

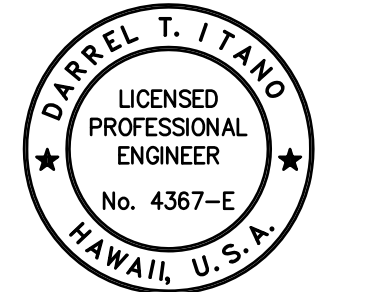
LIGHTING LOAD CALCULATIONS (EXTERIOR) [2015 IECC] table with columns: ACTIVITY (EXTERIOR), AREA, ALLOWED WATTS, TOTAL, TOTAL WATTS ALLOWED. Totals: 1,038.

CITY AND COUNTY OF HONOLULU REVISED ORDINANCE CHAPTER 32 HONOLULU COUNTY CODE, 1990, AS AMENDED. Signature of Darrel Itano, President, Itano & Associates, Inc.

PROPOSED BUILDING ALTERATIONS TO BUILDING 152 FOR: HUNT COMPANIES. 91-1057 ENTERPRISE AVENUE, KAPOLEI, OAHU, HAWAII 96707. SHEET TITLE: ELECTRICAL SYMBOLS, LUMINAIRE SCHEDULE, ELECTRICAL SPECIFICATIONS, ENERGY BUDGET. DATE: MAR 2021 SHEET OF

- PALEKANA PERMITS
THIRD PARTY CERTIFICATION
- BUILDING CODE ELECTRICAL CODE
 - MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 - STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

DRA
Architecture LLC
ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION (AS DEFINED IN CHAPTER 16-115 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS) ENTITLED PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS)

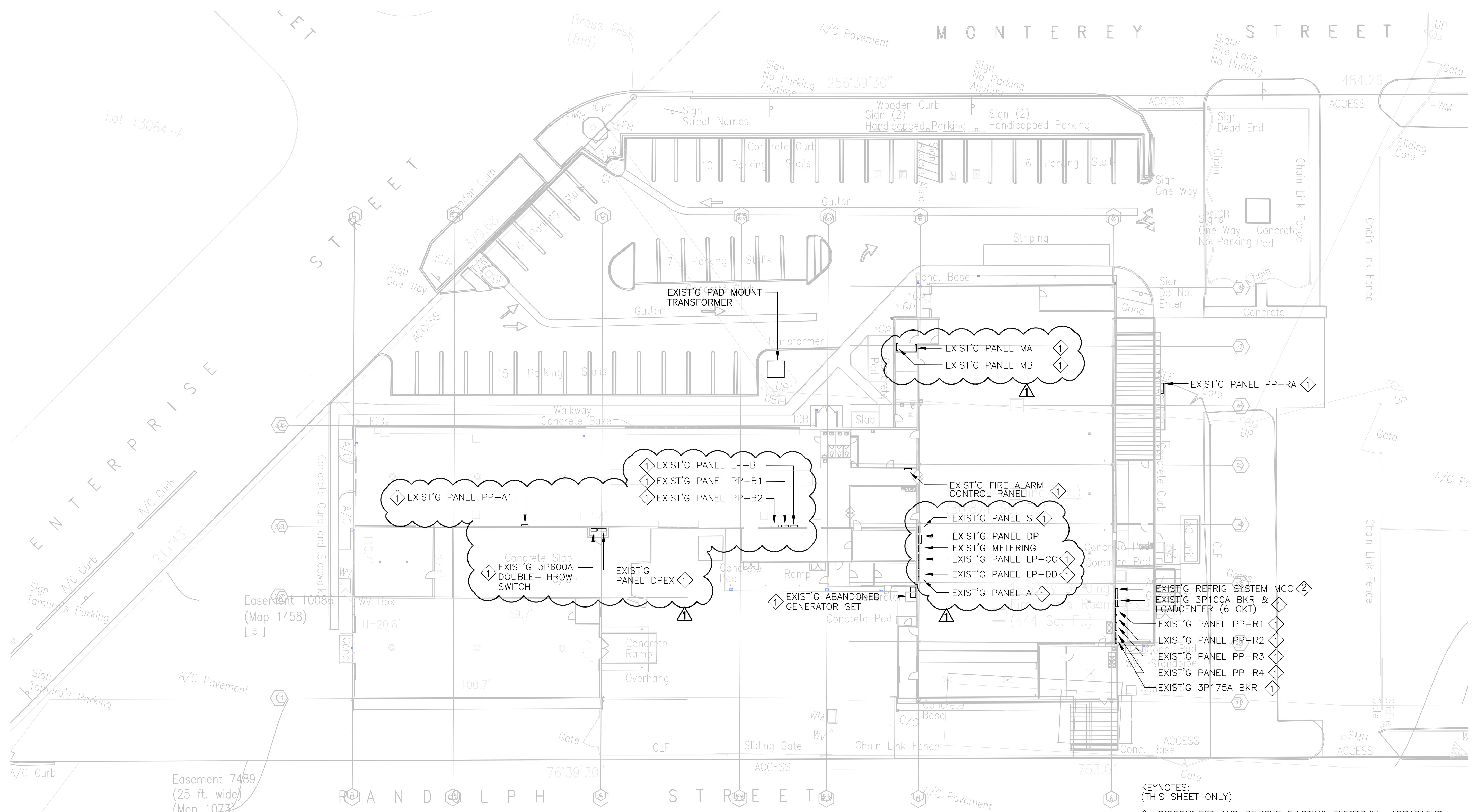
David T. Itano

LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES

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- KEYNOTES:
(THIS SHEET ONLY)**
- ① DISCONNECT AND REMOVE EXISTING ELECTRICAL APPARATUS AND ASSOCIATED WIRING.
 - ② DISCONNECT EXISTING ELECTRICAL APPARATUS; EQUIPMENT TO BE REMOVED (BY OTHERS); REMOVE ASSOCIATED WIRING.

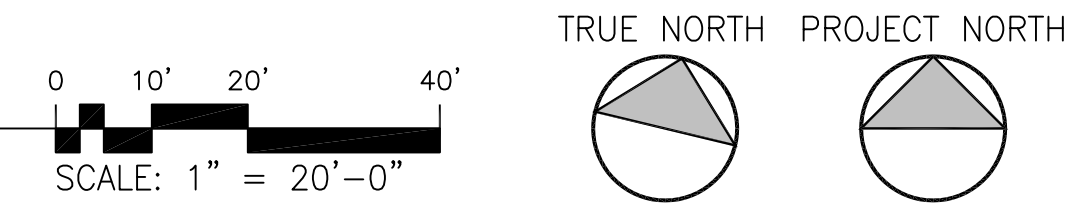
REVISION MARK	DATE	DESCRIPTION
▲	03/12/2021	OWNER REVISIONS

PROPOSED
**BUILDING ALTERATIONS
TO BUILDING 152
FOR:
HUNT
COMPANIES**
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
PARTIAL ELECTRICAL SITE PLAN
EXISTING/DEMOLITION

JOB NO. 20007-0000	DRAWING NO.
DRAWN SM	
CHECKED DRA	
DATE MAR 2021	SHEET OF

A PARTIAL ELECTRICAL SITE PLAN - EXISTING/DEMOLITION
SCALE: 1" = 20'-0"



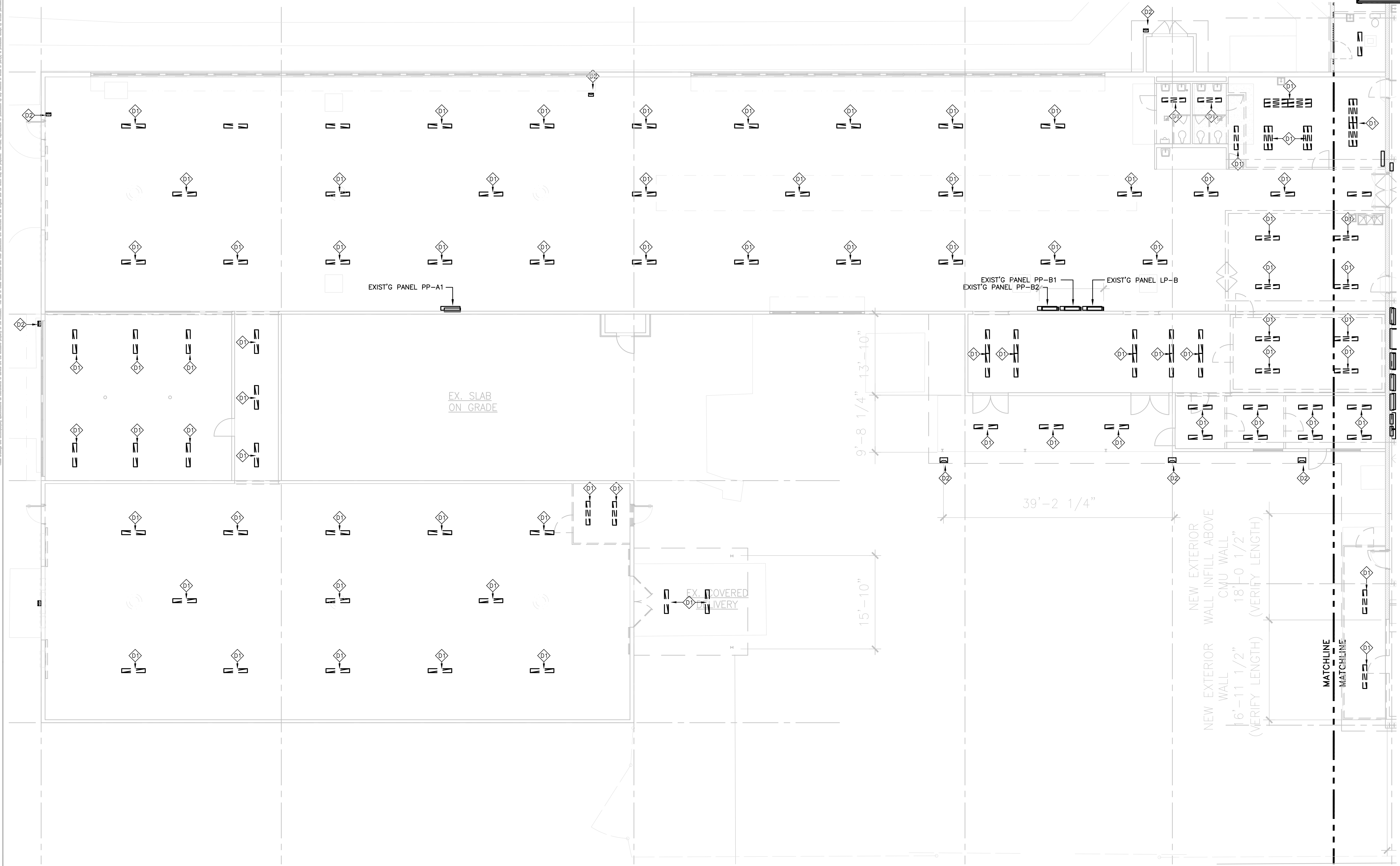
NAME: R:\DRA\Projects\20007-0000 Hunt Co - Kaloalea Building 152 Renew\0001-0.dwg DATE: DEC 24, 2020 TIME: 1:50PM BY: DRA

KEYNOTES (THIS SHEET)

- Ⓛ1 DISCONNECT AND REMOVE EXISTING LUMINAIRE AND ASSOCIATED WIRING.
- Ⓛ2 DISCONNECT & REPLACE EXISTING EXTERIOR FLOODLIGHT; REMOVE EXISTING WIRING; RECONNECT NEW FLOODLIGHT TO NEW PANEL "H" [SEE SHEETS E003.0 & E003.1]
- Ⓛ3 DISCONNECT & REMOVE EXISTING LUMINAIRES (ROW). EXISTING STRUT SUPPORT SYSTEM TO REMAIN [SEE ARCHITECTURAL PLANS FOR DETAILS AND ADDITIONAL REQUIREMENTS.]

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



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(808) 292-6287

DYREL T. ITANO
LICENSED PROFESSIONAL ENGINEER
No. 4367-E
HAWAII, U.S.A.

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION AS DEFINED IN CHAPTER 18-115 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS ENTITLED PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS.

Dyrel T. Itano
LICENSE EXPIRES: 30 APRIL 2022

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03/12/2021 OWNER REVISIONS

REVISION MARK	DATE	DESCRIPTION

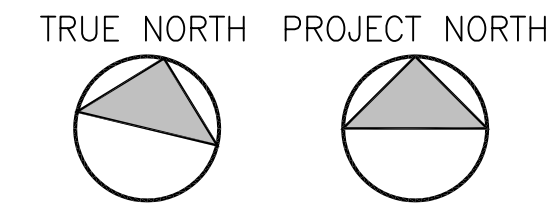
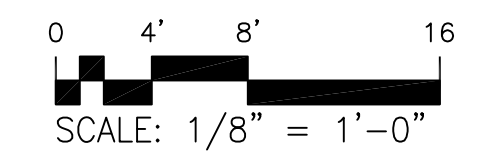
PROPOSED
**BUILDING ALTERATIONS
TO BUILDING 152
FOR:
HUNT
COMPANIES**

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

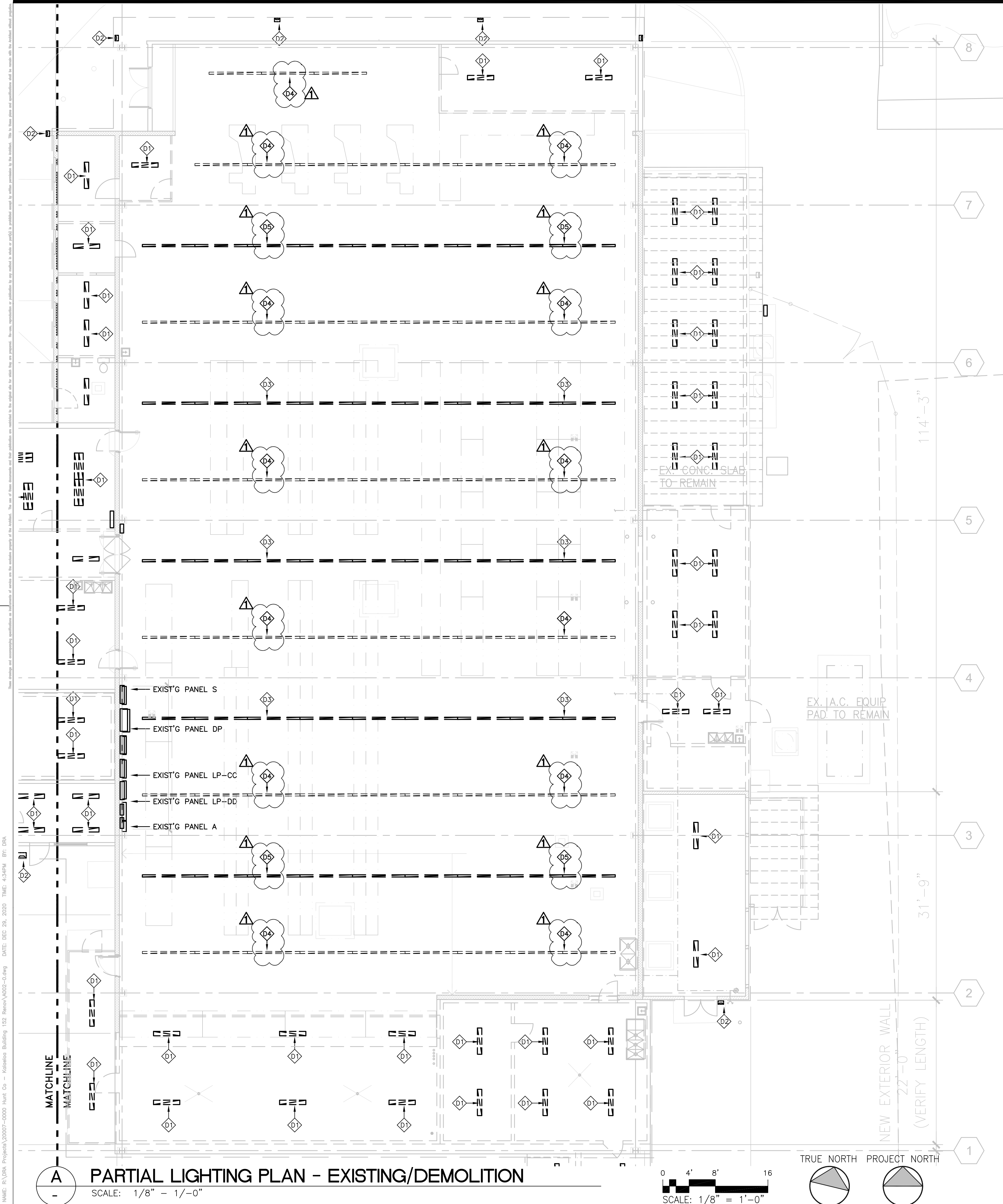
SHEET TITLE
PARTIAL LIGHTING PLAN -
EXISTING/DEMOLITION

JOB NO. 20007-0000	DRAWING NO.
DRAWN MS	
CHECKED DRA	
DATE MAR 2021	SHEET OF

A PARTIAL LIGHTING PLAN - EXISTING/DEMOLITION
SCALE: 1/8" = 1'-0"



NAME: R:\DRA Projects\20007-0000 Hunt Co - Kalohele Building 152 - Revise\A002-01.dwg DATE: DEC 29, 2020 TIME: 4:24PM BY: DRA



- KEYNOTES (THIS SHEET)**
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 - Ⓛ DISCONNECT & REPLACE EXISTING EXTERIOR FLOODLIGHT; REMOVE EXISTING WIRING; RECONNECT NEW FLOODLIGHT TO NEW PANEL "H" [SEE SHEETS E003.0 & E003.1]
 - Ⓛ DISCONNECT & REMOVE EXISTING LUMINAIRE (ROW), EXISTING STRUT SUPPORT SYSTEM TO REMAIN [SEE ARCHITECTURAL PLANS FOR DETAILS AND ADDITIONAL REQUIREMENTS.]
 - Ⓛ EXISTING LUMINAIRE (ROW) TO REMAIN; DISCONNECT EXISTING CIRCUIT; RECONNECT TO NEW PANEL AND PROVIDE NEW OR ADDITIONAL WIRING AS REQUIRED. [SEE SHEETS E003.0 & E003.1]
 - Ⓛ DISCONNECT & RELOCATE EXISTING LUMINAIRE (ROW), EXISTING STRUT SUPPORT SYSTEM TO REMAIN [SEE ARCHITECTURAL PLANS FOR DETAILS AND ADDITIONAL REQUIREMENTS.]

**PALEKANA PERMITS
THIRD PARTY CERTIFICATION**

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

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Daniel T. Itano
 LICENSE EXPIRES: 30 APRIL 2022

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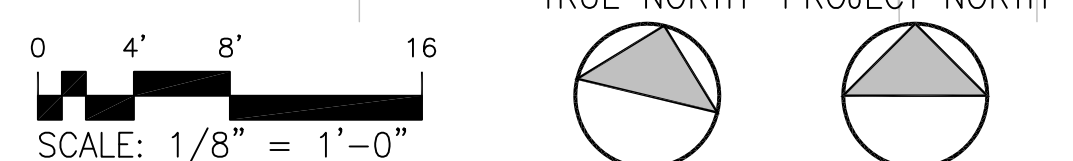
PROPOSED
**BUILDING ALTERATIONS
 TO BUILDING 152
 FOR:
 HUNT
 COMPANIES**
 91-1057 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

SHEET TITLE
 PARTIAL LIGHTING PLAN -
 EXISTING/DEMOLITION

JOB NO. 20007-0000	DRAWING NO.
DRAWN MS	
CHECKED DRA	E002.1
DATE MAR 2021	SHEET OF

NAME: R:\DRA Projects\20007-0000 Hunt Co - Kalohele Building 152 Revise\2021-03-04.dwg DATE: DEC 29, 2020 TIME: 4:28:04 PM DTA

A PARTIAL LIGHTING PLAN - EXISTING/DEMOLITION
 SCALE: 1/8" = 1'-0"



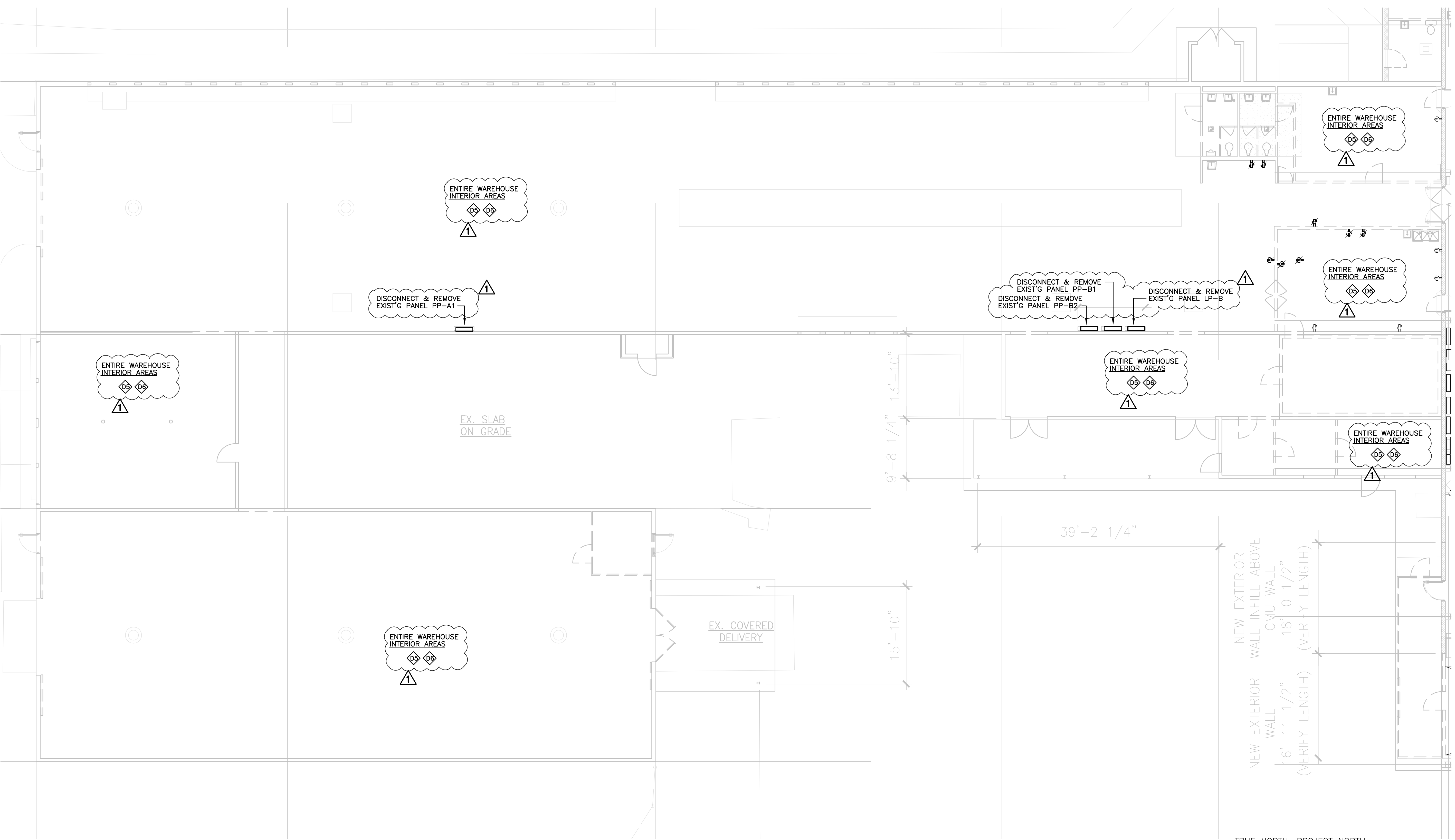
NAME: R:\DRA Projects\20007-0000 Hunt Co - Kalochee Building 152 - Revise\A002-01.dwg DATE: DEC 29, 2020 TIME: 4:24PM BY: DRA

KEYNOTES (THIS SHEET)

- Ⓛ1 DISCONNECT EXISTING REFRIGERATED CASE AND REMOVE ASSOCIATED WIRING.
- Ⓛ2 DISCONNECT EXISTING CASHIER STATION AND REMOVE ASSOCIATED WIRING (POWER, COMMUNICATION & DATA).
- Ⓛ3 DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND WIRING ASSOCIATED WITH EXISTING WALK-IN REFRIGERATED BOXES TO BE DEMOLISHED.
- Ⓛ4 DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND WIRING ASSOCIATED WITH EXISTING REFRIGERATION SYSTEM(S) TO BE DEMOLISHED.
- Ⓛ5 DISCONNECT AND REMOVE ALL EXISTING SURFACE (EXPOSED) MOUNTED OUTLETS AND ASSOCIATED WIRING.
- Ⓛ6 DISCONNECT AND REMOVE ALL EXISTING FLUSH (RECESSED) MOUNTED OUTLETS. PROVIDE BLANK PLATE. ABANDON CONCEALED (EMBEDDED) RACEWAYS; REMOVE EXISTING CONDUCTORS.

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



DRA
Architecture LLC

ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287



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David T. Itano
LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES
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▲ 03/12/2021 OWNER REVISIONS
REVISION MARK • DATE • DESCRIPTION

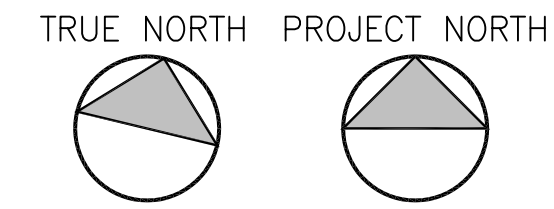
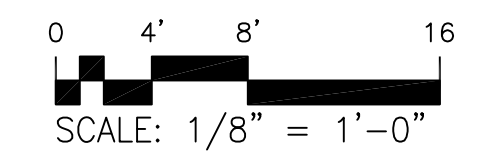
PROPOSED
**BUILDING ALTERATIONS
TO BUILDING 152
FOR:
HUNT
COMPANIES**

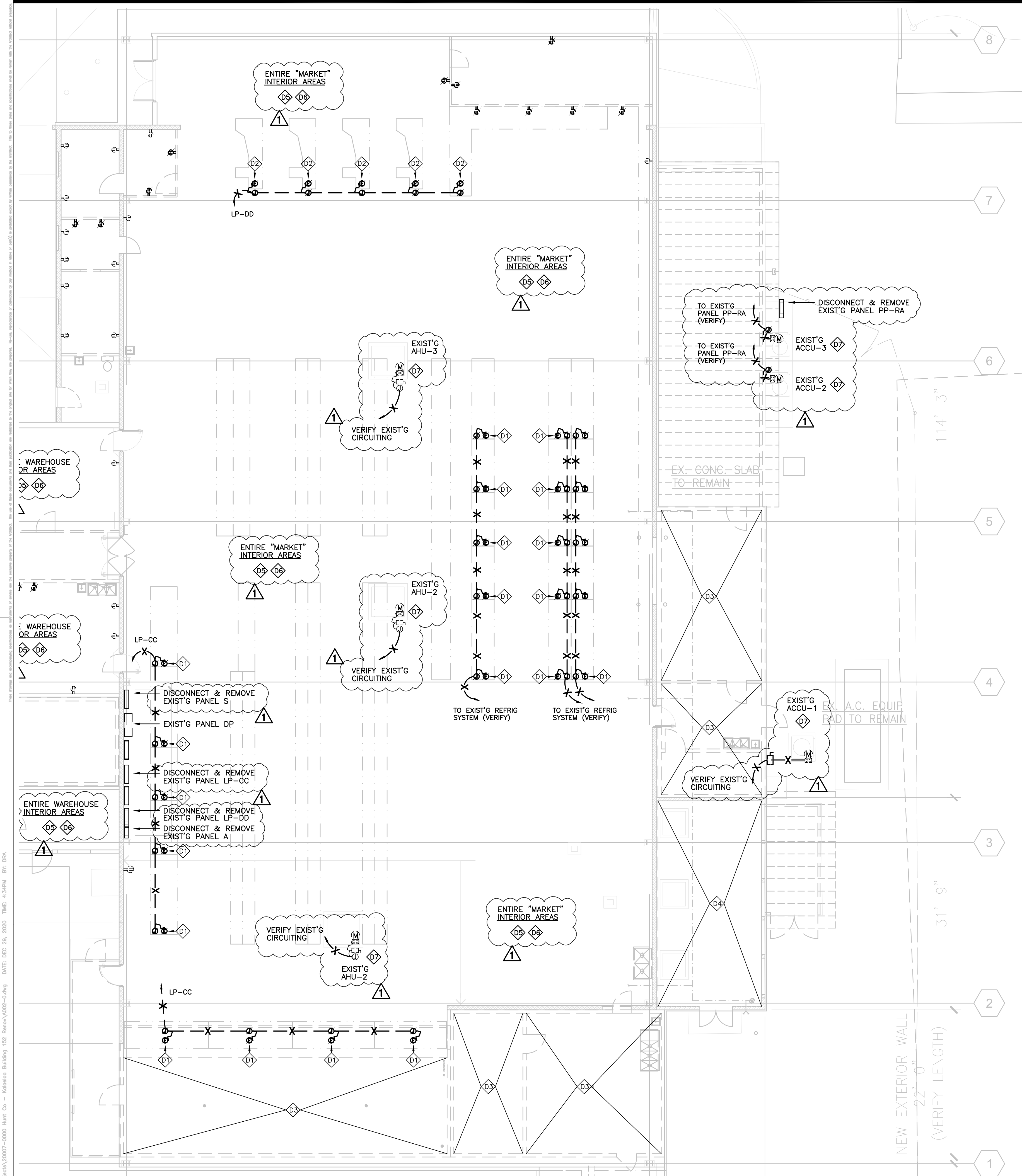
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
PARTIAL POWER & SIGNAL PLAN -
EXISTING / DEMOLITION

JOB NO. 20007-0000 DRAWING NO. ▲
DRAWN MS
CHECKED DRA
DATE MAR 2021 SHEET OF

A PARTIAL LIGHTING PLAN - EXISTING/DEMOLITION
SCALE: 1/8" = 1'-0"



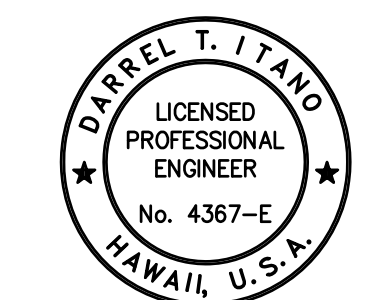


- KEYNOTES (THIS SHEET)**
- D1 DISCONNECT EXISTING REFRIGERATED CASE AND REMOVE ASSOCIATED WIRING.
 - D2 DISCONNECT EXISTING CASHIER STATION AND REMOVE ASSOCIATED WIRING (POWER, COMMUNICATION & DATA).
 - D3 DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND WIRING ASSOCIATED WITH EXISTING WALK-IN REFRIGERATED BOXES TO BE DEMOLISHED.
 - D4 DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND WIRING ASSOCIATED WITH EXISTING REFRIGERATION SYSTEM(S) TO BE DEMOLISHED.
 - D5 DISCONNECT AND REMOVE ALL EXISTING SURFACE (EXPOSED) MOUNTED OUTLETS AND ASSOCIATED WIRING.
 - D6 DISCONNECT AND REMOVE ALL EXISTING FLUSH (RECESSED) MOUNTED OUTLETS. PROVIDE BLANK PLATE. ABANDON CONCEALED (EMBEDDED) RACEWAYS; REMOVE EXISTING CONDUCTORS.
 - D7 EXISTING HVAC EQUIPMENT TO BE RELOCATED (SEE MECH. DRAWINGS). DISCONNECT EXISTING CIRCUITING AND REMOVE ASSOCIATED WIRING. REMOVE EXISTING CONDUCTORS.

**PALEKANA PERMITS
THIRD PARTY CERTIFICATION**

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

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 ARCHITECTURE DESIGN INTERIORS
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 HONOLULU, HAWAII 96826
 (808) 292-6287



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Darel T. Itano
 LICENSE EXPIRES: 30 APRIL 2022

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03/12/2021 OWNER REVISIONS

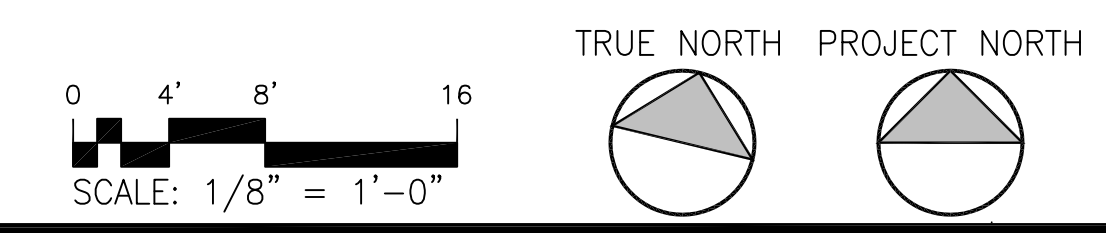
REVISION MARK	DATE	DESCRIPTION

PROPOSED
**BUILDING ALTERATIONS
 TO BUILDING 152
 FOR:
 HUNT
 COMPANIES**
 91-1057 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

SHEET TITLE
 PARTIAL POWER & SIGNAL PLAN -
 EXISTING/DEMOLITION

JOB NO. 20007-0000	DRAWING NO.
DRAWN MS	
CHECKED DRA	ED002.3
DATE MAR 2021	SHEET OF

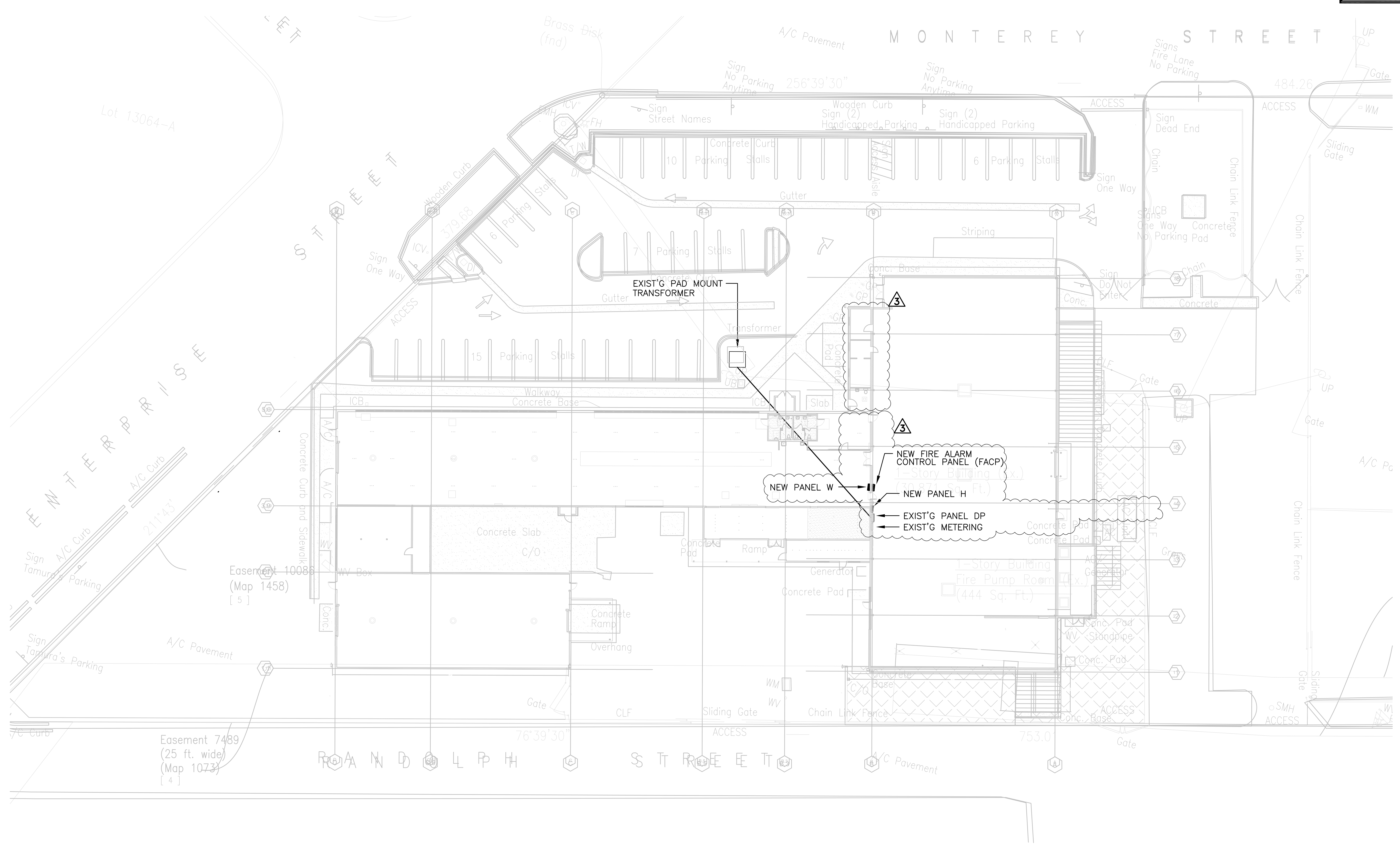
A PARTIAL POWER + SIGNAL PLAN - EXISTING/DEMOLITION
 SCALE: 1/8" = 1'-0"



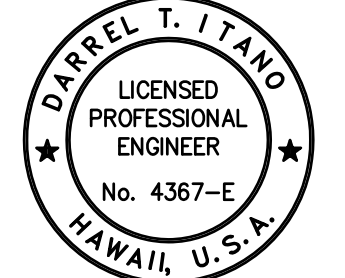
NAME: R:\DRA Projects\20007-0000 Hunt Co - Kalohelele Building 152 - Revise\A002-00-Ang DATE: DEC 29, 2020 TIME: 4:24PM BY: DRA

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



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Dorel T. Itano
LICENSE EXPIRES: 30 APRIL 2022

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REVISION MARK	DATE	DESCRIPTION
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	03/12/2021	OWNER REVISIONS

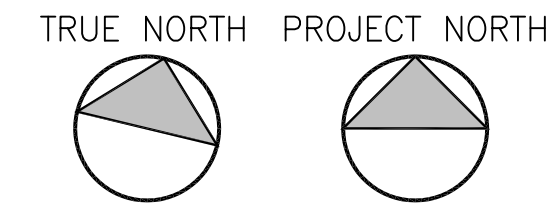
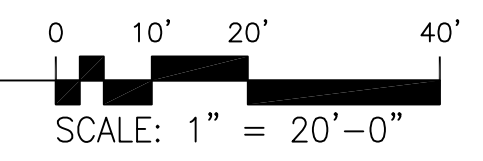
PROJECT
**PROPOSED
BUILDING ALTERATIONS
TO BUILDING 152
FOR:
HUNT
COMPANIES**

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
PARTIAL ELECTRICAL SITE PLAN - NEW

JOB NO. 20007-0000	DRAWING NO.
DRAWN MS	
CHECKED DRA	
DATE MAR 2021	

A PARTIAL ELECTRICAL SITE PLAN - NEW
SCALE: 1" = 20'-0"



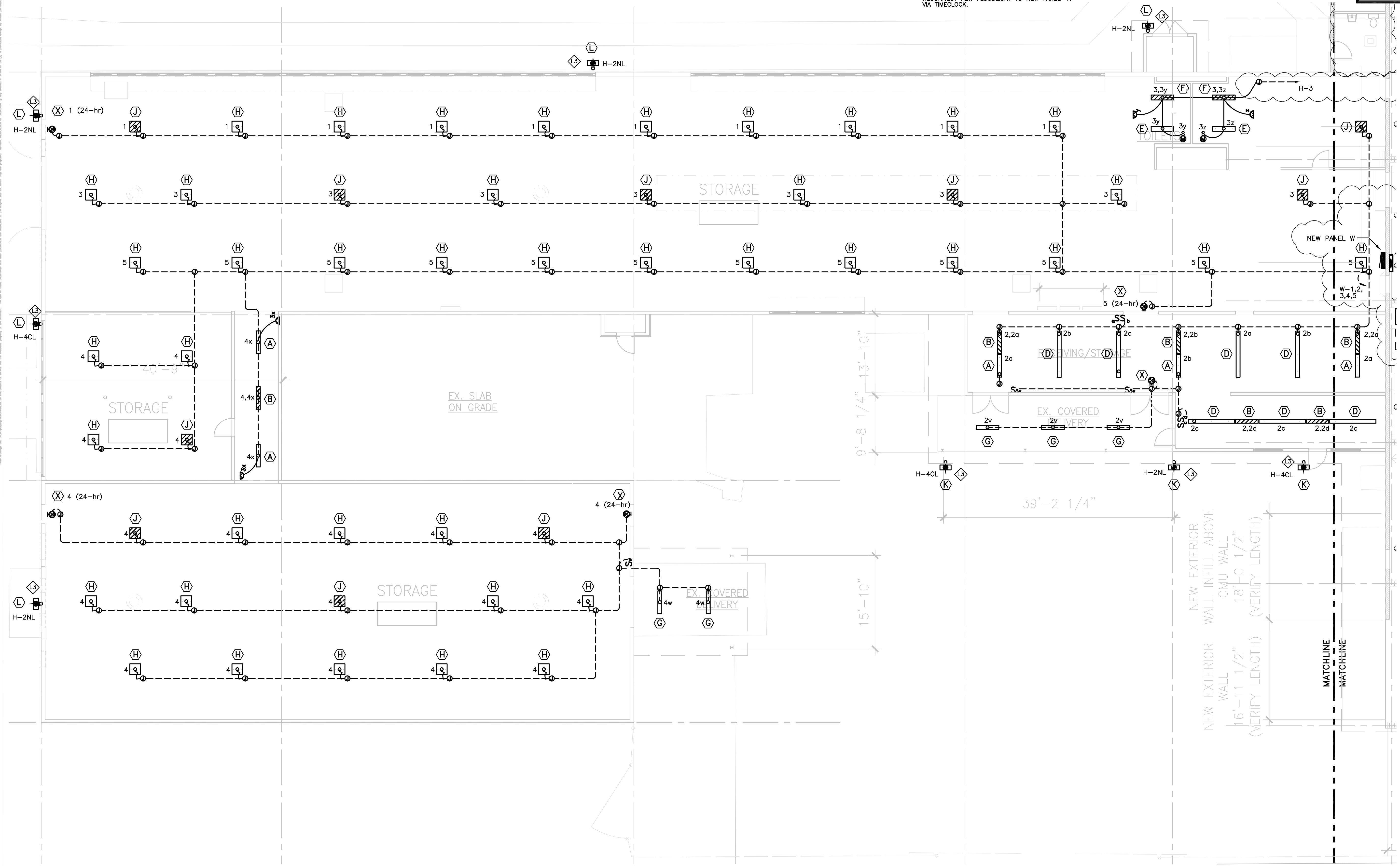
NAME: R:\DRA Projects\20007-0000 Hunt Co - Kalohele Building 152 Renew\2001-0.dwg DATE: DEC 24, 2020 TIME: 1:50PM BY: DRA

KEYNOTES (THIS SHEET)

- 1. EXISTING LUMINAIRES (ROW) IN EXISTING (FORMER) MARKET AREA TO REMAIN. [NO NEW WORK].
- 2. EXISTING LUMINAIRES (ROW) IN EXISTING (FORMER) MARKET AREA TO REMAIN. [NO NEW WORK].
- 3. DISCONNECT & REPLACE EXISTING EXTERIOR FLOODLIGHT; REMOVE EXISTING WIRING. RECONNECT NEW FLOODLIGHT TO NEW PANEL "H" VIA TIMELOCK.

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



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Daniel T. Itano
LICENSE EXPIRES: 30 APRIL 2022

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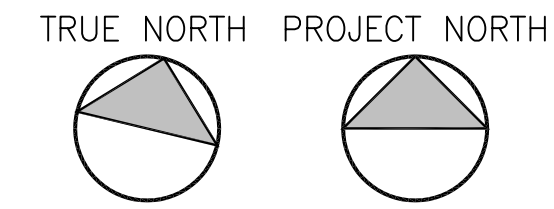
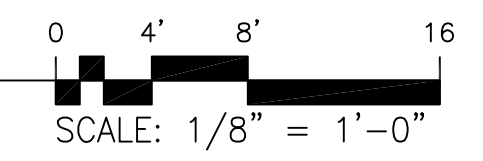
REVISION MARK	DATE	DESCRIPTION
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1	03/12/2021	OWNER REVISIONS

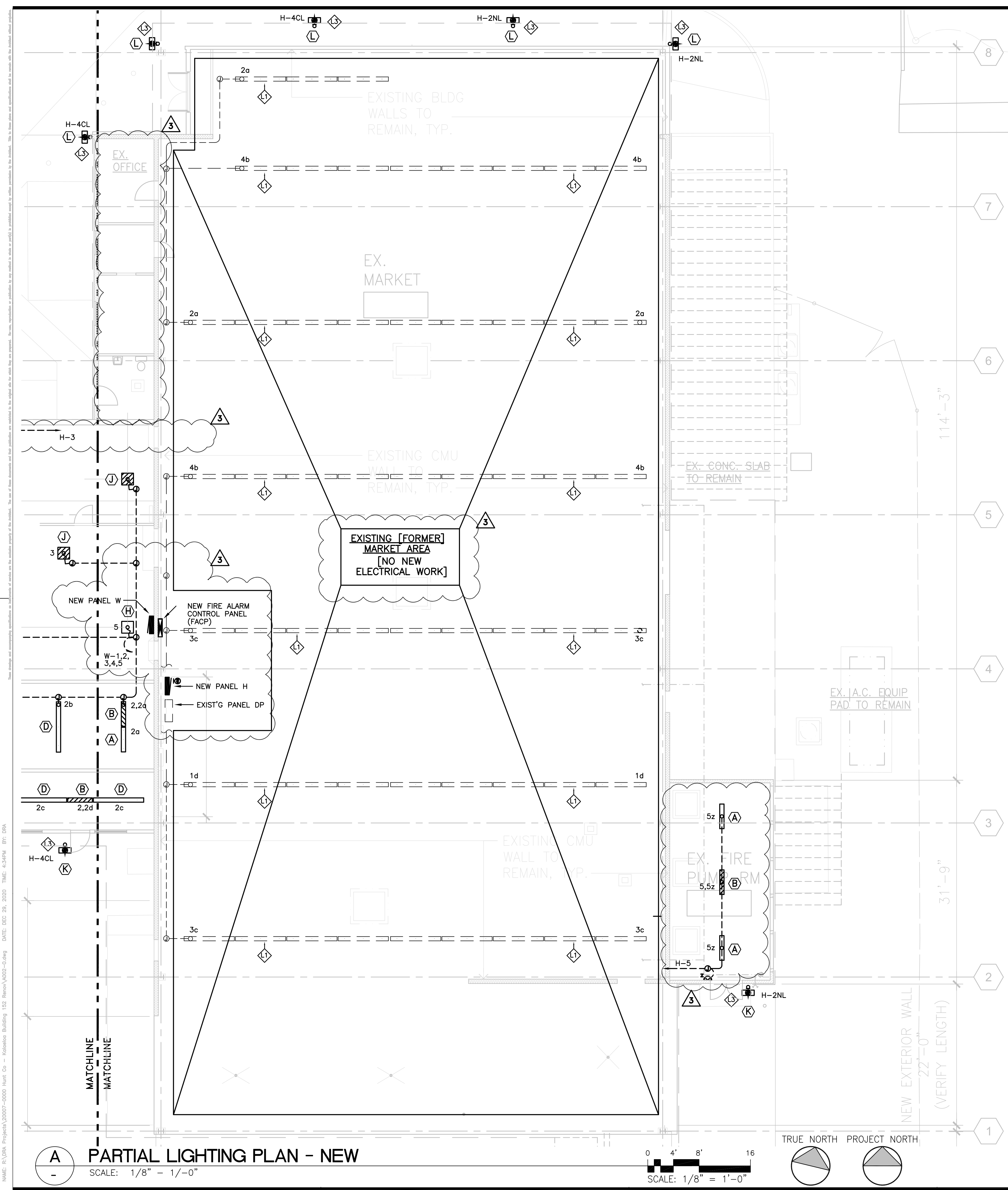
PROPOSED
**BUILDING ALTERATIONS
TO BUILDING 152
FOR:
HUNT
COMPANIES**
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
PARTIAL LIGHTING PAN - NEW

JOB NO. 20007-0000	DRAWING NO. 1
DRAWN MS	
CHECKED DRA	
DATE MAR 2021	

A PARTIAL LIGHTING PLAN - NEW
SCALE: 1/8" = 1'-0"





KEYNOTES (THIS SHEET)

- 1 EXISTING LUMINAIRES (ROW) IN EXISTING (FORMER) MARKET AREA TO REMAIN. [NO NEW WORK].
- 2 EXISTING LUMINAIRES (ROW) IN EXISTING (FORMER) MARKET AREA TO REMAIN. [NO NEW WORK].
- 3 DISCONNECT & REPLACE EXISTING EXTERIOR FLOODLIGHT; REMOVE EXISTING WIRING. RECONNECT NEW FLOODLIGHT TO NEW PANEL "H" VIA TIMECLOCK.

PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

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 ARCHITECTURE DESIGN INTERIORS
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 HONOLULU, HAWAII 96826
 (808) 292-6287

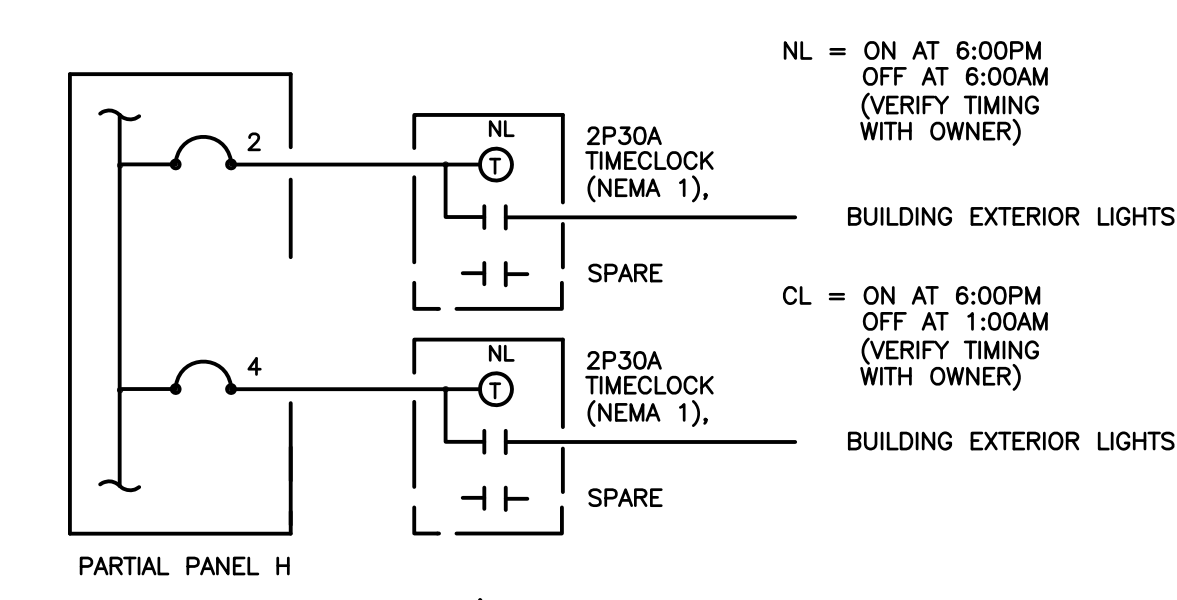
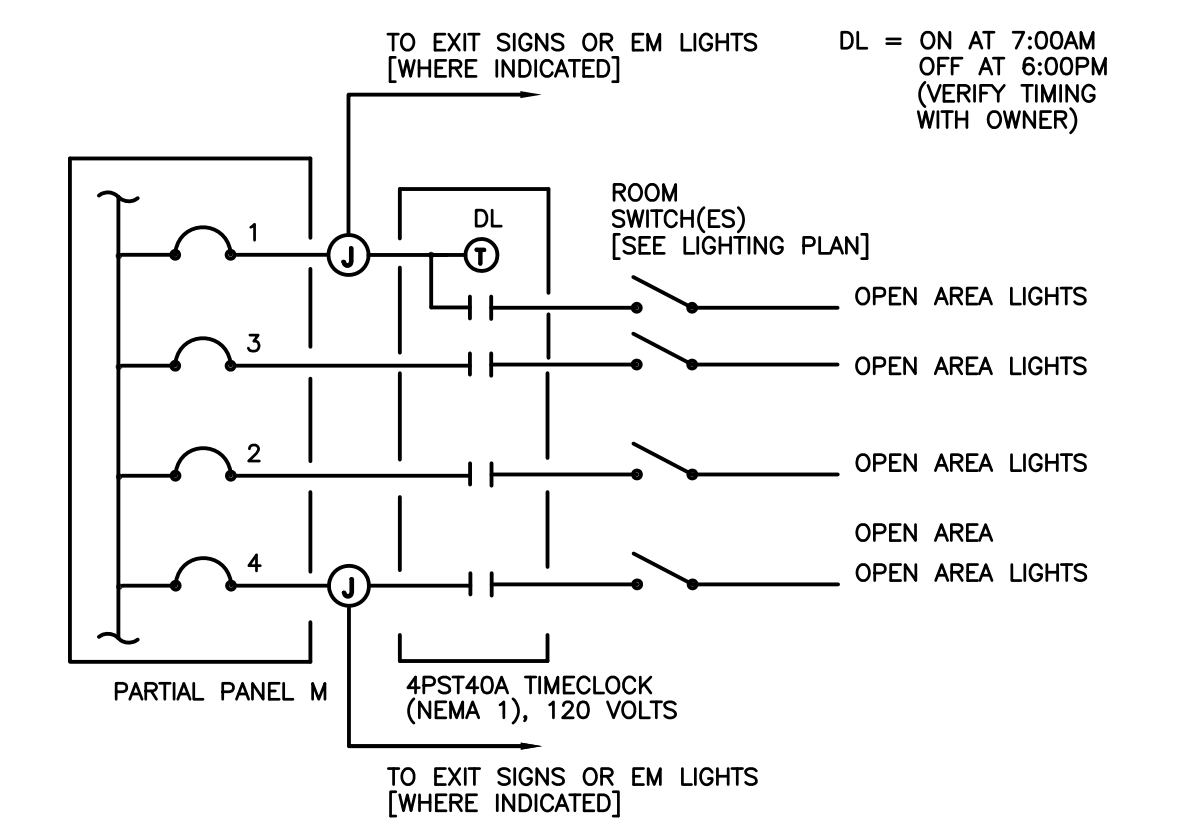
DIREL T. ITANO
 LICENSED PROFESSIONAL ENGINEER
 No. 4367-E
 HAWAII, U.S.A.

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Direl Itano
 LICENSE EXPIRES: 30 APRIL 2022

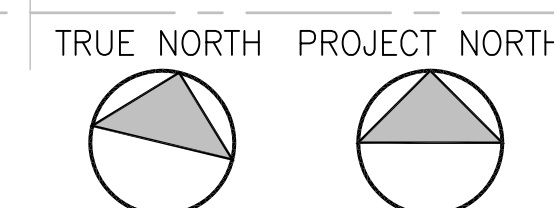
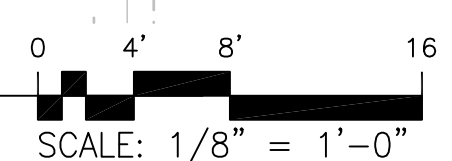
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- TYPICAL TIMECLOCK NOTES:**
1. TIMECLOCKS SHALL BE 7-DAY PROGRAMMABLE TYPE.
 2. TIMECLOCKS PROVIDED WITH ASTRONOMIC DIAL.
 3. BATTERY BACKUP (TO RETAIN PROGRAMMING [10 HOUR, MINIMUM]).
 4. AUTOMATIC HOLIDAY "SHUTOFF" FEATURE.
 5. OVERRIDE SWITCH:
 - a. MANUAL CONTROL.
 - b. WHEN INITIATED, PERMITS CONTROLLED LIGHTING TO REMAIN ON FOR NOT MORE THAN 2 HOURS.
 - c. ANY INDIVIDUAL OVERRIDE SWITCH SHALL CONTROL THE LIGHTING FOR AN AREA NOT LARGER THAN 5,000 SQUARE FEET.

A PARTIAL LIGHTING PLAN - NEW
 SCALE: 1/8" = 1'-0"



B LIGHTING CONTROL DIAGRAMS
 SCALE: NONE

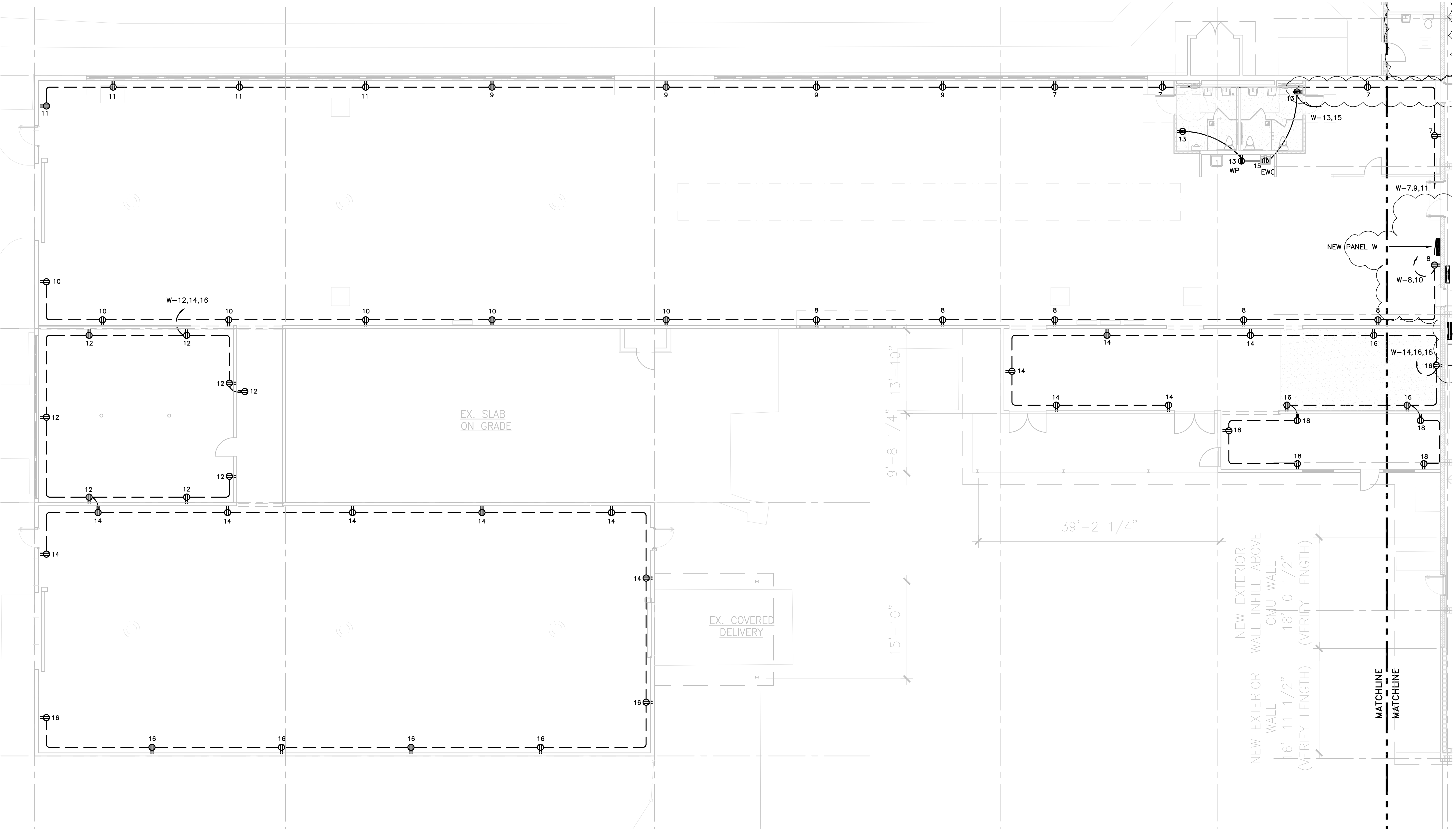
PROJECT
BUILDING ALTERATIONS TO BUILDING 152 FOR: HUNT COMPANIES
 91-1057 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

SHEET TITLE
 PARTIAL LIGHTING PLAN -NEW
 LIGHTING CONTROL DIAGRAMS

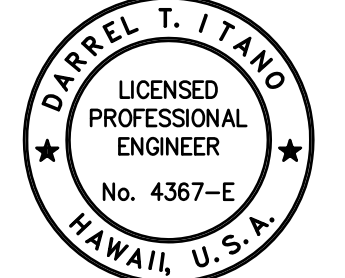
JOB NO. 20007-0000	DRAWING NO. 1
DRAWN SM	1003.1
CHECKED DRA	
DATE MAR 2021	SHEET OF

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



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David T. Itano
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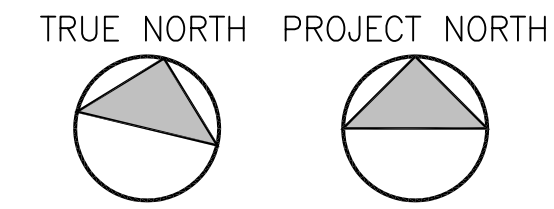
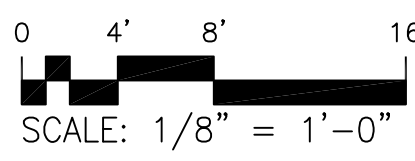
REVISION MARK	DATE	DESCRIPTION
△	05/10/2021	OWNER REV. (REDUCED SOW)
△	03/12/2021	OWNER REVISIONS

PROPOSED
**BUILDING ALTERATIONS
TO BUILDING 152
FOR:
HUNT
COMPANIES**
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
PARTIAL POWER & SIGNAL PLAN -
EXISTING / DEMOLITION

JOB NO. 20007-0000	DRAWING NO. 1
DRAWN MS	3003.2
CHECKED DRA	
DATE MAR 2021	

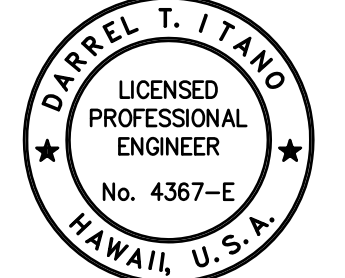
A PARTIAL POWER + SIGNAL PLAN - NEW
SCALE: 1/8" = 1'-0"



NAME: R:\DRA Projects\20007-0000 Hunt Co - Kaloalea Building 152 Revise\2007-0000.dwg DATE: DEC 29, 2020 TIME: 4:29PM BY: DRA

PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

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Architecture LLC
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HONOLULU, HAWAII 96826
(808) 292-6287



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Dorel T. Itano
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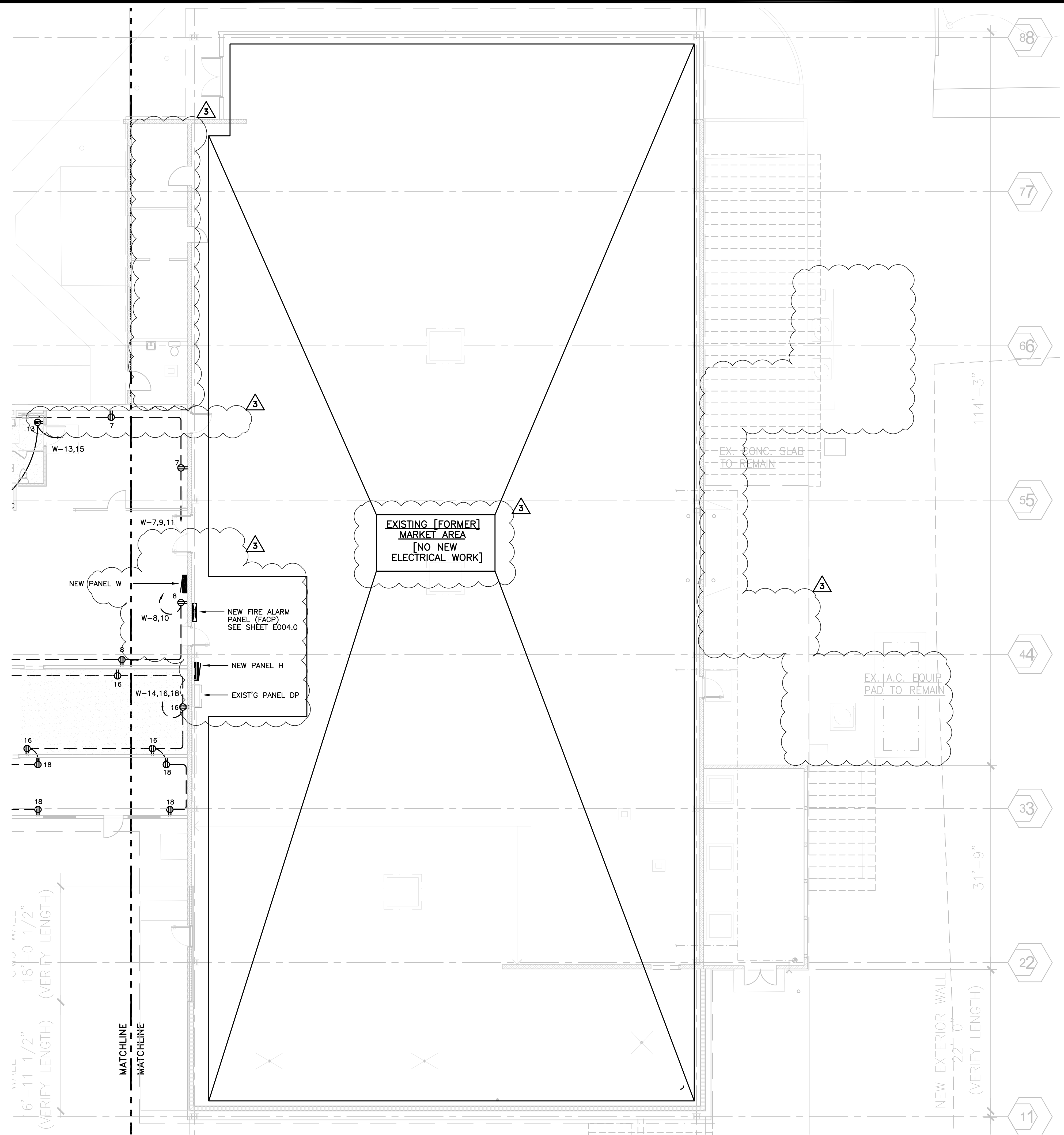
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△	05/10/2021	OWNER REV. (REDUCED SOW)
▲	03/12/2021	OWNER REVISIONS
●	REVISION MARK	● DATE ● DESCRIPTION

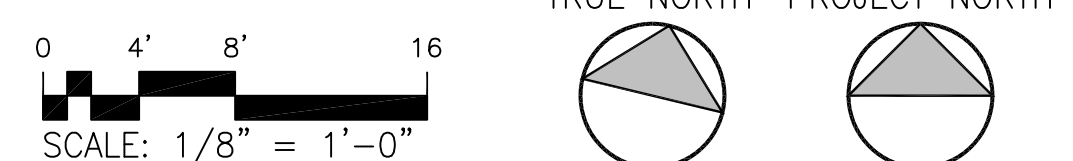
PROPOSED
**BUILDING ALTERATIONS
TO BUILDING 152
FOR:
HUNT
COMPANIES**
91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
PARTIAL POWER & SIGNAL PLAN -
EXISTING/DEMOLITION

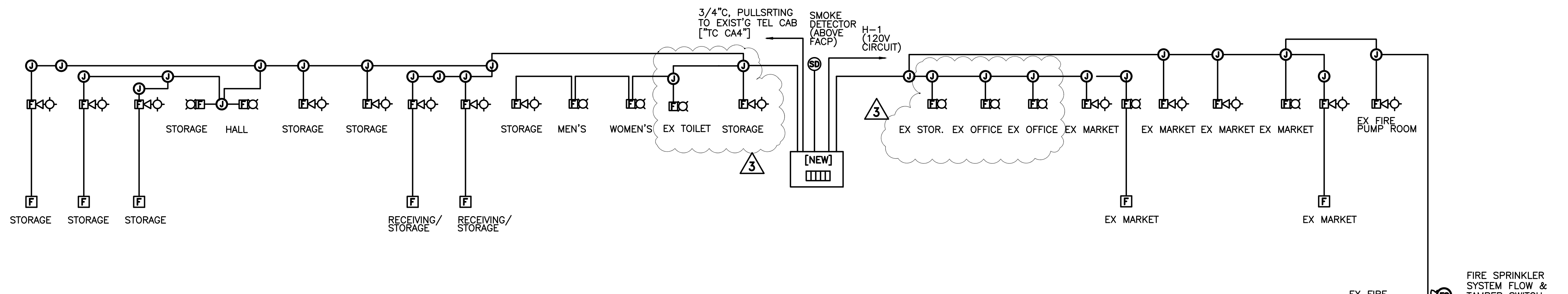
JOB NO. 20007-0000	DRAWING NO. ▲
DRAWN MS	E003.3
CHECKED DRA	
DATE MAR 2021	
SHEET OF	



A PARTIAL POWER + SIGNAL PLAN - NEW
SCALE: 1/8" = 1'-0"



NAME: R:\DRA Projects\20007-0000 Hunt Co - Kalohelele Building 152 Revise\003-003.dwg DATE: DEC 29, 2020 TIME: 4:24PM BY: DRA



PALAKAMA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

FIRE ALARM NOTES NOTES

AHJ APPROVAL
 13.1.1 THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE THAT CONSTRUCTION DOCUMENTS FOR ALL FIRE PROTECTION SYSTEMS BE SUBMITTED FOR REVIEW AND APPROVAL AND A PERMIT BE ISSUED PRIOR TO THE INSTALLATION, REHABILITATION, OR MODIFICATION. FURTHER, THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE THAT FULL ACCEPTANCE TESTS OF THE SYSTEMS BE PERFORMED IN THE AHJ'S PRESENCE PRIOR TO FINAL SYSTEM CERTIFICATION.

FIRE ALARM SYSTEMS, FIRE HYDRANT SYSTEMS, FIRE EXTINGUISHING SYSTEMS, STANDPIPES AND OTHER FIRE-PROTECTION SYSTEMS AND APPURTENANCES REQUIRED BY THIS CODE SHALL BE APPROVED BY THE AHJ AS TO INSTALLATION AND LOCATION AND SHALL BE SUBJECT TO ACCEPTANCE TESTS REQUIRED BY THE APPROPRIATE COUNTY AGENCY. 2012 NFPA 1, CHAPTER 13, AS AMENDED.

DETECTION, ALARM AND COMMUNICATION SYSTEMS
 13.7.1.1 WHERE BUILDING FIRE ALARM SYSTEMS OR AUTOMATIC DETECTORS ARE REQUIRED BY OTHER SECTIONS OF THIS CODE, THEY SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH NFPA 70, NFPA 72, NATIONAL FIRE ALARM CODE AND SECTION 13.7.2012 NFPA 1.

72:10.15* PROTECTION OF FIRE ALARM SYSTEM
 IN AREAS THAT ARE NOT CONTINUOUSLY OCCUPIED, AUTOMATIC SMOKE DETECTION SHALL BE PROVIDED AT THE LOCATION OF EACH FIRE ALARM CONTROL UNIT(S). NOTIFICATION APPLIANCE CIRCUIT POWER EXTENDERS AND SUPERVISING STATION TRANSMITTING EQUIPMENT TO PROVIDE NOTIFICATION OF FIRE AT THAT LOCATION. EXCEPTION: WHERE AMBIENT CONDITIONS PROHIBIT INSTALLATION OF AUTOMATIC SMOKE DETECTION, AUTOMATIC HEAT DETECTION SHALL BE PERMITTED.

A.10.15...
 (1) WHERE CEILING IS 15 FT IN HEIGHT OR LESS THE SMOKE DETECTOR SHOULD BE LOCATED ON THE CEILING OR THE WALL WITHIN 21 FT OF THE CENTERLINE OF THE FIRE ALARM CONTROL UNIT BEING PROTECTED BY THE DETECTOR IN ACCORDANCE WITH 17.1.3.2.1.

(2) WHERE THE CEILING EXCEEDS 15 FT IN HEIGHT, THE AUTOMATIC SMOKE DETECTOR SHOULD BE INSTALLED ON THE WALL ABOVE AND WITHIN 6 FT FROM THE TOP OF THE CONTROL UNIT.

13.7.1.4.10.5 UNLESS OTHERWISE PROVIDED IN 13.7.1.4.10.5.8, NOTIFICATION SIGNALS FOR OCCUPANTS TO EVACUATE SHALL BE AUDIBLE AND VISUAL SIGNALS IN ACCORDANCE WITH NFPA 72 AND ICC/ANSI A117.1, AMERICAN NATIONAL STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, OR OTHER MEANS OF NOTIFICATION ACCEPTABLE TO THE AHJ SHALL BE PROVIDED.

13.7.1.4.8.6* FOR FIRE ALARM SYSTEMS USING AUTOMATIC FIRE DETECTION OR WATERFLOW DETECTION DEVICES TO INITIATE THE FIRE ALARM SYSTEM IN ACCORDANCE WITH CHAPTERS 11 THROUGH 43 OF NFPA 101, NOT LESS THAN ONE MANUAL FIRE ALARM BOX SHALL BE PROVIDED TO INITIATE A FIRE ALARM SIGNAL. THE MANUAL FIRE ALARM BOX SHALL BE LOCATED WHERE REQUIRED BY THE AHJ.

13.7.1.4.8.6 THE MANUAL FIRE ALARM BOX REQUIRED BY 13.7.1.4.8.6 IS INTENDED TO PROVIDE A MEANS TO MANUALLY ACTIVATE THE FIRE ALARM SYSTEM WHEN THE AUTOMATIC FIRE DETECTION SYSTEM OR WATERFLOW DEVICES ARE OUT OF SERVICE DUE TO TESTING OR MAINTENANCE, OR WHERE HUMAN INTERFERENCE OF THE FIRE PRECEDES AUTOMATIC FIRE SPRINKLER OR AUTOMATIC DETECTION SYSTEM ACTIVATION. WHERE THE FIRE ALARM SYSTEM IS CONNECTED TO A MONITORING FACILITY, THE MANUAL FIRE ALARM BOX REQUIRED BY 13.7.1.4.8.6 SHOULD BE CONNECTED TO A SEPARATE CIRCUIT THAT IS NOT PLACED ON TEST WHEN THE DETECTION OR SPRINKLER SYSTEM IS PLACED ON TEST. THE MANUAL FIRE ALARM BOX SHOULD BE LOCATED IN AN AREA THAT IS ACCESSIBLE TO OCCUPANTS OF THE BUILDING AND SHOULD NOT BE LOCKED. (USUALLY FOR 20+ HEADS MINIMUM FOR REQUIRED MONITORING PER BUILDING CODE).

13.7.1.4.8.3 A MANUAL FIRE ALARM BOX SHALL BE PROVIDED QS FOLLOWS, UNLESS MODIFIED BY ANOTHER SECTION OF THIS CODE:

(1) FOR NEW ALARM INSTALLATIONS, THE MANUAL FIRE ALARM BOX SHALL BE LOCATED WITHIN 5 FT OF EXIT DOORWAYS.

(2) FOR EXISTING ALARM SYSTEM INSTALLATIONS, THE MANUAL FIRE ALARM BOX EITHER SHALL BE PROVIDED IN THE NATURAL EXIT PATH NEAR EACH REQUIRED EXIT OR WITHIN 5 FT OF EXIT DOORWAYS.

13.7.1.4.8.5* ADDITIONAL MANUAL FIRE ALARM BOXES SHALL BE LOCATED SO THAT, ON ANY GIVEN FLOOR IN ANY PART OF THE BUILDING, NO HORIZONTAL DISTANCE ON THAT FLOOR EXCEEDING 200 FEET (60 M) SHALL BE NEEDED TO BE TRAVERSED TO REACH A MANUAL FIRE ALARM BOX.

13.7.3.3.4 THE OPERABLE PART OF EACH MANUAL FIRE ALARM BOX SHALL BE ACCESSIBLE, UNOBSTRUCTED, AND VISIBLE.

13.7.3.3.4 THE OPERABLE PART OF EACH MANUAL FIRE ALARM BOX SHALL BE NOT LESS THAN 42IN. AND NOT MORE THAN 48 IN. ABOVE FLOOR LEVEL.

13.7.3.3.6 MANUAL FIRE ALARM BOXES SHALL BE LOCATED WITHIN 60IN. OF THE EXIT DOORWAY OPENING AT EACH EXIT ON EACH FLOOR. THE LOCATION OF THE MANUAL FIRE ALARM BOX MAY BE MODIFIED BY THE AHJ.

13.7.3.2.1 APPROVAL AND ACCEPTANCE.
 13.7.3.2.1.2 BEFORE REQUESTING FINAL APPROVAL OF THE INSTALLATION, IF REQUIRED BY THE AHJ, THE INSTALLING CONTRACTOR SHALL FURNISH A WRITTEN STATEMENT STATING THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH APPROVED PLANS AND TESTED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS AND THE APPROPRIATE NFPA REQUIREMENTS.

13.7.3.2.1.3* THE RECORD COMPLETION FORM, FIGURE 10.18.2.1.1 OF NFPA 72, SHALL BE PERMITTED TO BE PART OF THE WRITTEN STATEMENT REQUIRED IN 13.7.3.2.1.3. WHEN MORE THAN ONE CONTRACTOR HAS BEEN RESPONSIBLE FOR THE INSTALLATION, EACH CONTRACTOR SHALL COMPLETE THE PORTION OF THE FORM FOR WHICH THAT CONTRACTOR HAD RESPONSIBILITY.

FIRE ALARM AUDIBILITY/VISIBILITY
 FIRE ALARM AUDIBILITY/VISIBILITY REQUIREMENTS WILL BE TESTED IN ALL OCCUPIABLE SPACES WITH DOORS IN THE CLOSED POSITION. ENSURE THAT SUFFICIENT DEVICES ARE PROVIDED TO MEET REQUIREMENT. VISIBLE DEVICES SHOULD ALSO BE LOCATED IN ALL OCCUPIABLE AREAS, UNLESS THE EFFECTS OF DIAGRAMMED VISUAL DEVICES CAN BE SEEN FROM THE OCCUPIABLE SPACE. IN SUCH CASES, NO VISIBLE DEVICES NEED TO BE INSTALLED. SEE 13.7.1.4.10.5.

RETENTION OF PLANS
 18-5.2 RETENTION OF PLANS
 ONE SET OF APPROVED PLANS, SPECIFICATIONS, AND COMPUTATIONS SHALL BE RETAINED BY THE BUILDING OFFICIAL FOR A PERIOD OF NOT LESS THAN 90 DAYS FROM DATE OF COMPLETION OF THE WORK COVERED THEREIN, AND ONE SET OF APPROVED PLANS SHALL BE RETURNED TO THE APPLICANT, AND SAID SET SHALL BE KEPT ON THE SITE OF THE BUILDING OR WORK AT ALL TIMES DURING WHICH THE WORK AUTHORIZED THEREBY IS IN PROGRESS. (SEC 18-5.2 R.O. 1978 (1983 ED.); AM. ORD. 93-50).

FIRE SAFETY NOTE
 STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND THIS CHAPTER, 2012 NFPA 1.

FIRE SAFETY DURING ALTERATIONS
 16.4.4.1 WHERE THE BUILDING IS PROTECTED BY FIRE PROTECTION SYSTEMS, SUCH SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING ALTERATIONS.
 16.4.4.2 WHERE ALTERATION REQUIRES MODIFICATION OF A PORTION OF THE FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE AND THE FIRE DEPARTMENT SHALL BE NOTIFIED.
 16.4.4.3 WHEN IT IS NECESSARY TO SHUT DOWN THE SYSTEM, THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE ALTERNATE MEASURES OF PROTECTION UNTIL THE SYSTEM IS RETURNED TO SERVICE.

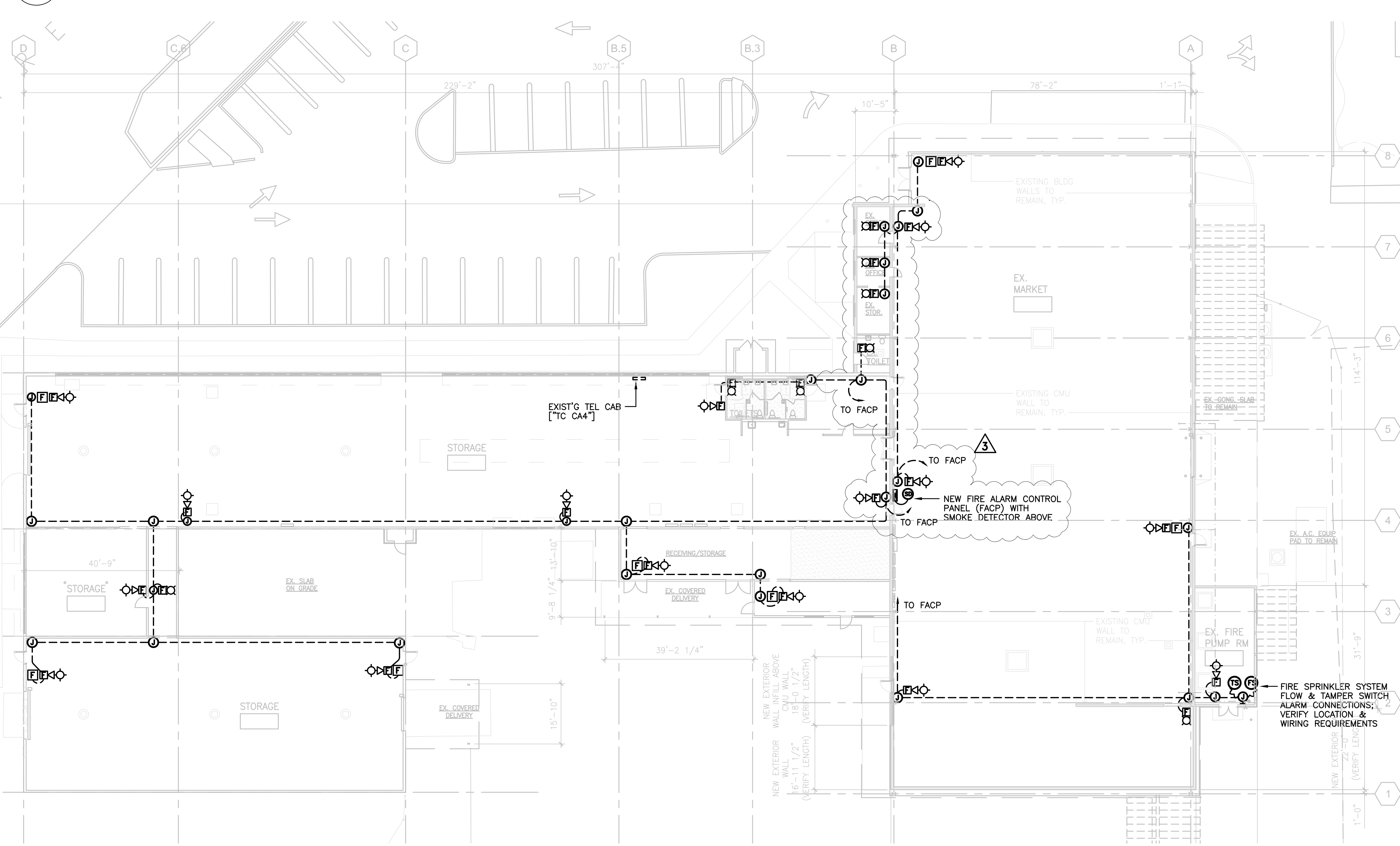
10.8.1.1 AS NECESSARY DURING EMERGENCIES, MAINTENANCE, DRILLS, PRESCRIBED TESTING, ALTERATIONS, OR RENOVATIONS, PORTABLE OR FIXED FIRE EXTINGUISHING SYSTEMS OR DEVICES OR ANY FIRE-WARNING SYSTEM SHALL BE PERMITTED TO BE MADE INOPERATIVE OR INACCESSIBLE. A FIRE WATCH SHALL BE REQUIRED AS SPECIFIED IN SECTIONS 13.3.4.3.5.2(3), 13.7.1.4.4, 16.5.4.20.2.3.6, 34.6.3.3, 41.2.2.5, 41.2.2.6, 41.2.4, 41.3.4, 41.4.1, 34.5.4.3, AND 25.1.8 AND AT NO COST TO THE AHJ. NFPA 1 2006, AS AMENDED.

13.1.9 WHEN A FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR MORE THAN 4 HOURS IN A 24-HOUR PERIOD, THE AHJ SHALL BE PERMITTED TO REQUIRE THE BUILDING TO BE EVACUATED OR AN APPROVED FIRE WATCH TO BE PROVIDED FOR ALL PORTIONS LEFT UNPROTECTED BY THE FIRE PROTECTION SYSTEM SHUT-DOWN UNTIL THE FIRE PROTECTION SYSTEM HAS BEEN RETURNED TO SERVICE.

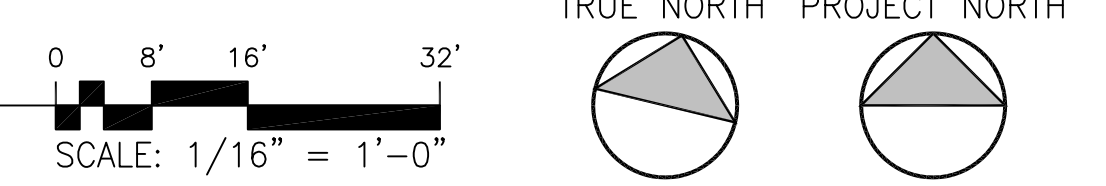
LEGEND

- AUDIBLE/VISUAL ALARM +80" TO BOTTOM OF DEVICE
- VISUAL ALARM (STROBE) +80" TO BOTTOM OF DEVICE
- FIRE SPRINKLER FLOW SWITCH CONNECTION
- FIRE SPRINKLER TAMPER SWITCH CONNECTION
- SMOKE DETECTOR (PHOTOELECTRIC) (ABOVE FACP)
- MANUAL (PULL) STATION, + 48" TO TOP OF OPERATING HANDLE
- (EX) EXISTING

A FIRE ALARM PLAN - NEW
 SCALE: 1/16" = 1'-0"



A FIRE ALARM PLAN - NEW
 SCALE: 1/16" = 1'-0"



DRA Architecture LLC
 ARCHITECTURE DESIGN INTERIORS
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 HONOLULU, HAWAII 96826
 (808) 292-6287

LICENSING INFORMATION
 LICENSED PROFESSIONAL ENGINEER
 No. 4367-E
 HAWAII, U.S.A.
 LICENSE EXPIRES: 30 APRIL 2022

GENERAL NOTES
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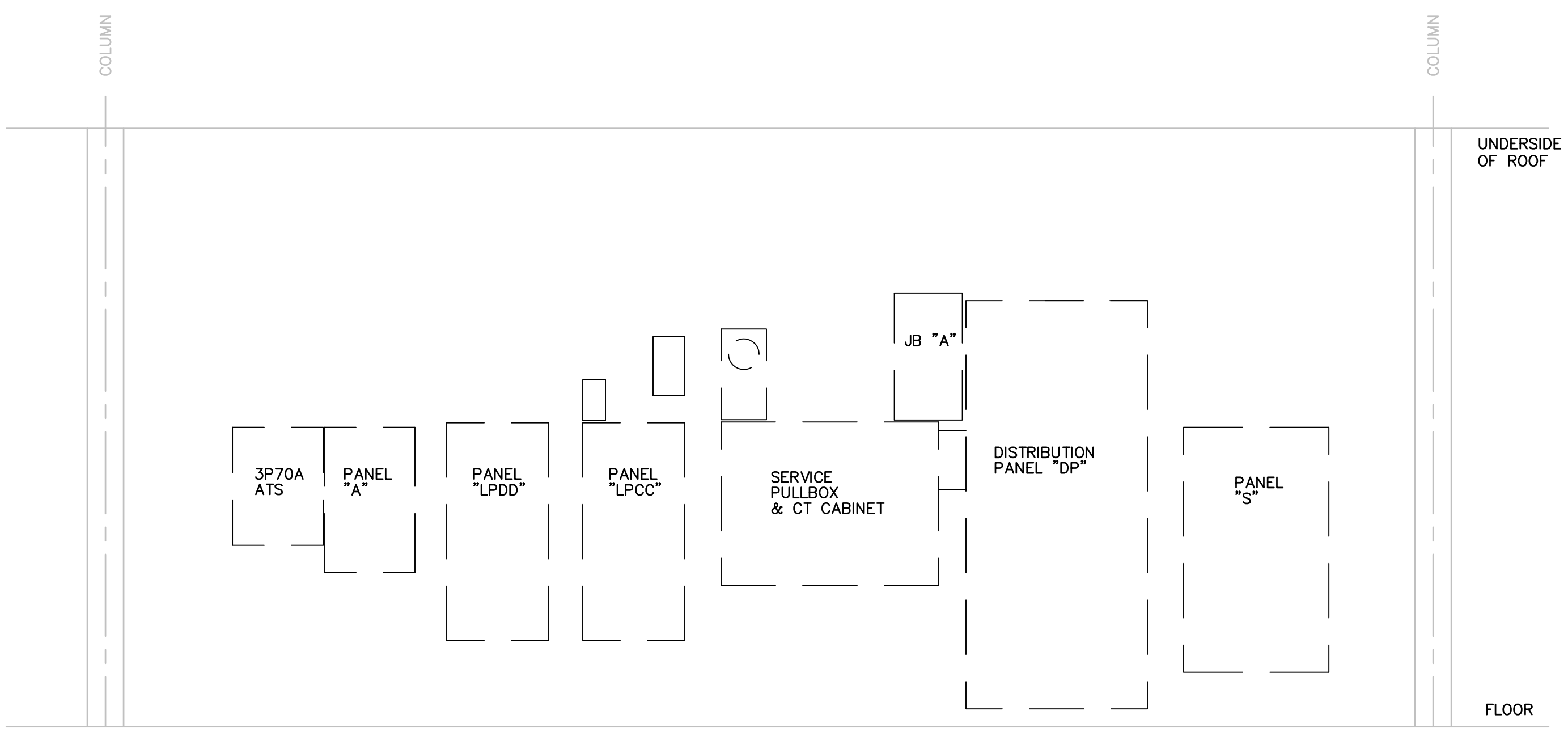
05/10/2021 OWNER REV. (REDUCED SOW)
 REVISION MARK • DATE • DESCRIPTION

PROPOSED
**BUILDING ALTERATIONS
 TO BUILDING 152
 FOR:
 HUNT
 COMPANIES**
 91-1057 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

SHEET TITLE

FIRE ALARM PLAN - NEW
 FIRE ALARM DIAGRAM
 FIRE ALARM NOTES

JOB NO. 20007-0000	DRAWING NO.
DRAWN MS	
CHECKED DRA	
DATE MAR 2021	SHEET OF



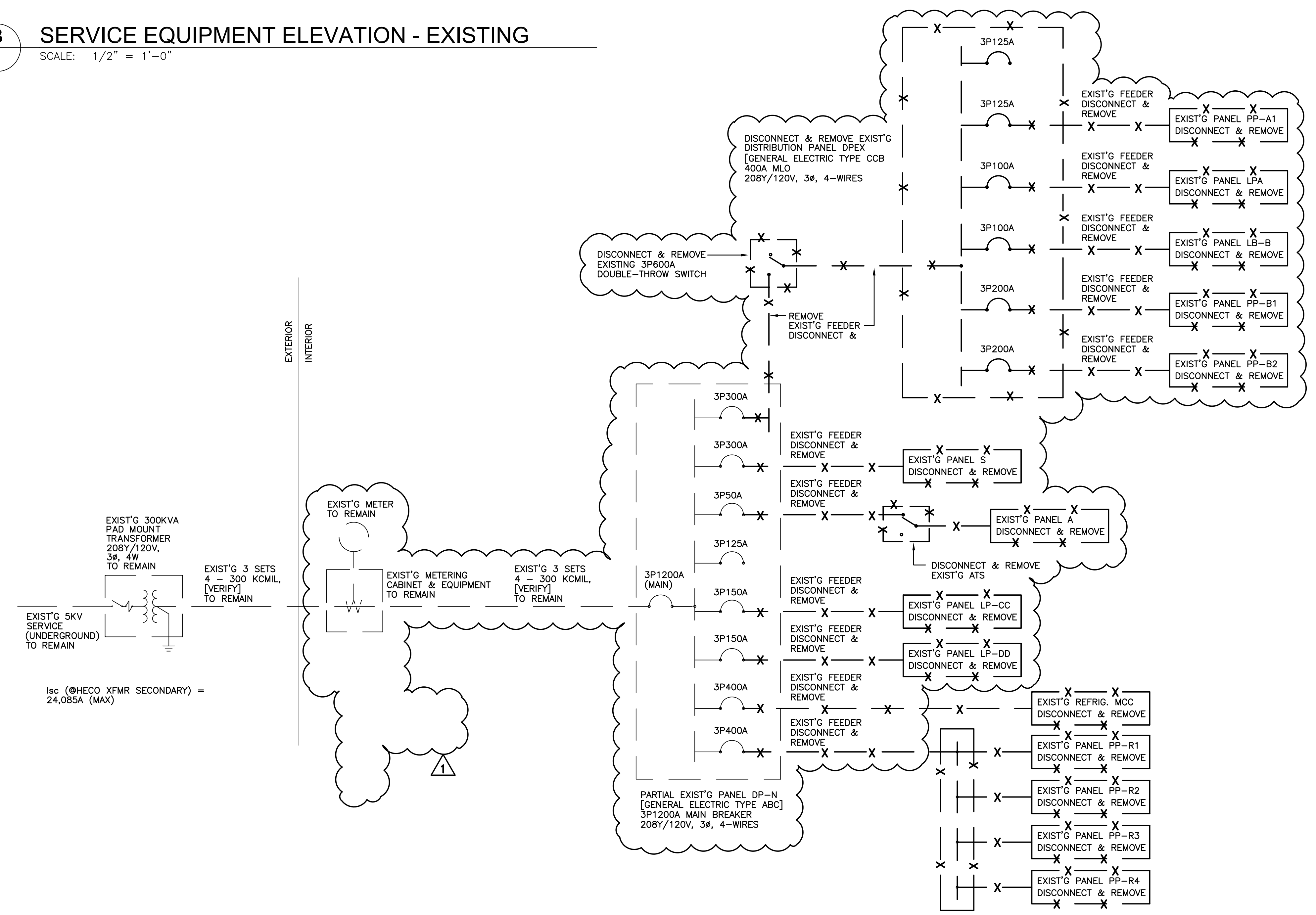
PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE

MECHANICAL CODE ZPRB (LAND USE ORDINANCE)

STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

B SERVICE EQUIPMENT ELEVATION - EXISTING
SCALE: 1/2" = 1'-0"



A SINGLE LINE DIAGRAM - EXISTING / DEMOLITION
SCALE: NONE

DRA
Architecture LLC
ARCHITECTURE DESIGN INTERIORS
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HONOLULU, HAWAII 96826
(808) 292-6287

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LICENSE EXPIRES: 30 APRIL 2022

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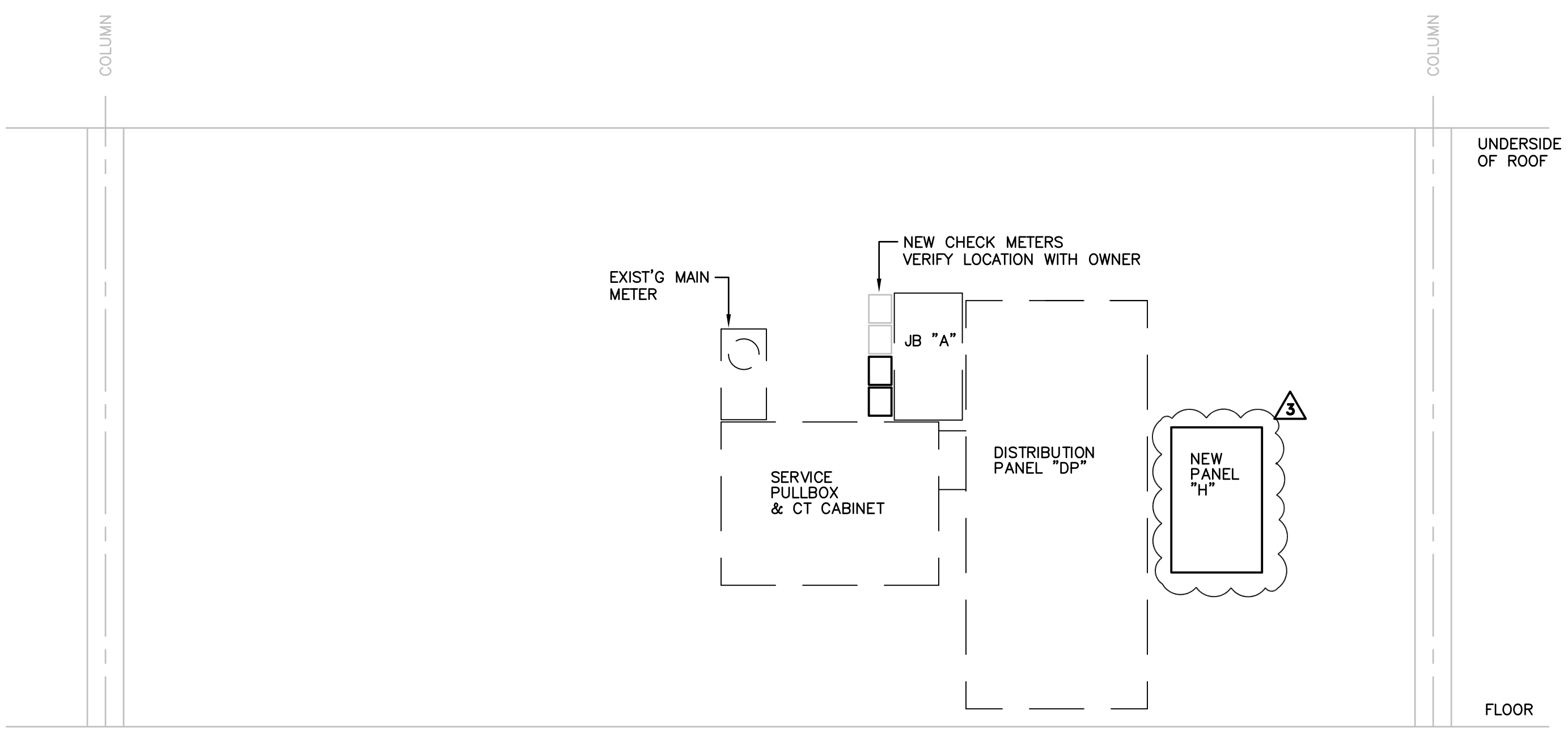
03/12/2021 OWNER REVISIONS
REVISION MARK DATE DESCRIPTION

PROPOSED
**BUILDING ALTERATIONS
TO BUILDING 152
FOR:
HUNT
COMPANIES**

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
SINGLE LINE DIAGRAM - EXISTING/DEMOLITION
SERVICE EQUIPMENT ELEVATION - EXISTING

JOB NO. 20007-0000 DRAWING NO.
DRAWN MS
CHECKED DI
DATE MAR 2021 SHEET OF

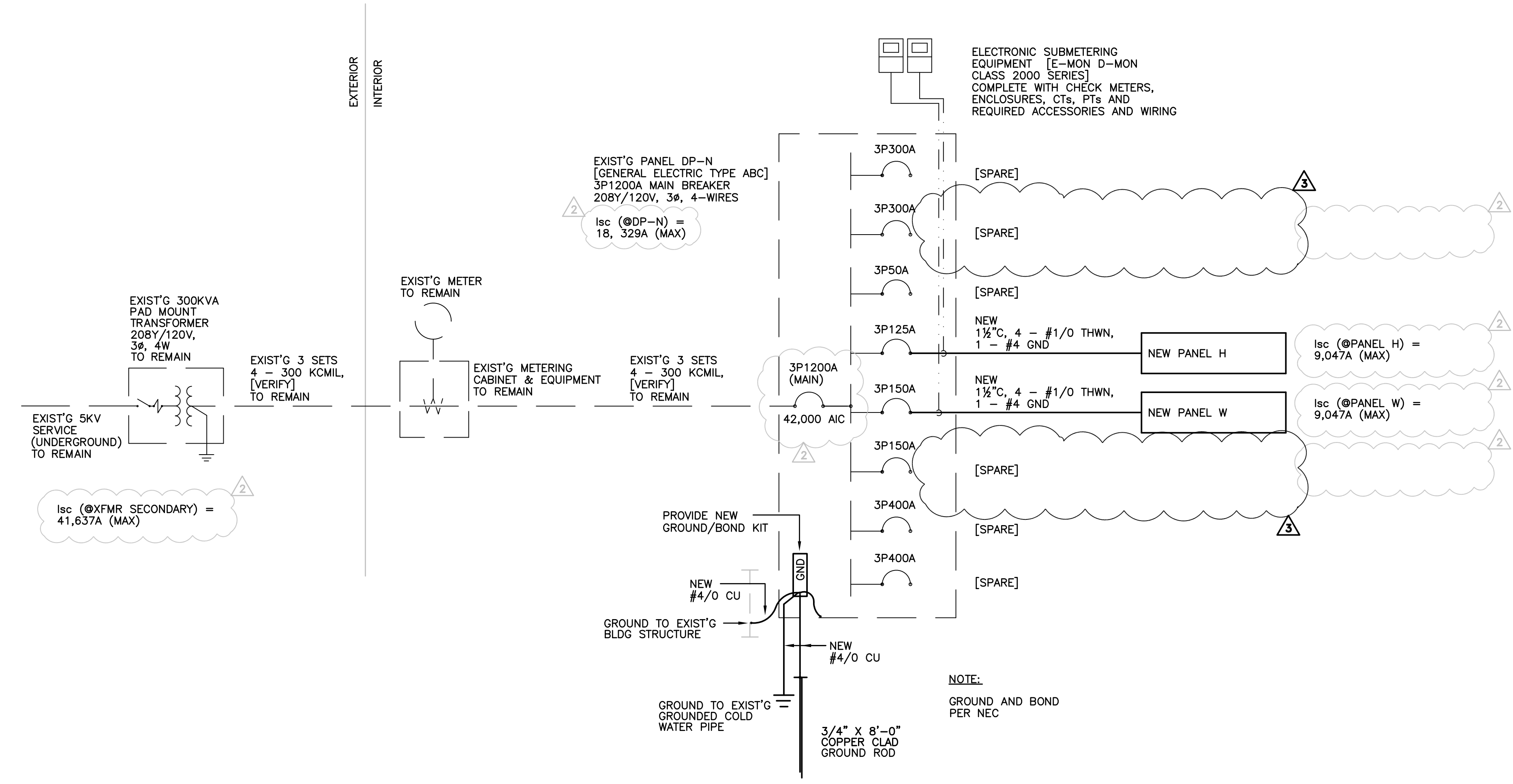


PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

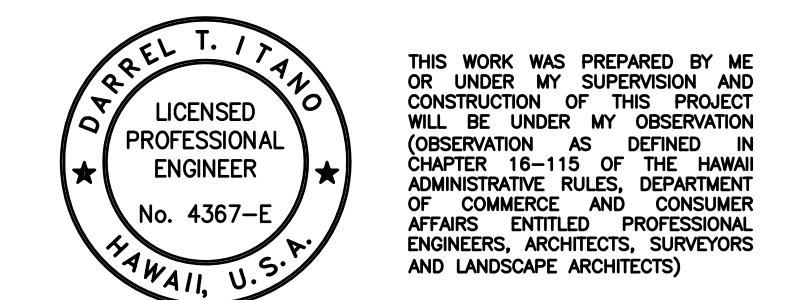
B SERVICE EQUIPMENT ELEVATION - NEW
SCALE: 1/2" = 1'-0"

ESTIMATED LOAD DATA			
LOAD	CONNECTED KVA	DEMAND FACTOR	DEMAND KVA
LIGHTS	13.0	1.0	13.0
RECEPTACLES	11.9	NEC	11.0
HVAC	34.6	0.9	31.1
TOTAL	59.5		55.1



A SINGLE LINE DIAGRAM - NEW
SCALE: NONE

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- 3 05/10/2021 OWNER REV. (REDUCED SOW)
 - 2 04/15/2021 TPR COMMENTS
 - 1 03/12/2021 OWNER REVISIONS
- REVISION MARK DATE DESCRIPTION

PROPOSED
**BUILDING ALTERATIONS
TO BUILDING 152
FOR:
HUNT
COMPANIES**

91-1057 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
SINGLE LINE DIAGRAM - NEW
SERVICE EQUIPMENT ELEVATION - NEW

JOB NO. 20007-0000 DRAWING NO. 1003.1
DRAWN MS
CHECKED DI
DATE MAR 2021 SHEET OF

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

PANEL M OMIT 208Y/120 VOLTS 3 PHASE 4 WIRE
 TYPE INDUSTRIAL BOLTED 10K AIC, MIN. BREAKERS
 225A BUS GROUND KIT FLUSH MOUNTING
 SURFACE

225A MAIN LUGS ONLY NOTES:

CKT	LOAD	BKR	WIRE SIZE	A	B	C	WIRE SIZE	BKR	LOAD	CKT
1	LIGHTS	20A	10	1.5			10	20A	LIGHTS	2
3	LIGHTS	20A	10	1.5			10	20A	LIGHTS	4
5	SPARE	20A						20A	SPARE	6
7	OUTLETS	20A	12	0.7			12	20A	OUTLETS	8
9	OUTLETS	20A	12	0.7			12	20A	OUTLETS	10
11	OUTLETS	20A	12	0.7			12	20A	OUTLETS	12
13	SPARE	20A						20A	SPARE	14
15	SPARE	20A						20A	SPARE	16
17	SPARE	20A						20A	SPARE	18
19	P F B	1 P						1 P	P F B	20
21	P F B	1 P						1 P	P F B	22
23	P F B	1 P						1 P	P F B	24
25	P F B	1 P						1 P	P F B	26
27	P F B	1 P						1 P	P F B	28
29	P F B	1 P						1 P	P F B	30
31	P F B	1 P						1 P	P F B	32
33	P F B	1 P						1 P	P F B	34
35	P F B	1 P						1 P	P F B	36
37	P F B	1 P						1 P	P F B	38
39	P F B	1 P						1 P	P F B	40
41	P F B	1 P						1 P	P F B	42
TOTAL KVA/PHASE				4.4	4.4	1.4	CONN LOAD		10.2	
							DEM FAC		0.8	
							DEM LOAD		8.2	

PANEL H 208Y/120 VOLTS 3 PHASE 4 WIRE
 TYPE INDUSTRIAL BOLTED 10K AIC, MIN. BREAKERS
 225A BUS GROUND KIT FLUSH MOUNTING
 SURFACE

225A MAIN LUGS ONLY NOTES:

CKT	LOAD	BKR	WIRE SIZE	A	B	C	WIRE SIZE	BKR	LOAD	CKT
1	FIRE ALARM [FACP]	20A	12	0.2			10	20A	LIGHTS - NL	2
3	LIGHTS - RESTROOM	20A	12	0.7			10	20A	LIGHTS - CL	4
5	LIGHTS - MECH RM.	20A	12	0.7			10	20A	SPARE	6
7	P F B	1 P						1 P	P F B	8
9	P F B	1 P						1 P	P F B	10
11	P F B	1 P						1 P	P F B	12
13	P F B	1 P						1 P	P F B	14
15	P F B	1 P						1 P	P F B	16
17	P F B	1 P						1 P	P F B	18
19	P F B	1 P						1 P	P F B	20
21	P F B	1 P						1 P	P F B	22
23	P F B	1 P						1 P	P F B	24
TOTAL KVA/PHASE				1.0	0.7	0.0	CONN LOAD		1.7	
							DEM FAC		1.0	
							DEM LOAD		1.7	

PANEL W 208Y/120 VOLTS 3 PHASE 4 WIRE
 TYPE INDUSTRIAL BOLTED 10K AIC, MIN. BREAKERS
 225A BUS GROUND KIT FLUSH MOUNTING
 SURFACE

225A MAIN LUGS ONLY NOTES:

CKT	LOAD	BKR	WIRE SIZE	A	B	C	WIRE SIZE	BKR	LOAD	CKT	
1	LIGHTS	20A	10	1.2			10	20A	LIGHTS	2	
3	LIGHTS	20A	10	1.2			10	20A	LIGHTS	4	
5	LIGHTS	20A	10	0.9			10	20A	SPARE	6	
7	OUTLETS	20A	12	0.7			10	20A	OUTLETS	8	
9	OUTLETS	20A	12	0.7			10	20A	OUTLETS	10	
11	OUTLETS	20A	12	0.7			10	20A	OUTLETS	12	
13	OUTLETS	20A	12	0.7			10	20A	OUTLETS	14	
15	OUTLET - EWC	20A	12	0.7			10	20A	OUTLETS	16	
17	SPARE	20A						10	20A	OUTLETS	18
19	P F B	1 P						20A	SPARE	20	
21	P F B	1 P						20A	SPARE	22	
23	P F B	1 P						20A	SPARE	24	
25	P F B	1 P						1 P	P F B	26	
27	P F B	1 P						1 P	P F B	28	
29	P F B	1 P						1 P	P F B	30	
31	P F B	1 P						1 P	P F B	32	
33	P F B	1 P						1 P	P F B	34	
35	P F B	1 P						1 P	P F B	36	
37	P F B	1 P						1 P	P F B	38	
39	P F B	1 P						1 P	P F B	40	
41	P F B	1 P						1 P	P F B	42	
TOTAL KVA/PHASE				5.2	5.2	3.1	CONN LOAD		13.5		
							DEM FAC		0.8		
							DEM LOAD		10.8		

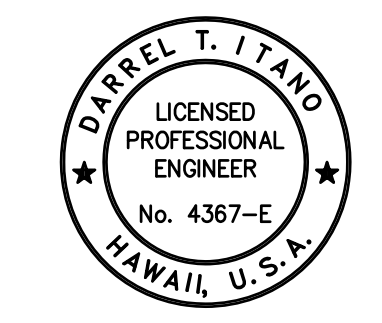
PANEL AC OMIT 208Y/120 VOLTS 3 PHASE 4 WIRE
 TYPE INDUSTRIAL BOLTED 10K AIC, MIN. BREAKERS
 400A BUS GROUND KIT FLUSH MOUNTING
 SURFACE

400A MAIN LUGS ONLY NOTES: NEMA 3R ENCLOSURE

CKT	LOAD	BKR	WIRE SIZE	A	B	C	WIRE SIZE	BKR	LOAD	CKT
1	OUTLET - EXTERIOR	20A	12	0.7			8			2
3	SPARE	20A	12				8	3 P	ACCU-2	4
5	SPARE	20A	12				8	60A		6
7		6	5.1				8			8
9	ACCU-1	3 P	6	5.1			8	3 P	ACCU-3	10
11		70A	8	3.1			8	60A		12
13		10	2.1				10			14
15	FCU -1 (EXIST'G) [VERIFY REQUIREMENTS]	3 P	40A	2.1			10	3 P	FCU -2 (EXIST'G) [VERIFY REQUIREMENTS]	16
17		10	2.1				10	40A		18
19	P F B	1 P					10			20
21	P F B	1 P					10	3 P	FCU -3 (EXIST'G) [VERIFY REQUIREMENTS]	22
23	P F B	1 P					10	40A		24
25	P F B	1 P					10			26
27	P F B	1 P					10			28
29	P F B	1 P					10			30
31	P F B	1 P					10			32
33	P F B	1 P					10			34
35	P F B	1 P					10			36
37	P F B	1 P					10			38
39	P F B	1 P					10			40
41	P F B	1 P					10			42
TOTAL KVA/PHASE				12.0	11.3	11.3	CONN LOAD		34.6	
							DEM FAC		1.0	
							DEM LOAD		34.6	

(G) = GROUND FAULT BREAKER

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David T. Itano

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05/10/2021 OWNER REV. (REDUCED SOW)
 03/12/2021 OWNER REVISIONS
 REVISION MARK • DATE • DESCRIPTION

PROPOSED
**BUILDING ALTERATIONS
 TO BUILDING 152
 FOR:
 HUNT
 COMPANIES**
 91-1057 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

PANEL SCHEDULES SHEET TITLE

JOB NO. 20007-0000 DRAWING NO. 1
 DRAWN MS
 CHECKED DRA
 DATE MAR 2021 SHEET OF

PROPOSED
 PARCEL 10 BUILDING IMPROVEMENTS
 FOR

HUNT COMMUNITIES HAWAII
 [PHASE 2]

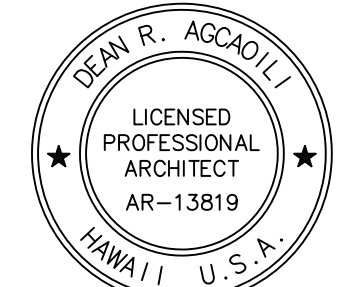
91-1049 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 KALAELOA, BARBER'S POINT
 TMK NO.: 9-1-013: 097

KAPOLEI ● OAHU ● HAWAII

- | | | |
|-----------------------|------------------------------|----------------|
| ● ARCHITECT/PLANNERS | DRA ARCHITECTURE LLC | (808) 292-6287 |
| ● MECHANICAL ENGINEER | MECHANICAL ENTERPRISES, INC. | (808) 591-9038 |
| ● ELECTRICAL ENGINEER | ITANO & ASSOCIATES, INC. | (808) 271-2255 |

PALEKANA PERMITS
 THIRD PARTY CERTIFICATION
 BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

DRA
 Architecture LLC
 ARCHITECTURE DESIGN INTERIORS
 905 MAKAHIKI WAY, MAUKA SUITE
 HONOLULU, HAWAII 96826
 (808) 292-6287



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION (OBSERVATION AS DEFINED IN CHAPTER 16-115 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS ENTITLED PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS)

Dean R. Agca
 LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE BEFORE PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.

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REVISION MARK • DATE • DESCRIPTION

PROJECT
 PROPOSED
 PARCEL 10 BUILDING IMPROVEMENTS FOR:
 HUNT COMMUNITIES HAWAII [PHASE 2]
 91-1049 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

SHEET TITLE
 COVER SHEET

JOB NO. 20007-0100 DRAWING NO.
 DRAWN DRA
 CHECKED DRA
 DATE JUNE 2021 SHEET 1 OF 1

CS001

NAME: P:\2022-000 Puruhou Bakery Office Shoping (06-03-2020) TM: 6/24/21 BR: DRA

PROPOSED

PARCEL 10 BUILDING IMPROVEMENTS

FOR

HUNT COMMUNITIES HAWAII

[PHASE 2]

91-1049 ENTERPRISE AVENUE

TMK NO.: 9-1-013: 097

KAPOLEI



OAHU



HAWAII

- ARCHITECT/PLANNERS: DRA ARCHITECTURE LLC (808) 292-6287
- MECHANICAL ENGINEER: MECHANICAL ENTERPRISES, INC. (808) 591-9038
- ELECTRICAL ENGINEER: ITANO & ASSOCIATES, INC. (808) 271-2255

INDEX TO DRAWINGS

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

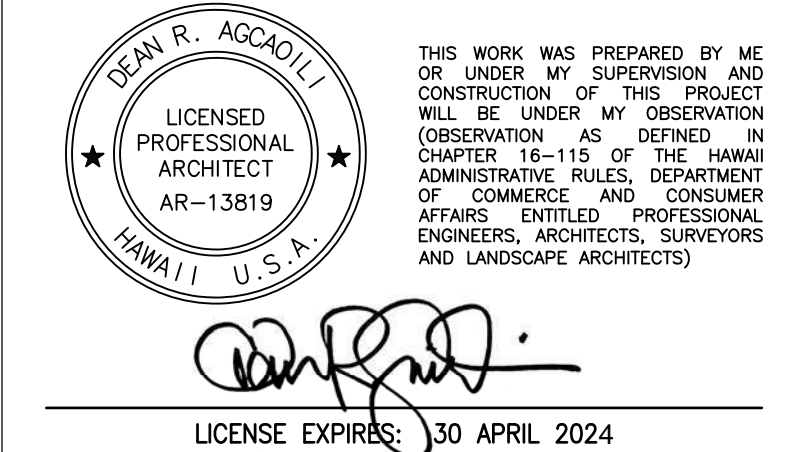
BUILDING CODE ELECTRICAL CODE

MECHANICAL CODE ZPRB (LAND USE ORDINANCE)

STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

SHT. NO.	DESCRIPTION
000	TITLE SHEET, INDEX TO DRAWINGS, VICINITY MAP, LOCATION MAP
100	PROJECT DATA, ZONING DATA, FIRE NOTES
200	ABBREVIATIONS, SYMBOLS
300	CODE COMPLIANT DIAGRAMS - OVERALL GROUND FLOOR
A00.1	ADA TYPICAL NOTES
A00.2	ADA TYPICAL DETAILS
AD001.0	EXISTING SITE DEMO PLAN, NOTES
AD002.0	EXISTING/DEMO PLAN, NOTES
A001.0	OVERALL SITE PLAN, DETAILS, NOTES
A002.0	FLOOR PLAN (OVERALL), GENERAL NOTES
A002.1	ENLARGED PLAN,
A003.0	REFLECTED CEILING PLAN, EXTERIOR ELEVATIONS, WALL DETAILS
A005.1	NEW OPENING ELEVATIONS DETAIL, SECTIONS & DETAILS
A008.0	DOOR SCHEDULE, TYPES, DETAILS
M001	GENERAL NOTES & LEGEND
M100	FIRE SPRINKLER PLAN
M200	NEW MECHANICAL PLAN
E001.0	ELECTRICAL SYMBOLS, LUMINAIRE SCHEDULE, ELECTRICAL SPECIFICATIONS, ENERGY BUDGET
ED001.0	PARTIAL LIGHTING PLAN - EXISTING/DEMOLITION
E002.0	PARTIAL ELECTRICAL SITE PLAN
E003.0	PARTIAL LIGHTING PLAN - NEW
E003.1	PARTIAL POWER & SIGNAL PLAN - NEW
E004.0	FIRE ALARM PLAN - NEW, FIRE ALARM DIAGRAM, FIRE ALARM NOTES
E005.0	SINGLE LINE DIAGRAM, PANEL SCHEDULES, FAULT CURRENT CALCULATIONS

DRA
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ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
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(808) 292-6287



GENERAL NOTES

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REVISION MARK • DATE • DESCRIPTION

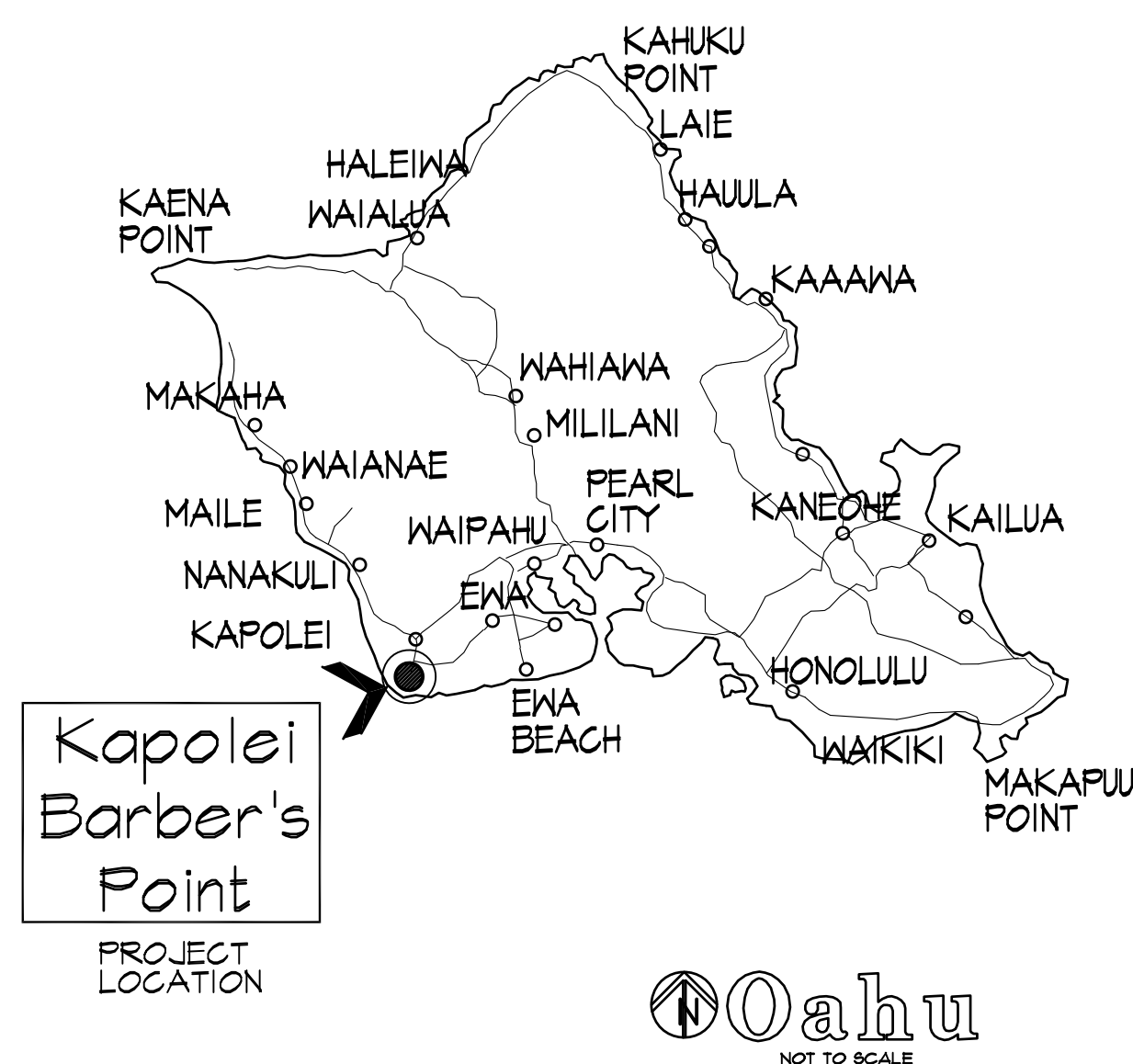
PROPOSED PROJECT
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII [PHASE 2]**
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE

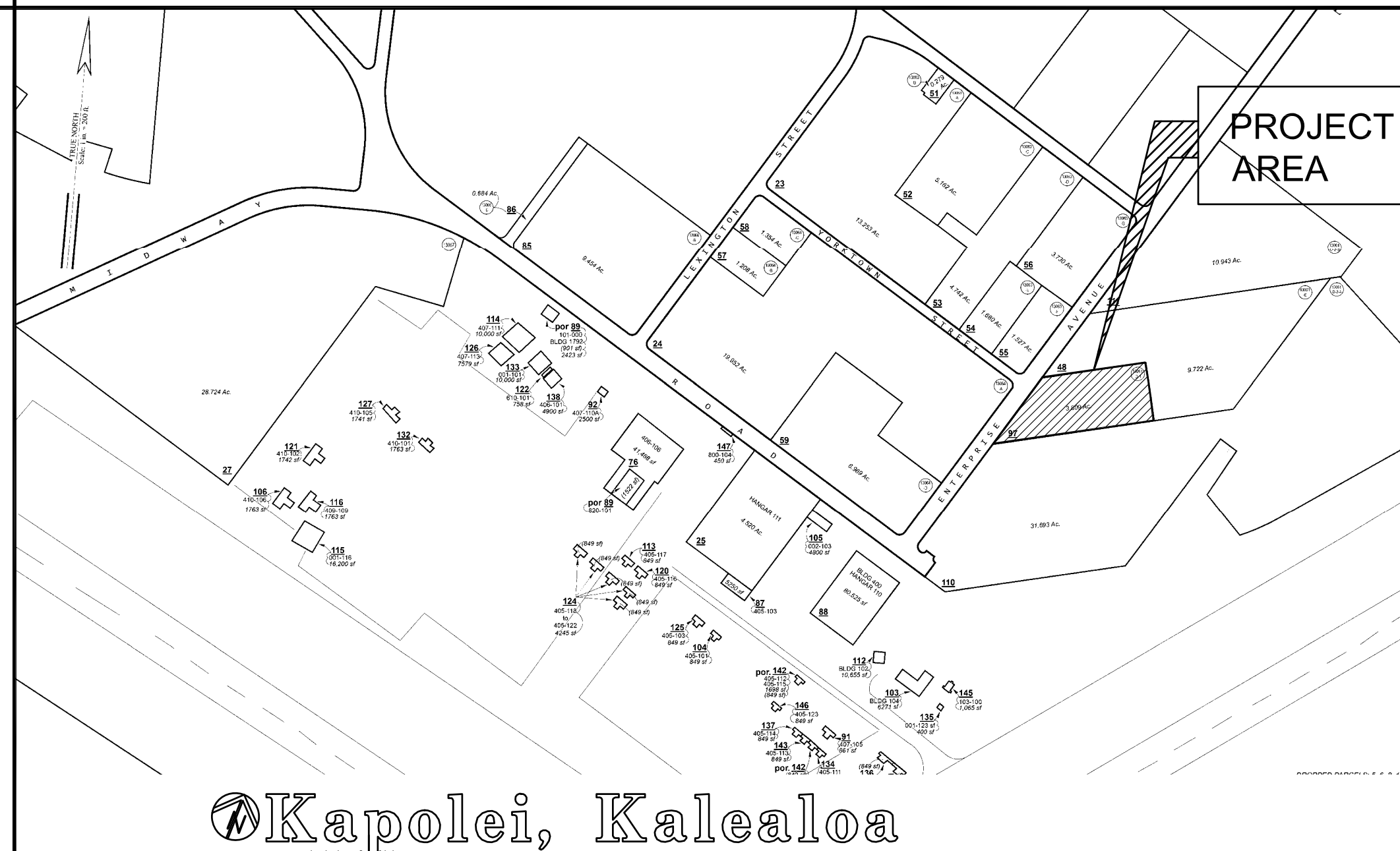
TITLE SHEET
INDEX OF DRAWINGS
VICINITY MAP
LOCATION MAP
PROJECT DATA

JOB NO. 20007-0100 DRAWING NO.
DRAWN DRA
CHECKED LTS
DATE JUNE 2021 SHEET 1 OF

LOCATION MAP



VICINITY MAP



APPROVALS

CITY AND COUNTY OF HONOLULU
REVISED ORDINANCE CHAPTER 32,
HONOLULU COUNTY CODE 1990, AS AMENDED

To the best of my knowledge, this project's design substantially conforms to the Building Energy Conservation Code for:

Building Component Systems

Electrical Component Systems

Mechanical Component Systems

Signature: Dean R. Agcaoli Date: 10/01/2021

Name: Dean R. Agcaoli

Title: Principal (Architect)

License No.: AR-13819

PROJECT DATA (IBC DATA)

ZONING INFO (HCDA)

PALEKANA PERMITS THIRD PARTY CERTIFICATION table with checkboxes for Building Code, Electrical Code, Mechanical Code, ZPRB (Land Use Ordinance), and Structural (Non-Single-Family Dwellings).

Table with columns: ITEM, ALLOWED/REQUIRED, PROVIDED. Contains occupancy, construction type, fire rating, building separations, fire sprinkled, floor calculations, area increase, actual area, and building height limits.

Table with columns: ITEM, ALLOWED/REQUIRED, PROVIDED. Contains zoning regulations, lot area, primary use, height limit, setbacks, maximum density, open space, parking, and loading requirements.

PROJECT NOTES

- 1. APPLICABLE CODES: INTERNATIONAL BUILDING CODE (IBC), INTERNATIONAL EXISTING BUILDING CODE (IEBC), INTERNATIONAL ENERGY CONSERVATION CODE (IECC), etc.
4. REQUIRED CALLED INSPECTIONS: GYPSUM BOARD FIRE-RATED ASSEMBLIES, CMU SPECIAL INSPECTIONS, etc.

FIRE NOTES

1.3.6.3 REPAIRS, RENOVATIONS, ALTERATIONS, RECONSTRUCTIONS, CHANGE IN OCCUPANCY, AND ADDITIONS TO BUILDINGS SHALL CONFORM TO THIS CODE, NFPA 101, AND THE BUILDING CODE.
1.3.7.1.4.6.1.1 THE PROVISIONS OF 13.7.1.4.6.1 (2) AND 13.7.1.4.6.1 (3) SHALL NOT APPLY TO EXISTING ALARM SYSTEMS.
16.4.4.1 WHERE THE BUILDING IS PROTECTED BY FIRE PROTECTION SYSTEMS, SUCH SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING ALTERATION.

DRA Architecture LLC ARCHITECTURE DESIGN INTERIORS 905 MAKAHIKI WAY, MAUKA SUITE HONOLULU, HAWAII 96826 (808) 292-6287

LICENSED PROFESSIONAL ARCHITECT AR-13819 HAWAII U.S.A. LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES
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REVISION MARK table with columns: REVISION MARK, DATE, DESCRIPTION. Includes entries for 07/01/22 TPR/FIRE COMMENTS and 07/01/22 RFI COORD/OWNER REV'S.

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE KAPOLEI, OAHU, HAWAII 96707 T.M.K.: 9-1-013: 097

PROJECT DATA ZONING DATA PROJECT NOTES FIRE NOTES table with columns: JOB NO., DRAWN, CHECKED, DATE, DRAWING NO., SHEET OF.

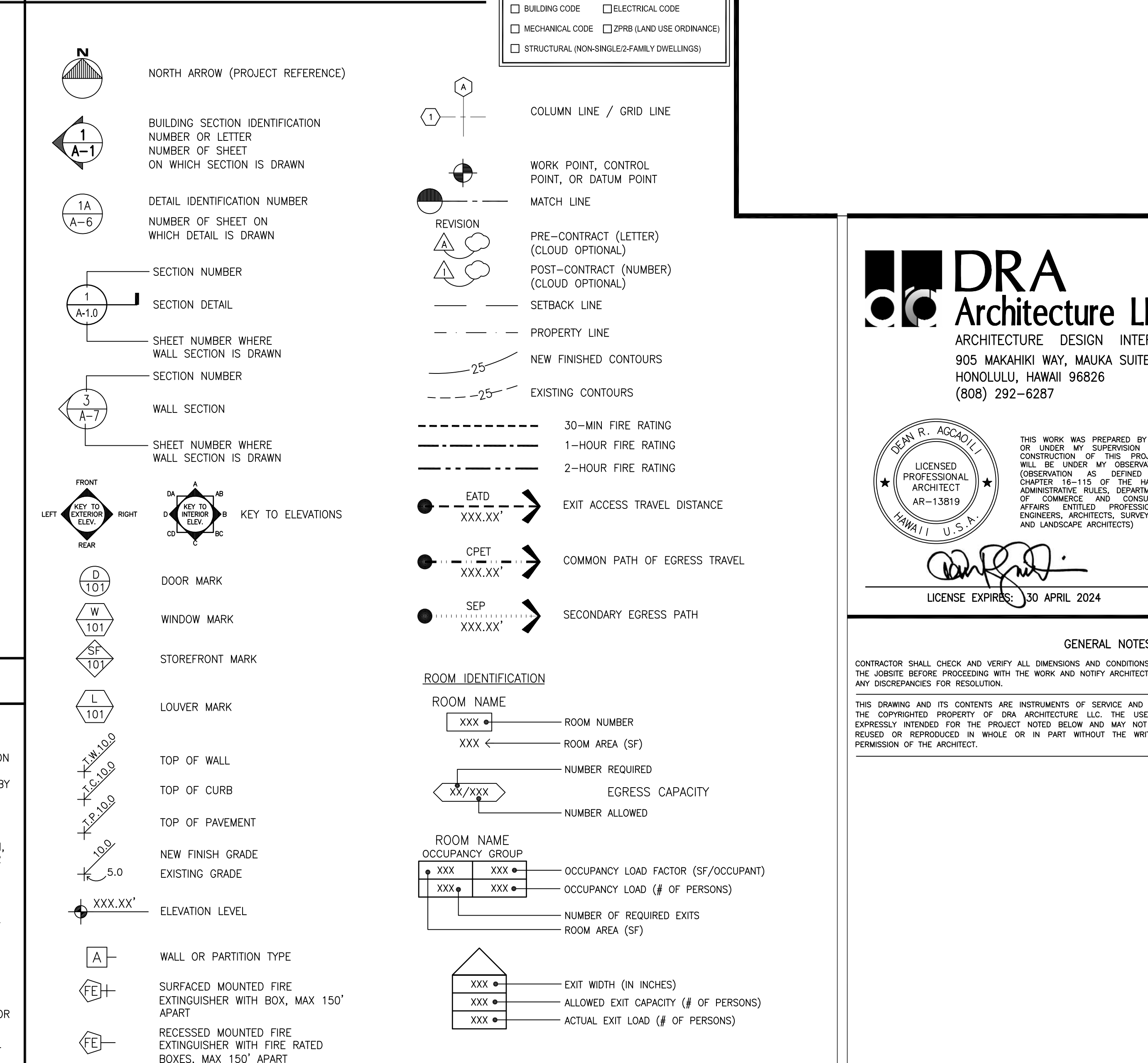
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NAME: R:\BPA_Progects\20007-0100 Hunt Co. - Kapaeha Parcel 10 Building Improvements Phase 2\2020.dwg DATE: Jul 12 2022 TIME: 2:39PM BY: DRA

ABBREVIATIONS

&	AND	CLR	CLEAR	FFC	FIRE EXTINGUISHER CABINET	JAL	JALOUSIE	OC	ON CENTER	RFG	ROOFING	T & B	TOP AND BOTTOM
/	ANGLE	CMU	CONCRETE MASONRY UNITS	FHC	FIRE HOSE CABINET	JAN	JANITOR	OD	OUTSIDE DIAMETER (DIMEN)	RGH	ROUGH	T & G	TONGUE AND GROOVE
CO	CENTERLINE	CO	CLEAN OUT	FIN	FINISH	JB	JOINT	OFCl	OWNER FURNISHED - OWNER'S CLOSET	REG	REGISTER	TACKBD	TACKBOARD
CH	CHANNEL	CONC	CONCRETE	FL	FLOOR	JC	JANITORS CLOSET	JF	JOB FURNISHED	RH	ROBE HOOK OR RIGHT HAND	TBB	TOWEL BAR
Ø	DIAMETER OR ROUND	COND	CONDITION	FLUR	FLOORING	JT	JOINT	OFD	OVERFLOW DRAIN	RLG	RAILING	TBB	TILE BACKER BOARD
+	FOOT OR FEET	CONN	CONNECTION	FLRG	FLOURESCENT	KD	KNOCK DOWN	OFCl	OFFICE	RM	ROOM	TC	TOP OF CURB
•	INCH	CONSTR	CONSTRUCTION	FO	FACE OF (ITEM)	OF	OWNER INSTALLED	OFCl	OWNER FURNISHED	RND	ROUND	TD	TRENCH DRAIN
%	PERCENT	CONT	CONTINUOUS	FR	FRAME	FO	FLOOR	OPNG	OPENING	RO	ROUGH OPENING	TEL	TELEPHONE
⊥	PERPENDICULAR	CONTR	CONTRACTOR	FRP	FIBER GLASS REINFORCED	KIT	KITCHEN	OPP	OPPOSITE	RWC	RAIN WATER CONDUCTOR	TEMP	TEMPERED
PO	FOUND OR NUMBER	COORD	COORDINATE	FRZ	FREEZER	KO	KNOCK-OUT	OH	OPPOSITE HAND	RWD	REDWOOD	THK	THICK
■	PROPERTY LINE	CORR	CORRIDOR	FS	FLOOR SINK	L	LENGTH	OSB	ORIENTED STRAND BOARD	RWL	RAIN WATER LEADER	THRES	THRESHOLD
⊕	SQUARE FOOT	CPT	CERAMIC TILE	FT	FOOT OR FEET	LAM	LAMINATE	OVRHD	OVERHEAD	S	SOUTH	TLT	THROUGH
±	PLUS MINUS	CT	COLD WATER	FD	FACIAL TISSUE DISPENSER	LAV	LAVATORY	PA	PUBLIC ADDRESS SYSTEM	SA	SINGLE ACTING	TOI	TOP OF (ITEM)
A/C	AIR CONDITIONING	DBL	DOUBLE	FTG	FLOORING	LB	LEAD	PASS	PASSAGE	SC	SCALE	TPT	TOILET PAPER DISPENSER
AB	ANCHOR BOLT	DPT	DEPTH	FTR	FURRING	LF	LINEAL FOOT	PC	POST CONTRACT	SCD	SEAT COVER DISPENSER	TRT	TEXTURED PAINT
AC	ACOUSTICAL	DTL	DETAIL	FUR	FUTURE	LRR	LOOKER	PD	PLASTER DRAIN	SCP	SCHEDULE	TRN	TRANSITION
AD	AREA DRAIN	DF	DIAMETER	FTG	FLOOR FINISH	LOC	LOCATION	PERIM	PERIMETER	SCR	SCURR	TRD	TREAD
ADDN	ADDENDUM	DIA	DIAGONAL	GALV	GALVANIZED IRON	LR	LIVING ROOM	PH	PENTHOUSE	SD	SHOWER CURTAIN ROD	TS	TOWEL SHELF
ADJ	ADJUSTABLE	DIAG	DIAGONAL	GB	GRAB BAR	LT	LIGHT	PL	PLATE	SDISH	SOAP DISH	TV	TELEVISION
AF	Above Finished Floor	DM	DIAMETER	GFR	GLASS FIBER REINFORCED CONCRETE	LV	LOUVER	PLAM	PLASTIC LAMINATE	SECT	SECTION	TYP	TYPICAL
AGGR	AGGREGATE	DISP	DISPENSER	GI	GALVANIZED IRON	M	MEN	PLMB	PLUMBING	SF	SQUARE FOOT	UC	UNDERCUT
ALUM	ALUMINUM	DN	DOWN	GL	GLASS	MAX	MAXIMUM	PLYVD	PLYWOOD	SH	SHELF	UNF	UNFINISHED
ALT	ALTERNATE	DO	DOOR OPENING	M	MASONRY WALLBOARD	MEMB	MEMBRANE	MSTR	MASTER BEDROOM	SHT	SHEET	UNO/LUN	UNLESS OTHERWISE NOTED
AND	AND/OR	DR	DOOR	GULJAM	GULF LAM	MSTR	MASTER BEDROOM	MTR	METAL	SHWR	SHOWER	URNL	URNAL
ACC PNL	ACCESS PANEL	DS	DOWNSPOUT	GRND	GROUND	MTR	MASTER BEDROOM	MTR	METAL	SHT	SHEET	URNL	URNAL
APPROX	APPROXIMATE	DWG	DRAWING	GR	GRADE	BRDM	BRIDM	PAIR	PAIR	SIM	SIMILAR	V	VINYL
ARCH	ARCHITECTURAL	DWR	DRAWER	GS	GYP	MSTR	MASTER BEDROOM	PAIR	PAIR	SL	SLOPE	VAL	VALANCE
ASBESTOS TILE	ASBESTOS TILE	(E)	EXISTING	ASB	ASBESTOS	MSTR	MASTER BEDROOM	PAIR	PAIR	SLNT	SLOPE	VAL	VALANCE
BATH	BATHROOM	EA	EAST	ASB	ASBESTOS	MSTR	MASTER BEDROOM	PAIR	PAIR	SLNT	SLOPE	VAR	VARIABLE
BD	BOARD	EFS	EXTERIOR FINISH SYSTEM	GYP	GYP	MSTR	MASTER BEDROOM	PAIR	PAIR	SHT MTL	SHEET METAL	VCT	VINYL COMPOSITION TILE
BLDG	BUILDING	EJ	EXPANSION JOINT	H	HOSE	MTR	MASTER BEDROOM	PAIR	PAIR	SND	SANITARY NAPKIN DISPENSER	VRT	VERTICAL
BLK	BLOCK	ELEV	ELEVATION	HB	HOSE BIB	MTR	MASTER BEDROOM	PAIR	PAIR	SP	SANITARY NAPKIN RECEPTACLE	VST	VESTIBULE
BLK	BLOCKING	ELC	ELECTRICAL	HC	HOLLOW CORE	MTR	MASTER BEDROOM	PAIR	PAIR	SPEC	SPECIFICATION	VTR	VENEER PLASTER
BM	BEAM	ELEV	ELEVATION	HD	HEAD	MTR	MASTER BEDROOM	PAIR	PAIR	SPRKR	SPRINKLER	VTR	VENT THROUGH ROOF
BOH	BACK OF HOUSE	EMER	EMERGENCY	HDP	HANDICAPPED	MTR	MASTER BEDROOM	PAIR	PAIR	SQ	SQUARE	W	WEST
BOT	BOTTOM	ENCL	ENCLOSURE	HDWR	HARDWARE	MTR	MASTER BEDROOM	PAIR	PAIR	SSK	SERVICE SINK	WI	WITH
BRKMT	BREAK	EOS	EDGE OF SLAB	HOUR	HOUR	MTR	MASTER BEDROOM	PAIR	PAIR	SST	STAINLESS STEEL	WO	WITHOUT
BS	BOTH SIDES	EPT	EQUAL	HRS	HOURS	MTR	MASTER BEDROOM	PAIR	PAIR	STA	STATION	WC	WATER CLOSET
BSP	BASEMENT	EQP	EQUIPMENT	HS	HAND SINK	MTR	MASTER BEDROOM	PAIR	PAIR	STD	STANDARD	WD	WOOD
BTN	BETWEEN	ELC	ELECTRICAL	HVC	HEIGHT	MTR	MASTER BEDROOM	PAIR	PAIR	STL	STEEL	WDW	WINDOW
BTWN	BETWEEN	EXH	EXHAUST	HVC	HEATING VENTILATION/ AIR CONDITIONING	MTR	MASTER BEDROOM	PAIR	PAIR	STN	STAIN	WGL	WIRE GLASS
BUR	BUILT-UP ROOFING	EXP	EXPANSION	HW	HOT WATER	MTR	MASTER BEDROOM	PAIR	PAIR	STOR	STORAGE	WH	WATER HEATER
CAB	CABINET	EXT	EXTERIOR	ID	INSIDE DIAMETER DIMENSION	(N)	NEW	REF	REINFORCING REBAR	STRUC	STRUCTURE	WP	WATERPROOFING
CAB	CATCH BASIN	IMP PLAS	IMPERIAL PLASTER	IN	INCH	REF	REFLECTED	REFL	REFLECTED	SURF	SURROUNDING	WP MEMB	WATERPROOF MEMBRANE
CMT PLAS	CEMENT PLASTER	FA	FABRICATE	INCL	INCLUSIVE INCLUDING	NO	NUMBER	REF	REFRIGERATOR	SUSP	SUSPENDED	WR	WATER RESISTANT
CMT	CEMENT	FAB	FABRICATE	NO	NUMBER	REF	REFLECTED	REF	REFRIGERATOR	SWC	SERVICE	WRB	WARDROBE
CER	CERAMIC	FAN COIL UNIT	FAN COIL UNIT	INSUL	INSULATION	REIN	REINFORCED	REIN	REINFORCED	SWTCH	SWITCH	WSC	WAINSCOT
CIP	CAST-IN-PLACE	FDN	FOUNDATION	INTS	INTERIOR	RESID	RESILIENT	RESID	RESILIENT	SYM	SYMMETRICAL	WSP	WET STOP/DIPE
CJ	CONTROL JOINT	FDN	FOUNDATION	INTS	INTERIOR	RESIL	RESILIENT	RESIL	RESILIENT	SYS	SYSTEM	WTF	WELDED WIRE FABRIC
CLG	CEILING	FE	FIRE EXTINGUISHER	INV	INVERT	REVIS	REVISED OR REVISION	REV	REVISED OR REVISION	S4S	SURFACED FOUR SIDES	WWM	WELDED WIRE MESH
CLO	CLOSET					RF	ROOF OR RESILIENT FLOORING	RF	ROOF OR RESILIENT FLOORING	SSV	SOLID SURFACE VENEER		

SYMBOLS LEGEND



DEMOLITION NOTES

1. THE CONTRACTOR SHALL EXECUTE THE WORK IN CONFORMANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
2. CONTRACTOR SHALL EXAMINE THE PROJECT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK.
3. THE CONTRACTOR SHALL REVIEW AND EXAMINE THE CONTRACT DOCUMENTS. IF ANY CONFLICTS OR DISCREPANCIES ARE IDENTIFIED, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION TO THE ARCHITECT PRIOR TO COMMENCING WITH THE WORK.
4. THE CONTRACTOR SHALL NOT ALLOW DEBRIS AND RUBBISH TO ACCUMULATE ON THE JOB SITE. REMOVE, TRANSPORT AND DISPOSE OF DEBRIS AND RUBBISH DAILY IN A LAWFUL MANNER THAT PREVENTS SPILLAGE ON STREETS OR ADJACENT PROPERTY.
5. BURNING OF ANY DEBRIS IS NOT PERMITTED.
6. THE CONTRACTOR SHALL SERVE PROPER NOTICE AND CONSULT WITH THE OWNER/BUILDING MANAGER REGARDING ANY TEMPORARY DISCONNECTION OF COMPUTER CABLING, ELECTRICAL, TELEPHONE, PLUMBING, GAS, SEWAGE OR OTHER UTILITY LINES. WHERE TEMPORARY DISCONNECTION IS REQUIRED, ALL SUCH LINES SHALL BE PROPERLY DISCONNECTED, TERMINATED OR RELOCATED BEFORE COMMENCING WITH THE WORK.
7. THE CONTRACTOR SHALL PROPERLY PROTECT FROM WEAR & DAMAGE ALL EXISTING UTILITIES, PROPERTY AND EXISTING WORK THAT ARE SCHEDULED TO REMAIN.
8. THE CONTRACTOR SHALL SAW-CUT ALL CONCRETE AND ASPHALT CONCRETE PRIOR TO REMOVAL. OVERCUTTING IS NOT PERMITTED. ALL CONCRETE AND ASPHALT CONCRETE SAW CUTTING SHALL BE WATER-APPLIED FOR DUST CONTROL.
9. KEEP DUST WITHIN ACCEPTABLE LEVELS AT ALL TIMES, INCLUDING NON-WORKING HOURS, WEEKENDS & HOLIDAYS, IN CONFORMANCE WITH CHAPTER 31 - AIR POLLUTION OF THE STATE DEPARTMENT OF HEALTH, PUBLIC HEALTH REGULATIONS, LATEST EDITION.
 - a. ONLY WET GRINDING ON CUTTING OF CONCRETE AND MASONRY WILL BE ALLOWED.
 - b. DURING LOADING OPERATIONS, WATER DOWN DEBRIS AND WASTE MATERIALS TO ALLAY DUST.
10. THE CONTRACTOR SHALL UTILIZE LAWFUL AND PROPER METHODS FOR DUST CONTROL ASSOCIATED WITH THE WORK.
11. THE CONTRACTOR SHALL COORDINATE AND EXECUTE ALL WORK IN AN ORDERLY AND CAREFUL MANNER AND SHALL REPAIR ANY DAMAGE TO EXISTING ITEMS "TO REMAIN."
12. THE CONTRACTOR IS RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF WORK UNDER CONTRACT WITH THE CONTRACTOR.
13. THE PROJECT LIMITS/LIMITS OF WORK SHALL BE GENERALLY INDICATED ON THE PLAN AS A REFERENCE ONLY. THE CONTRACTOR IS REQUIRED TO COMPLETE ANY WORK OUTSIDE THE "PROJECT LIMITS" REFERENCE, IF SUCH WORK IS MATERIAL TO, AND NECESSARY TO COMPLETE THE PROJECT, AND SUCH WORK IS DEFINED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL MAINTAIN SAFE WORKING CONDITIONS AT ALL TIMES. THE CONTRACTOR SHALL ERECT TEMPORARY BARRICADES AND PROVIDE TEMPORARY LIGHTING AS REQUIRED TO PREVENT THE PUBLIC FROM ENTERING INTO THE PROJECT AREA AT ALL TIMES. BARRICADES SHALL BE A MINIMUM OF 7'-0" IN HEIGHT. THIS WORK SHALL BE INCLUDED IN THE CONTRACT AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
14. THE CONTRACTOR SHALL PERFORM THE WORK WITH MINIMUM INTERFERENCE TO STREETS, DRIVEWAYS, SIDEWALKS, EXISTING SHOPPING AND PUBLIC AREAS, ETC.
15. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL CONSULT WITH THE OWNER REGARDING ANY ITEMS THAT SHOULD BE SALVAGED/RECOVERED. THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND "TURNOVER" OF THESE ITEMS WITH THE OWNER.
16. THE CONTRACTOR IS RESPONSIBLE TO ARREST ANY RUST OR OXIDATION AND THREAT TO ALL EXPOSED METAL PRIOR TO FINISHING OR COVERING.
17. USE OF EXPLOSIVES ARE PROHIBITED.
18. ASBESTOS AND HAZARDOUS MATERIALS: IF ASBESTOS-CONTAINING OR ANY OTHER HAZARDOUS MATERIALS IS ENCOUNTERED OR SUSPECTED, THE CONTRACTOR SHALL IMMEDIATELY INFORM THE OWNER AND TAKE PROPER PRECAUTIONS. HAZARDOUS MATERIAL ABATEMENT MEASURES SHALL BE THE RESPONSIBILITY OF THE OWNER AND NOT PART OF THIS CONTRACT, UNLESS SPECIFICALLY STATED.
19. BRANCH CIRCUIT LIGHTING & POWER SHALL BE COMPLETELY DEMOLISHED AND DISPOSED OF. (SEE ELECTRICAL DEMOLITION PLANS) REMOVE ALL EXISTING WIRING

- NOT REMAINING IN SERVICE.
20. SEE ARCHITECTURAL DRAWINGS FOR EXISTING CONDITIONS PLAN.
 21. CONTRACTOR WILL VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK AND PROVIDE ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE INTENT OF THE PROJECT. REMOVE ALL LIGHTING AND ELECTRICAL EQUIPMENT IN THE PROJECT AREA NOT REQUIRED FOR NEW WORK. DISPOSE OF REMOVED MATERIALS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 22. BEFORE ANY WIRING IS CUT, CONTRACTOR WILL VERIFY USAGE OF WIRING TO BE CUT TO ASSUME THAT ALL WIRING ARE NOT DISCONNECTED. ANY UNREQUIRED SERVICE DISCONNECTED BY THE CONTRACTOR WILL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE TENANT OR THE BUILDING MANAGEMENT.
 23. ABANDON CONCEALED RACEWAYS NO LONGER REQUIRED, REMOVE ALL CONDITIONS IN RACEWAYS BEING ABANDONED.
 24. PHASE ALL WORK TO ASSURE CONTINUITY OF ALL ELECTRICAL SERVICES, INCLUDING MECHANICAL CONTROL SYSTEMS, TO PARTS OF REMAINING FACILITIES IN SERVICE.
 25. REMOVE ALL DEVICES AND EQUIPMENT INDICATED TO BE REMOVED OR NO LONGER REQUIRED. PLUG ALL HOLES IN ENCLOSURES, BOXES AND CABINETS TO REMAIN.
 26. ANY OUTAGE OF ELECTRICAL SERVICE TO ANY PART OF BUILDING WILL BE REQUESTED, IN WRITING, AT LEAST FIVE WORKING DAYS PRIOR TO THE DATE OF DESIRED OUTAGE. WRITTEN REQUEST TO THE BUILDING MANAGEMENT WILL INCLUDE THE FOLLOWING INFORMATION: SERVICE TO BE INTERRUPTED, DATE, TIME, DURATION OF THE OUTAGE AND REASON FOR DESIRED OUTAGE. OUTAGES WILL BE GRANTED AT THE SOLE CONVENIENCE TO THE BUILDING MANAGEMENT.
 27. ALL FIRE SPRINKLERS, SMOKE DETECTORS AND FIRE ALARMS SHALL REMAIN.
 28. CONTRACTOR SHALL MAINTAIN ADEQUATE FIRE EXTINGUISHERS AS REQUIRED BY OSHA AND/OR LOCAL AHJ.
 29. CONTRACTOR SHALL NOTE THAT SOME MATERIALS SCHEDULED FOR REMOVAL MAY CONTAIN LESS THAN 1% ASBESTOS, AND SHALL NOT BE CONSIDERED AS ASBESTOS-CONTAINING MATERIAL.
 30. STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND THIS CHAPTER, 2012 NFPA 1.
 31. CONTRACTOR SHALL COORDINATE REMOVAL OF ON-SITE ITEMS DUE FOR DISPOSAL. ALL OTHER ITEMS TO BE KEPT SHALL BE STORED AT A DESIGNATED LOCATION PER OWNER.
 32. SELECTIVE DEMOLITION WORK INCLUDES BUT NOT LIMITED TO SELECTIVE DEMOLITION, REMOVAL, AND SUBSEQUENT DISPOSAL OF ALL MATERIALS INDICATED OR REQUIRED TO BE REMOVED. BURNING OF DEBRIS IS NOT PERMITTED ON PROJECT SITE.
 33. PROVIDE OWNER & ARCHITECT WITH SCHEDULE OF DEMOLITION WORK FOR REVIEW & APPROVAL PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
 34. PROVIDE INTERIOR & EXTERIOR SHORING, BRACING, OR SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENTS TO BE DEMOLISHED, AND ADJACENT FACILITIES OR WORK TO REMAIN.
 35. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS. REPLACE/REPAIR DAMAGES CAUSED TO ADJACENT STRUCTURE BY DEMOLITION WORK AT NO COST TO OWNER.
 36. LIFE SAFETY PROCEDURES AND PROVISIONS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, AND COUNTY REGULATIONS, INCLUDING OSHA.
 37. REMOVE PROTECTIONS AT COMPLETION OF WORK.
 38. TRAFFIC: CONDUCT SELECTIVE DEMOLITION OPERATIONS AND DEBRIS REMOVAL IN A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE, BLOCK OR OTHERWISE OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT WRITTEN PERMISSION FROM THE RESPECTIVE AGENCIES OR OWNERS.
 39. UTILITY SERVICES: THE EXISTENCE OF BELOW GRADE UTILITY LINE(S) AND SERVICES IS NOT DEFINITELY KNOWN. SHOULD ANY UTILITY LINE(S) BE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND FOLLOW HIS DIRECTION(S) AS TO RESOLUTION AND PROCEDURE.
 40. PROVIDE TEMPORARY BACKFILL AS NEEDED TO ESTABLISH SAFE GROUND CONDITION FOR CONSTRUCTION TRAFFIC. NO PITS, HOLES, AND DEPRESSIONS SHALL BE LEFT UNFILLED OR COVERED.

GENERAL NOTES

1. LAWS AND ORDINANCES: AS USED HEREIN SHALL MEAN ALL COUNTY, STATE AND NATIONAL CODES, ORDINANCES, STANDARDS, RULES AND REGULATIONS OF ANY NATURE WHICH ARE PERTINENT TO, OR REGULATORY OVER, THE WORK COVERED BY THE CONTRACT DOCUMENTS OF THIS PROJECT. ALL CONTRACTORS SHALL COMPLY FULLY WITH ALL APPLICABLE LAWS AND ORDINANCES. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND THE LATEST CITY AND COUNTY OF HONOLULU/STATE OF HAWAII AMENDMENTS, OR THE RESPECTIVE AMENDMENTS BY EACH COUNTY HAVING JURISDICTION OF THE PROJECT. ALL DEMOLITION AND CONSTRUCTION WORK SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND THIS CHAPTER, NFPA 1 (2018).
2. CONFLICT: IN THE CASE OF ANY CONFLICT WHEREIN THE METHODS, OR STANDARDS OF INSTALLATION, OR THE SPECIFIED MATERIALS ARE NOT EQUAL TO, OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. IN THE CASE OF A DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS, BUT NOT DIRECTLY RELATED TO THE PROVISIONS OF CODES, OR ORDINANCES, THE CONTRACTOR SHALL 1) PROVIDE THE BETTER QUALITY, OR GREATER QUANTITY OF WORK, OR 2) COMPLY WITH THE MORE STRINGENT REQUIREMENT IN ACCORDANCE WITH THE OWNER'S/ARCHITECT'S INTERPRETATION. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ALL CONFLICTS.
3. CONDITIONS OF THE WORK: THE INFORMATION INDICATED ON THE DRAWINGS ARE BASED ON LIMITED FIELD INVESTIGATIONS AND ON THE AVAILABLE RESOURCES AT THE TIME OF DOCUMENT PREPARATION. AS A RESULT, THE ACCURACY AND COMPLETENESS OF THE INFORMATION IS NOT GUARANTEED. THE CONTRACTOR SHALL, THEREFORE, VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS WITH ACTUAL FIELD MEASUREMENTS, EXAMINE THE JOB SITE, VERIFY ALL FIELD CONDITIONS AND PROVIDE THE LABOR AND MATERIALS REQUIRED TO COMPLETE THE INTENDED WORK. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL MANNER THAT IS OF ACCEPTABLE WORKMANSHIP OF THE RESPECTIVE TRADES. THE CONTRACTOR SHALL NOTIFY THE OWNER, OR ARCHITECT, PRIOR TO THE COMMENCEMENT OF WORK. IF THERE ARE ANY DIMENSIONAL DISCREPANCIES, OR IF THERE ARE ANY CONDITIONS THAT EXIST WHICH MAY PREVENT THE CONTRACTOR'S PERFORMANCE OF WORK, AND/OR OF ANY AND ALL ADDITIONAL WORK THAT MAY BE REQUIRED AS A RESULT OF THE OBSERVED CONDITIONS.
4. OMISSIONS: OMISSIONS OF THE DRAWINGS, OR SPECIFICATIONS, OR THE OMISSIONS OF DETAILS OF WORK WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED, OR INCORRECTLY DESCRIBED DETAILS OF THE WORK, BUT SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, OR OWNER, VERBALLY OF SUCH OMISSIONS AND PROVIDE A WRITTEN STATEMENT OF THE OMISSIONS WITHIN (5) WORKING DAYS OF VERBAL NOTIFICATION.
5. INTENT OF THE DRAWINGS: THE DRAWINGS ARE INTENDED TO DEFINE AND ESTABLISH THE PHYSICAL REQUIREMENTS OF THE PROJECT, I.E., THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK, BASED ON RECOGNIZED STANDARDS, EVEN IF NOT ACTUALLY SHOWN, BUT REASONABLY INFERRED. ALL WORK SHOWN IS "NEW" UNLESS OTHERWISE NOTED AS "EXISTING." THE CONTRACTOR SHALL REVIEW AND VERIFY THE INFORMATION ON ALL DRAWINGS BEFORE PERFORMING THE WORK AND NOTIFY THE OWNER, OR ARCHITECT, OF ANY DISCREPANCIES. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS/TRADES TO ACHIEVE THE DESIGN INTENT AND SPECIFIED REQUIREMENTS AND IS RESPONSIBLE TO COMPLETE ANY AND ALL WORK ASSOCIATED WITH SUCH COORDINATION.
6. COMPLETION OF THE WORK: THE CONTRACTOR SHALL IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING, PATCHING, REPAIRING, RESTORING AND THE LIKE NECESSARY TO COMPLETE THE WORK AND RESTORE ANY DAMAGED OR AFFECTED SURFACES RESULTING FROM THE WORK OF THIS CONTRACT TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER, OR HIS AGENT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO SAFETY PRECAUTION.
7. PERMITS AND FEES: THE CONTRACTOR IS RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS AND LICENSES FOR THE WORK AND OBTAIN ALL GOVERNMENTAL AGENCY CERTIFICATES AND FILE A NOTICE OF COMPLETION.
8. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE THE INSTALLATION, MATERIALS AND WORKMANSHIP OF ALL WORK FOR (1) ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. HOWEVER, PRODUCT AND SYSTEM WARRANTIES SHALL BE EFFECTIVE FROM THE "DATE OF ACCEPTANCE" BY THE OWNER/ARCHITECT AND FOR THE PERIOD ESTABLISHED BY THE MANUFACTURER/INSTALLER, OR AS SPECIFICALLY DEFINED IN THE OWNER/CONTRACTOR AGREEMENT.
9. CLEAN UP: THE CONTRACTOR SHALL CLEAN AND REMOVE ANY TRASH, DIRT, DEBRIS AND SPILLAGE ARISING FROM THE WORK DAILY TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT, INCLUDING: CLEANING OF DIRT, PUTTY, PAINT, DUST, ETC. FROM AREAS COUNTER TOPS, DOOR AND WINDOW FRAMES AND FRAMES.
10. RECORD DRAWINGS: THE CONTRACTOR SHALL PROVIDE THE OWNER AND LANDLORD WITH A SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS OF THE WORK. (NOT REQUIRED FOR PROJECT SOLELY INVOLVING DEMOLITION).
11. DIMENSIONS: UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS, ALL DIMENSIONS ARE TAKEN TO THE FACE OF FINISH.
12. THIS PROJECT CONFORMS TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES TO THE BEST OF OUR KNOWLEDGE.
13. PENETRATIONS: PENETRATIONS SHALL BE FIRE-STOPPED AND OPENINGS SHALL BE PROTECTED THROUGH FIRE-RATED WALLS, FLOOR, ROOF AND CEILING ASSEMBLIES AS REQUIRED BY THE 2012 IBC CHAPTER 7.

DRA Architecture LLC
ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287

THE WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION (OBSERVATION AS DEFINED IN CHAPTER 16-116 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF CONSTRUCTION AND CONSUMER AFFAIRS ENTITLED "PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS")

DEAN R. AGCAGALLI
LICENSED PROFESSIONAL ARCHITECT
AR-13819
HAWAII, U.S.A.
LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE BEFORE PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.

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PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

REVISION MARK	DATE	DESCRIPTION
B	07/01/22	TPR/FIRE COMMENTS
A	07/01/22	RFI COORD/OWNER REVS

SHEET TITLE

ABBREVIATIONS
SYMBOLS LEGEND
DEMOLITION NOTES
GENERAL NOTES
FIRE CODE NOTES

JOB NO. 20007-0100	DRAWING NO.
DRAWN DRA	
CHECKED DRA	
DATE JUNE 2021	SHEET 0F

NAME: R:\BPA_Projects\2007-0100 Hunt Co - Kapehu Parcel 10 Building Improvements Phase 2\32000.dwg DATE: OCT 12, 2021 TIME: 4:51PM BY: BPA

OCCUPANCY	WITHOUT SPRINKLER SYSTEM (feet)	WITH SPRINKLER SYSTEM (feet)
A, E, F-1, M, R, S-1	200	250
I-1	Not Permitted	250
B	200	300
F-2, S-2, U	300	400
H-1	Not Permitted	75
H-2	Not Permitted	100
H-3	Not Permitted	150
H-4	Not Permitted	175
H-5	Not Permitted	200
I-2, I-3, I-4	Not Permitted	200

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

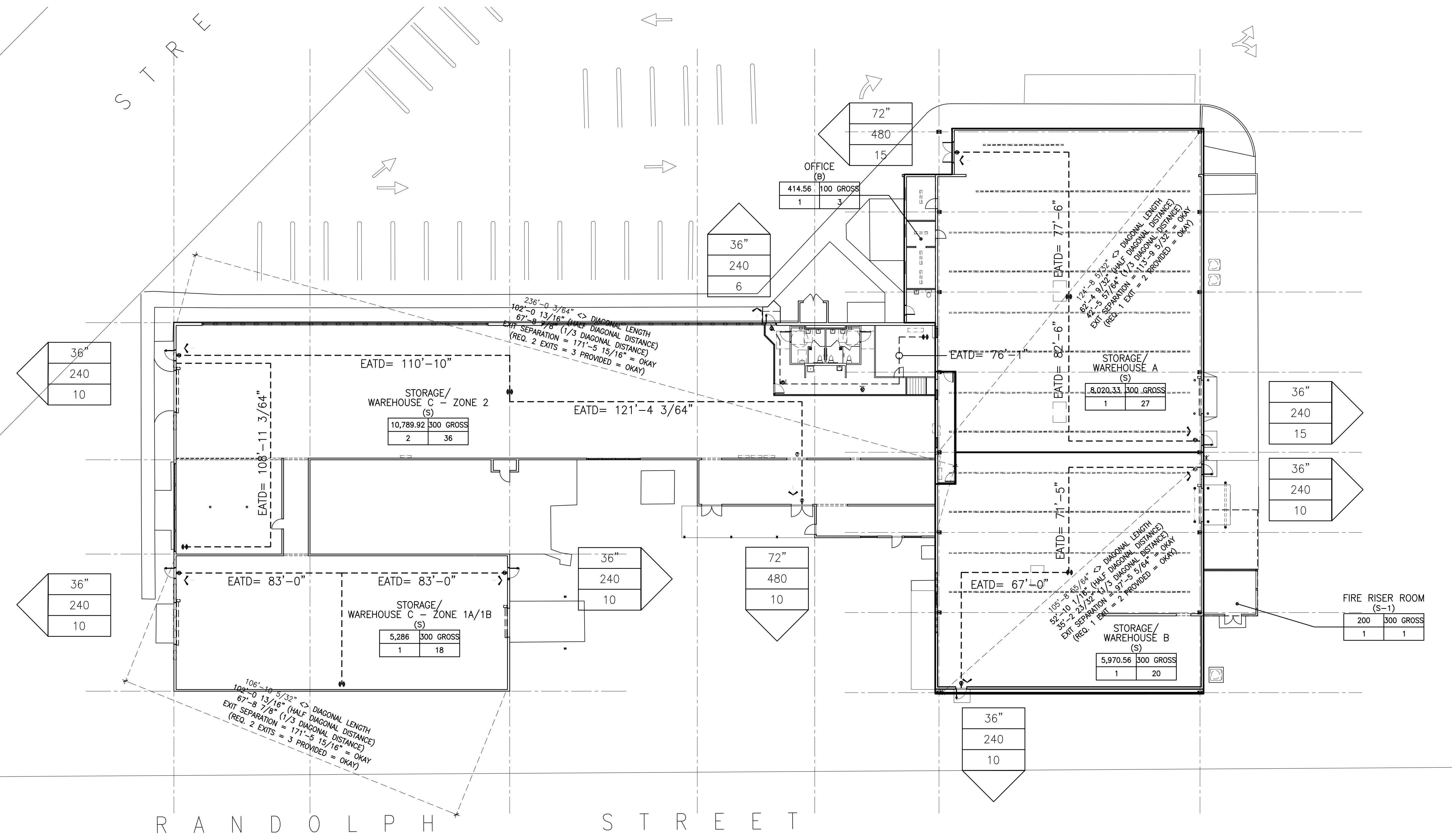
MISC. CODE INFO

- EXIT WIDTH FACTORS (IBC SECTION 1005 & SECTION 1024.6) w/ SPRINKLERS

OCCUPANCY	STAIRWAYS (INCHES/OCCUPANT)	OTHER (INCHES/OCCUPANT)
M, S-1	0.2	0.15
- TWO MEANS OF EGRESS WHEN OCCUPANT LOAD EXCEEDS (IBC TABLE 1015.1)

OCCUPANCY	MAX OCCUPANT LOAD
M	49
S-1	29
- EXIT TRAVEL DISTANCE (IBC TABLE 1016.2 & SECTION 1014.3) - w/ SPRINKLER

OCCUPANCY	MAX TRAVEL (FT)	COMMON PATH OF TRAVEL (FT)
M	250	75
S-1	250	100



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DEAN R. AGCAGILI
LICENSED PROFESSIONAL ARCHITECT
AR-13819
HAWAII U.S.A.

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REVISION MARK	DATE	DESCRIPTION
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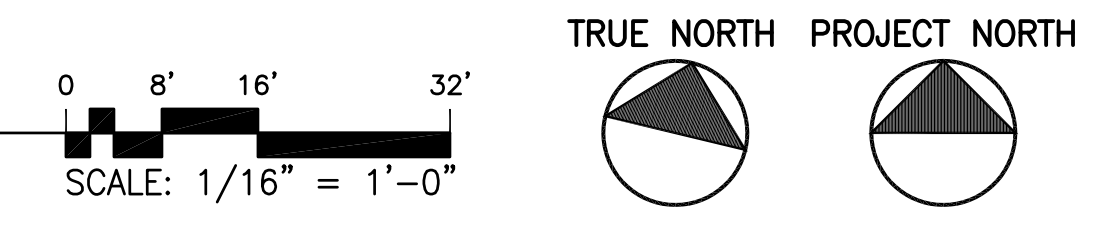
PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]

91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
CODE COMPLIANT DIAGRAMS

JOB NO. 20007-0100	DRAWING NO.
DRAWN DRA	300
CHECKED DRA	SHEET OF
DATE JUNE 2021	

A CODE COMPLIANCE DIAGRAM - OVERALL FLOOR
SCALE: 1" = 25'



NAME: R:\BPA_Projects\20007-0100 Hunt Co. - Kapaehaona Parcel 10 Building Improvements Phase 2\XD0101.dwg DATE: OCT 12, 2021 TIME: 3:11PM BY: DRA
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PARKING

- HANDICAPPED PARKING SPACES SHALL BE LOCATED AS NEAR AS PRACTICAL TO THE PRIMARY ENTRANCES. IF ONLY ONE SPACE IS PROVIDED, IT SHALL BE FOURTEEN (14) FEET WIDE AND STRIPED TO PROVIDE A NINE (9) FOOT WIDE PARKING AREA AND A FIVE (5) FOOT WIDE SIDE AISLE. THE SIDE AISLE IS TO BE PLACED ON THE PASSENGER SIDE WHERE PRACTICAL. WHEN MORE THAN ONE SPACE IS PROVIDED, TWO SPACES MAY SHARE THE FIVE (5) FOOT SIDE AISLE LOCATED IN THE CENTER. THE MINIMUM LENGTH OF EACH PARKING SPACE SHALL BE EIGHTEEN (18) FEET.
- IN THE PARKING AREA, A BUMPER OR CURB SHALL BE PROVIDED AND LOCATED TO PREVENT ENCRoACHMENT OF CARS OVER THE REQUIRED WIDTH OF THE WALKWAYS. THE SPACE SHALL BE LOCATED THAT A HANDICAPPED PERSON IS NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED CARS OTHER THAN THEIR OWN. PEDESTRIAN WAYS WHICH ARE ACCESSIBLE TO THE HANDICAPPED SHALL BE PROVIDED FROM EACH SUCH PARKING SPACE TO RELATED FACILITIES INCLUDING CURB CUTS OR RAMPS AS NEEDED.
- SURFACE SLOPES OF HANDICAP PARKING SPACES SHALL NOT EXCEED ONE (1) VERTICAL TO FIFTY (50) HORIZONTAL.
- ENTRANCES TO AND VERTICAL CLEARANCES WITHIN PARKING STRUCTURES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF EIGHT (8) FEET, TWO (2) INCHES WHERE REQUIRED FOR ACCESSIBILITY TO HANDICAPPED PARKING SPACES.
- PARKING SPACES SHALL BE IDENTIFIED BY SIGN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY MOUNTED ON POST OR WALL IN FRONT OF SPACE. SIGN SHALL BE REFLECTORIZED WHITE ON DARK BLUE BACKGROUND, AT LEAST 70 SQUARE INCHES IN AREA AND MOUNTED A MINIMUM 80 INCHES ABOVE GRADE.
- IN ADDITION, SURFACE OF PARKING SPACES SHALL BE IDENTIFIED BY EITHER OF THE FOLLOWING SCHEMES:
 - OUTLINING OR PAINTING SPACE IN BLUE AND OUTLINING ON THE GROUND IN WHITE OR SUITABLE CONTRASTING COLOR A PROFILE VIEW DEPICING A WHEELCHAIR WITH OCCUPANT, OR;
 - OUTLINING A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON BLUE BACKGROUND, 36 INCHES BY 36 INCHES, VISIBLE WHEN A VEHICLE IS PARKED IN THE SPACE.
- AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES OR ADJACENT TO EACH HANDICAPPED PARKING SPACE THERE SHALL BE A SIGN, 17 INCHES BY 22 INCHES WITH LETTERING NOT LESS THAN ONE (1) INCH IN HEIGHT, STATING THE FOLLOWING:
 - UNAUTHORIZED VEHICLE PARKED IN DESIGNATED HANDICAPPED SPACES NOT DISPLAYING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY DISABLED PERSONS MAY BE TOWED AWAY AT OWNER'S EXPENSE TOWED VEHICLES MAY BE RECLAIMED AT OR BY TELEPHONING .

CURB RAMPS

- CURB RAMPS SHALL BE CONSTRUCTED AT EACH CORNER OR STREET INTERSECTIONS AND WHERE A PEDESTRIAN WAY CROSSES A CURB.
- CURB RAMPS SHALL BE A MINIMUM OF FOUR (4) FEET IN WIDTH AND SHALL LIE GENERALLY, IN A SINGLE SLOPED PLANE, WITH A MINIMUM OF SURFACE WARPING AND CROSS SLOPE.
- THE SLOPES OF CURB RAMPS SHALL NOT EXCEED ONE (1) VERTICAL TO TWELVE (12) HORIZONTAL. THE SLOPE OF THE FANNED OR FLARED SIDES OF CURB RAMPS SHALL NOT EXCEED ONE (1) VERTICAL TO TEN (10) HORIZONTAL.
- A LEVEL LANDING FOUR (4) FEET DEEP SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP OVER ITS FULL WIDTH OR THE SLOPE OF THE FANNED OR FLARED SIDES OF THE CURB RAMP SHALL NOT EXCEED ONE (1) VERTICAL TO TWELVE (12) HORIZONTAL.
- THE LOWER END OF EACH CURB RAMP SHALL HAVE A HALF (1/2) INCH LIP BEVELED AT A MAXIMUM SLOPE OF ONE TO TWO (1:2).
- THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES SHALL BE SLIP-RESISTANT AND SHALL BE OF CONTRASTING FINISH FROM THAT OF THE ADJACENT SIDEWALK.
- THE SURFACE OF EACH CURB RAMP LOCATED IN THE CENTER OF THE CURB RETURN SHALL BE GROOVED PARALLEL TO THE CENTER LINE OF THE CROSSWALKS TYPICALLY IN TWO DIRECTIONS WITH QUARTER (1/4) INCH BY QUARTER (1/4) INCH GROOVES APPROXIMATELY ONE AND A HALF (1-1/2) INCHES ON CENTER.
- ALL CURB RAMPS SHALL HAVE A GROOVED BORDER TWELVE (12) INCHES WIDE AT THE LEVEL SURFACE OF THE SIDEWALK ALONG THE TOP AND EACH SIDE APPROXIMATELY THREE-QUARTER (3/4) INCHES ON CENTER. ALL CURB RAMPS CONSTRUCTED BETWEEN THE FACE OF THE CURB AND THE STREET SHALL HAVE A GROOVED BORDER AT THE LEVEL SURFACE OF THE SIDEWALK.
- CURB RAMPS SHALL NOT ENCRoACH INTO ANY PARKING SPACE, EXCEPT CURB RAMPS LOCATED AT THE FRONT OF HANDICAPPED PARKING SPACES WHEN SUCH ENCRoACHMENT DOES NOT LIMIT A HANDICAPPED PERSONS ABILITY TO LEAVE OR ENTER THEIR VEHICLE.

WALKS AND SIDEWALKS

- WALKS AND SIDEWALKS SUBJECT TO THESE REGULATIONS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING ONE HALF INCH (1/2") AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
- SURFACES WITH A SLOPE OF LESS THAN SIX (6) PERCENT GRADIENT SHALL BE AT LEAST AS SLIP-RESISTANT AS THAT DESCRIBED AS A MEDIUM SALTED FINISH.
- SURFACES WITH A SLOPE OF SIX (6) PERCENT GRADIENT OR MORE SHALL BE SLIP-RESISTANT.
- SURFACE CROSS SLOPES SHALL NOT EXCEED TWO PERCENT (2%) GRADIENT (ONE VERTICAL TO FIFTY HORIZONTAL (1:50)).
- WALKS SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN SIXTY INCHES BY SIXTY INCHES (60" X 60") AT A DOOR/GATE THAT SWINGS TOWARD THE WALK AND NOT LESS THAN FORTY-EIGHT INCHES WIDE BY FORTY-FOUR INCHES DEEP (48" X 44") AT A DOOR/GATE THAT SWINGS AWAY FROM THE WALK. SUCH WALKS SHALL EXTEND TWENTY-FOUR INCHES (24") TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.
- ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE LEVEL AREAS AT LEAST FIVE FEET (5'-0") IN LENGTH AT INTERVALS OF AT LEAST EVERY 400 FEET.
- WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS ONE VERTICAL TO TWENTY HORIZONTAL (1:20) OR FIVE PERCENT (5%) GRADIENT, IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS.
- WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THOSE AREAS, GRID OPENINGS IN GRATINGS SHALL BE LIMITED TO ONE HALF INCH (1/2") IN THE DIRECTION OF TRAFFIC FLOW.
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE SHALL NOT EXCEED ONE-HALF INCH (1/2"). WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE TO TWO (1:2) EXCEPT THAT LEVEL CHANGES NOT EXCEEDING ONE QUARTER INCH (1/4") MAY BE VERTICAL.
- WHEN CHANGES IN LEVELS GREATER THAN ONE-HALF INCH (1/2") ARE NECESSARY, THEY SHALL COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS.
- PROVIDE EIGHTY INCH (80") HEADROOM CLEARANCE FROM WALKWAY SURFACE TO ANY OVERHANGING OBSTRUCTION.
- ABRUPT CHANGES IN LEVEL EXCEEDING FOUR INCHES (4") IN HEIGHT AND ADJACENT TO WALKS, EXCEPT BETWEEN WALKS AND ADJACENT STREETS OR DRIVES, SHALL BE IDENTIFIED BY WARNING CURBS PROJECTING SIX INCHES (6") ABOVE WALK SURFACE.
- PROTRUDING OBJECTS WITH LEADING EDGES BETWEEN TWENTY-SEVEN INCHES (27") AND EIGHTY INCHES (80") ABOVE FINISHED FLOOR SHALL NOT PROTRUDE MORE THAN FOUR INCHES (4") INTO WALKS, CORRIDORS, PASSAGEWAYS OR AISLES.
- OBJECTS WITH PROTRUDING EDGES AT OR BELOW TWENTY-SEVEN INCHES (27") ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT.
- FREE STANDING OBJECTS MOUNTED ON POSTS BETWEEN TWENTY-SEVEN INCHES (27") AND EIGHTY INCHES (80") ABOVE THE FLOOR MAY PROJECT A MAXIMUM OF TWELVE INCHES (12").

FLOORS AND LEVELS

- FLOOR SURFACES SHALL BE SLIP-RESISTANT.
- FLOORS OF A GIVEN STORY SHALL BE COMMON LEVEL THROUGHOUT OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS, OR SPECIAL ACCESS LIFTS.

ELECTRICAL

- THE CENTER OF RECEPTACLE OUTLETS SHALL BE NOT LESS THAN FIFTEEN INCHES (15") ABOVE THE FLOOR OR WORKING PLATFORM.
 - THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLANCES, OR COOKING, HEATING AND VENTILATING EQUIPMENT, SHALL BE LOCATED BETWEEN THIRTY-SIX INCHES TO FORTY-EIGHT INCHES (36"-48") ABOVE THE FLOOR OR WORKING PLATFORM.
 - FIFTEEN, TWENTY AND THIRTY AMP RECEPTACLE OUTLETS SHALL BE INSTALLED NOT LESS THAN FIFTEEN INCHES (15") ABOVE THE FLOOR.
- SIGNS**
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN THESE STANDARDS. THE SYMBOL SPECIFIED ABOVE SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD 545c.

ENTRANCES AND DOORS

- ALL PRIMARY ENTRANCES TO BUILDING SHALL BE MADE ACCESSIBLE TO THE HANDICAPPED.
- HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN THIRTY INCHES TO FORTY-FOUR INCHES (30"-44") ABOVE THE FLOOR. LATCHING AND LOCKING DEVICES ARE HAND OR SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED NOT TO EXCEED FIFTEEN POUNDS (15 LB).
- REQUIRED EXIT DOORWAYS SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN THREE FEET (3'-0") IN WIDTH AND NOT LESS THAN SIX FEET, EIGHT INCHES (6'-8") IN HEIGHT. WHEN INSTALLED IN EXIT DOORWAYS, EXIT DEVICES SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR IN ITS CLOSED POSITION. SO MUCH MOUNTED THAT THE CLEAR WIDTH OF THE EXIT WAY IS NOT LESS THAN THIRTY-TWO INCHES (32").
- FOR HINGED DOORS, THE OPENING WIDTH SHALL BE MEASURED WITH THE DOOR POSITIONED AT ANY ANGLE OF NINETY DEGREES (90") FROM ITS CLOSED POSITION. AT LEAST ONE OF A PAIR OF DOORS SHALL MEET THIS OPENING REQUIREMENT. REVOLVING DOORS SHALL NOT BE USED AS A REQUIRED ENTRANCE FOR THE HANDICAPPED.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED FIVE POUNDS (5 LBS) FOR EXTERIOR DOORS AND FIVE POUNDS (5 LBS) FOR INTERIOR DOORS, SUCH PUSH OR PULL EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED NOT TO EXCEED FIFTEEN POUNDS (15 LB).
- THE BOTTOM TEN (10) INCHES OF ALL DOORS, EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION WHERE NARROW FRAME DOORS ARE USED. A TEN INCH (10") HIGH SMOOTH FINISH SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- THRESHOLDS SHALL NOT EXCEED ONE HALF INCH (1/2") IN HEIGHT ABOVE FLOOR AND LANDING ON BOTH SIDES.
- WHERE TURNSTILES ARE USED, A DOOR OR GATE THAT IS ACCESSIBLE TO THE HANDICAPPED SHALL BE PROVIDED WITHIN THIRTY FEET (30'-0") AND WITH A THIRTY-TWO INCH (32") CLEAR WIDTH OPENING.
- WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES (32") WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES (90") FROM ITS CLOSED POSITION.
- THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF THE SWING OF AT LEAST SIXTY (60) INCHES AND THE LENGTH OPPOSITE THE DIRECTION OF THE DOOR SWING OF FORTY-FOUR (44) INCHES AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. THE CLEAR AREA ON THE SWING SIDE OF THE DOOR SHALL EXTEND TWENTY-FOUR (24) INCHES PAST THE STRIKE FOR EXTERIOR DOORS AND EIGHTEEN (18) INCHES PAST THE STRIKE FOR INTERIOR DOORS.
- THE FLOOR OR LANDING SHALL BE NOT MORE THAN ONE HALF (1/2) INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN ONE QUARTER (1/4) INCH AND ONE HALF (1/2) INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE TO TWO (1:2).
- EXTERIOR LANDINGS MAY SLOPE UP TO ONE QUARTER (1/4) INCH PER FOOT IN ANY DIRECTION TO ALLOW FOR SURFACE DRAINAGE.
- THE SPACE BETWEEN TWO CONSECUTIVE DOOR OPENINGS IN A VESTIBULE SHALL PROVIDE FORTY-EIGHT (48) INCHES OF CLEAR SPACE FROM ANY DOOR OPENING INTO SUCH VESTIBULE WHEN THE DOOR IS POSITIONED AT NINETY (90) DEGREES FROM ITS CLOSED POSITION. DOORS IN A SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE VESTIBULE.
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - EXCEPTION: THIS REQUIREMENT SHALL NOT APPLY TO EXTERIOR EXIT DOORS IN A BUILDING B OCCUPANCY IF THERE IS A READILY VISIBLE, DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS". THE SIGN SHALL BE IN LETTER NOT LESS THAN ONE (1) INCH HIGH ON A CONTRASTING BACKGROUND. THE LOCKING DEVICE MUST BE A TYPE THAT WILL BE READILY DISTINGUISHABLE AS LOCKED.

- CORRIDORS SHALL BE FORTY-FOUR INCHES (44") MINIMUM IN WIDTH OR AS REQUIRED BY OCCUPANT LOAD CORRIDORS SERVING LESS THAN TEN (10) OCCUPANTS MAY BE THIRTY-SIX INCHES (36") WIDE.
- FOR CORRIDORS OVER 200 FEET LONG, SEE ADDITIONAL REQUIREMENTS OF IBC SECTIONS 1007, 1016 & 1017.
- CORRIDORS THAT ARE MORE THAN NINETY FEET (90'-0") LONG OR THAT SERVE MORE THAN FIFTY (50) PERSONS WILL BE REQUIRED TO COMPLY WITH ONE OF THE FOLLOWING:
 - THE CORRIDOR SHOULD BE AT LEAST SIXTY INCHES (60") WIDE.
 - PROVIDE AT A CENTRAL LOCATION, A SIXTY INCHES (60" X 60") MINIMUM WHEELCHAIR TURNING SPACE OR PASSING ALCOVE.
 - PROVIDE AT A CENTRAL LOCATION AN INTERVENING CROSS OR TEE CORRIDOR, A MINIMUM OF FORTY-FOUR INCHES (44") IN WIDTH.
 - PROVIDE AT A CENTRAL LOCATION AN OPENABLE DOOR.
- PARTITIONS, RAILS, COUNTERS, AND SIMILAR SPACE DIVIDERS NOT OVER FIVE FEET (5'-0") IN HEIGHT ABOVE THE FLOOR, SHALL NOT BE CONSTRUCTED TO FORM CORRIDORS.
- WALLS OF CORRIDORS SERVING AN OCCUPANT LOAD OF THIRTY (30) OR MORE MUST BE OF NOT LESS THAN THAT REQUIRED FOR A ONE HOUR FIRE RESISTIVE FLOOR OR ROOF SYSTEM.
- WHEN WALLS AND CEILINGS ARE REQUIRED TO BE OF FIRE RESISTIVE OR WEATHER RESISTIVE CONSTRUCTION, THE FINISH MATERIAL OF ANY CLASS SHALL BE APPLIED DIRECTLY AGAINST SUCH FIRE RESISTIVE CONSTRUCTION OR TO FURRING STRIPS NOT EXCEEDING ONE AND THREE-QUARTER INCHES (1-3/4") IN THICKNESS APPLIED DIRECTLY AGAINST SUCH SURFACES. THE INTERVENING SPACES BETWEEN SUCH FURRING STRIPS SHALL BE FILLED WITH INORGANIC CLASS I MATERIAL OR SHALL BE FIRE STOPPED NOT TO EXCEED EIGHT FEET (8'-0") IN ANY DIRECTION.

- WHERE CORRIDOR WALLS ARE REQUIRED TO BE OF ONE HOUR FIRE RESISTIVE CONSTRUCTION EVERY DOOR OPENING SHALL BE PROTECTED BY TIGHT FITTING SMOKE AND DRAFT CONTROL DOOR ASSEMBLY HAVING A FIRE PROTECTIONS RATING OF NOT LESS THAN TWENTY (20) MINUTES. THE DOOR AND FRAME SHALL BEAR AN APPROVED LABEL OR OTHER IDENTIFICATION SHOWING THE RATING THEREOF, THE NAME OF THE MANUFACTURER AND THE IDENTIFICATION OF THE SERVICE CONDUCTING THE INSPECTION OF MATERIALS AND WORKMANSHIP AT THE FACTORY DURING FABRICATION AND ASSEMBLY. DOORS SHALL BE MAINTAINED SELF-CLOSING OR SHALL BE AUTOMATIC CLOSING.
 - OTHER INTERIOR OPENINGS SHALL BE FIXED AND PROTECTED BY APPROVED ONE QUARTER INCH (1/4") THICK WIRED GLASS INSTALLED IN STEEL FRAMES. THE TOTAL AREA OF ALL OPENINGS OTHER THAN DOORS IN ANY PORTIONS OF AN INTERIOR CORRIDOR SHALL NOT EXCEED TWENTY-FIVE PERCENT (25%) OF THE AREA OF THE CORRIDOR WALL OF THE ROOM WHICH IT IS SEPARATING FROM THE CORRIDOR.
- STAIRWAY**
- HANDRAILS ARE REQUIRED ON EACH SIDE OF STAIRWAY.
 - HANDRAILS SHALL BE LOCATED THIRTY-FOUR INCHES (34") ABOVE NOSING, EXTEND TWELVE INCHES (12") BEYOND TOP RISER AND TWELVE INCHES (12") PLUS ONE (1) TREAD WIDTH BEYOND BOTTOM NOSING AND RETURNED TO THE WALL OR NEMEL POST.
 - HANDRAILS SHALL BE ONE AND ONE QUARTER INCH (1-1/4") TO TWO INCHES (2") IN DIAMETER OR PROVIDE AN EQUIVALENT GRIPPING SURFACE AND PROVIDE A CLEAR SPACE OF ONE AND ONE HALF INCHES (1-1/2") FROM THE adjacent wall.
 - TREADS SHALL HAVE SMOOTH, ROUNDED OR CHAMFERED EDGES AND BE SLIP RESISTANT.
 - NOSING SHALL NOT PROJECT MORE THAN ONE AND ONE HALF INCHES (1-1/2") PAST FACE OF THE RISER BELOW.
 - RISERS SHALL BE SUFFICIENTLY SOLID TO PRECLUDE OBJECTS LARGER THAN ONE HALF INCH (1/2") FROM PASSING THROUGH THEM.
 - THE UPPER APPROACH AND LOWER TREAD OF EACH FLIGHT OF INTERIOR STAIRS SHALL BE MARKED WITH A CONTRASTING COLORED STRIP TWO INCHES (2") IN WIDTH.
 - ON EXTERIOR STAIRS EACH TREAD SHALL BE MARKED WITH A CONTRASTING COLORED STRIP TWO INCHES (2") IN WIDTH.
- HANDRAILS**
- HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN ONE AND ONE HALF INCHES (1-1/2") BETWEEN THE WALL AND the handrail.
 - THE GRIP PORTION OF THE HANDRAIL SHALL BE NOT LESS THAN ONE AND ONE QUARTER INCHES (1-1/4") THAN ONE AND A HALF INCHES (1-1/2") IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AND EQUIVALENT GRIPPING SURFACE AND ALL SURFACES SHALL BE SMOOTH WITH NO SHARP CORNERS.
 - THE SURFACE OF RAMPS SHALL BE SLIP-RESISTANT, AT LEAST EQUIVALENT TO A BROOM FINISH ON CONCRETE SECTION 3307(G).
 - WHERE THE RAMP SURFACE IS NOT BOUNDED BY A WALL OR FENCE AND THE RAMP EXCEEDS TEN FEET (10'-0") IN LENGTH, THE RAMP SHALL WITH ONE OF THE FOLLOWING REQUIREMENTS:
 - A GUIDE CURB A MINIMUM OF TWO INCHES (2") IN HEIGHT SHALL BE PROVIDED AT EACH SIDE OF THE RAMP; OR;
 - A WHEEL GUIDE RAIL SHALL BE PROVIDED, CENTERED THREE INCHES PLUS OR MINUS (3±) ONE INCH (1") ABOVE THE SURFACE OF THE RAMP.
- RAMPS**
- ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN ONE FOOT RISE IN TWENTY FEET OF HORIZONTAL RUN (1':20').
 - RAMP WIDTH SHALL BE NOT LESS THAN THAT FOR STAIRS OR EXITS MUST BE SIXTY INCHES (60") MINIMUM IF SERVING THE PRIMARY ENTRANCE OF A BUILDING WITH AN OCCUPANT LOAD OF 300 OR MORE AND SHALL BE FORTY-EIGHT INCHES (48") MINIMUM OTHERWISE.
 - THE MAXIMUM SLOPE OF A RAMP THAT SERVES ANY EXITWAY, PROVIDES HANDICAP ACCESS OR IS IN THE PATH OF TRAVEL SHALL BE ONE FOOT RISE IN TWELVE FEET OF HORIZONTAL RUN (1':12').
 - TOP LANDINGS FOR RAMPS SHALL BE A MINIMUM OF SIXTY INCHES BY SIXTY INCHES (60" X 60") BOTTOM AND INTERMEDIATE LANDINGS MUST BE SEVENTY-TWO INCHES (72") LONG AND AS WIDE AS THE RAMP.
 - INTERMEDIATE LANDING SHALL BE PROVIDED AT INTERVALS NOT EXCEEDING THIRTY INCHES (30") OF VERTICAL RISE AND AT EACH CHANGE IN DIRECTION.
 - DOORS IN ANY POSITIONS SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE RAMP LANDING TO LESS THAN FORTY-TWO INCHES (42") AND SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN THREE AND ONE HALF INCHES (3-1/2") WHEN FULLY OPEN.
 - THE WIDTH OF THE LANDING SHALL EXTEND TWENTY-FOUR INCHES (24") PAST THE STRIKE EDGE OF ANY DOOR OR GATE FOR EXTERIOR RAMPS AND EIGHTEEN INCHES (18") PAST THE STRIKE EDGE FOR INTERIOR RAMPS.
 - THE CROSS SLOPE ON A RAMP OR THE SLOPE ACROSS A RAMP LANDING IN ANY DIRECTION SHALL NOT EXCEED ONE QUARTER INCH RISE IN TWELVE INCHES OF HORIZONTAL RUN (1/4":12"). SECTION 413(c).
 - HANDRAILS ARE REQUIRED ON RAMPS IF THE SLOPE EXCEED ONE FOOT RISE IN FIFTEEN FEET OF HORIZONTAL RUN (1':15')
 - HANDRAILS SHALL BE PLACED ON EACH SIDE OF EACH RAMP. SHALL BE CONTINUOUS THE FULL LENGTH OF THE RAMP. THE TOP SHALL BE THIRTY-FOUR INCHES (34") ABOVE THE RAMP SURFACE, SHALL EXTEND A MINIMUM OF ONE FOOT (1'-0") BEYOND THE TOP AND BOTTOM OF THE RAMP. THE ENDS SHALL BE RETURNED TO THE WALL OR VERTICAL POST, SHALL BE A MINIMUM OF ONE AND ONE QUARTER INCHES (1-1/4") TO A MAXIMUM OF TWO INCHES (2") IN DIAMETER OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. ALL SURFACES SHALL BE SMOOTH WITH NO SHARP CORNERS AND PROVIDE A CLEAR SPACE BETWEEN THE WALL AND THE HANDRAIL OF ONE AND ONE HALF INCHES (1-1/2').
 - THE SURFACE OF RAMPS SHALL BE SLIP-RESISTANT, AT LEAST EQUIVALENT TO A BROOM FINISH ON CONCRETE.
 - WHERE THE RAMP SURFACE IS NOT BOUNDED BY A WALL OR FENCE AND THE RAMP EXCEEDS TEN FEET (10'-0") IN LENGTH, THE RAMP SHALL MEET ONE OF THE FOLLOWING REQUIREMENTS:
 - A GUIDE CURB A MINIMUM OF TWO (2) INCHES IN HEIGHT SHALL BE PROVIDED AT EACH SIDE OF THE RAMP; OR;
 - A WHEEL GUIDE RAIL SHALL BE PROVIDED, CENTERED THREE INCHES PLUS OR MINUS (3±) ONE INCH (1") ABOVE THE SURFACE OF THE RAMP.

CORRIDORS

- CORRIDORS SHALL BE FORTY-FOUR INCHES (44") MINIMUM IN WIDTH OR AS REQUIRED BY OCCUPANT LOAD CORRIDORS SERVING LESS THAN TEN (10) OCCUPANTS MAY BE THIRTY-SIX INCHES (36") WIDE.
- FOR CORRIDORS OVER 200 FEET LONG, SEE ADDITIONAL REQUIREMENTS OF IBC SECTIONS 1007, 1016 & 1017.
- CORRIDORS THAT ARE MORE THAN NINETY FEET (90'-0") LONG OR THAT SERVE MORE THAN FIFTY (50) PERSONS WILL BE REQUIRED TO COMPLY WITH ONE OF THE FOLLOWING:
 - THE CORRIDOR SHOULD BE AT LEAST SIXTY INCHES (60") WIDE.
 - PROVIDE AT A CENTRAL LOCATION, A SIXTY INCHES (60" X 60") MINIMUM WHEELCHAIR TURNING SPACE OR PASSING ALCOVE.
 - PROVIDE AT A CENTRAL LOCATION AN INTERVENING CROSS OR TEE CORRIDOR, A MINIMUM OF FORTY-FOUR INCHES (44") IN WIDTH.
 - PROVIDE AT A CENTRAL LOCATION AN OPENABLE DOOR.
- PARTITIONS, RAILS, COUNTERS, AND SIMILAR SPACE DIVIDERS NOT OVER FIVE FEET (5'-0") IN HEIGHT ABOVE THE FLOOR, SHALL NOT BE CONSTRUCTED TO FORM CORRIDORS.
- WALLS OF CORRIDORS SERVING AN OCCUPANT LOAD OF THIRTY (30) OR MORE MUST BE OF NOT LESS THAN THAT REQUIRED FOR A ONE HOUR FIRE RESISTIVE FLOOR OR ROOF SYSTEM.
- WHEN WALLS AND CEILINGS ARE REQUIRED TO BE OF FIRE RESISTIVE OR WEATHER RESISTIVE CONSTRUCTION, THE FINISH MATERIAL OF ANY CLASS SHALL BE APPLIED DIRECTLY AGAINST SUCH FIRE RESISTIVE CONSTRUCTION OR TO FURRING STRIPS NOT EXCEEDING ONE AND THREE-QUARTER INCHES (1-3/4") IN THICKNESS APPLIED DIRECTLY AGAINST SUCH SURFACES. THE INTERVENING SPACES BETWEEN SUCH FURRING STRIPS SHALL BE FILLED WITH INORGANIC CLASS I MATERIAL OR SHALL BE FIRE STOPPED NOT TO EXCEED EIGHT FEET (8'-0") IN ANY DIRECTION.

- WHERE CORRIDOR WALLS ARE REQUIRED TO BE OF ONE HOUR FIRE RESISTIVE CONSTRUCTION EVERY DOOR OPENING SHALL BE PROTECTED BY TIGHT FITTING SMOKE AND DRAFT CONTROL DOOR ASSEMBLY HAVING A FIRE PROTECTIONS RATING OF NOT LESS THAN TWENTY (20) MINUTES. THE DOOR AND FRAME SHALL BEAR AN APPROVED LABEL OR OTHER IDENTIFICATION SHOWING THE RATING THEREOF, THE NAME OF THE MANUFACTURER AND THE IDENTIFICATION OF THE SERVICE CONDUCTING THE INSPECTION OF MATERIALS AND WORKMANSHIP AT THE FACTORY DURING FABRICATION AND ASSEMBLY. DOORS SHALL BE MAINTAINED SELF-CLOSING OR SHALL BE AUTOMATIC CLOSING.
- OTHER INTERIOR OPENINGS SHALL BE FIXED AND PROTECTED BY APPROVED ONE QUARTER INCH (1/4") THICK WIRED GLASS INSTALLED IN STEEL FRAMES. THE TOTAL AREA OF ALL OPENINGS OTHER THAN DOORS IN ANY PORTIONS OF AN INTERIOR CORRIDOR SHALL NOT EXCEED TWENTY-FIVE PERCENT (25%) OF THE AREA OF THE CORRIDOR WALL OF THE ROOM WHICH IT IS SEPARATING FROM THE CORRIDOR.

STAIRWAY

- HANDRAILS ARE REQUIRED ON EACH SIDE OF STAIRWAY.
 - HANDRAILS SHALL BE LOCATED THIRTY-FOUR INCHES (34") ABOVE NOSING, EXTEND TWELVE INCHES (12") BEYOND TOP RISER AND TWELVE INCHES (12") PLUS ONE (1) TREAD WIDTH BEYOND BOTTOM NOSING AND RETURNED TO THE WALL OR NEMEL POST.
 - HANDRAILS SHALL BE ONE AND ONE QUARTER INCH (1-1/4") TO TWO INCHES (2") IN DIAMETER OR PROVIDE AN EQUIVALENT GRIPPING SURFACE AND PROVIDE A CLEAR SPACE OF ONE AND ONE HALF INCHES (1-1/2") FROM THE adjacent wall.
 - TREADS SHALL HAVE SMOOTH, ROUNDED OR CHAMFERED EDGES AND BE SLIP RESISTANT.
 - NOSING SHALL NOT PROJECT MORE THAN ONE AND ONE HALF INCHES (1-1/2") PAST FACE OF THE RISER BELOW.
 - RISERS SHALL BE SUFFICIENTLY SOLID TO PRECLUDE OBJECTS LARGER THAN ONE HALF INCH (1/2") FROM PASSING THROUGH THEM.
 - THE UPPER APPROACH AND LOWER TREAD OF EACH FLIGHT OF INTERIOR STAIRS SHALL BE MARKED WITH A CONTRASTING COLORED STRIP TWO INCHES (2") IN WIDTH.
 - ON EXTERIOR STAIRS EACH TREAD SHALL BE MARKED WITH A CONTRASTING COLORED STRIP TWO INCHES (2") IN WIDTH.
- HANDRAILS**
- HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN ONE AND ONE HALF INCHES (1-1/2") BETWEEN THE WALL AND the handrail.
 - THE GRIP PORTION OF THE HANDRAIL SHALL BE NOT LESS THAN ONE AND ONE QUARTER INCHES (1-1/4") THAN ONE AND A HALF INCHES (1-1/2") IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AND EQUIVALENT GRIPPING SURFACE AND ALL SURFACES SHALL BE SMOOTH WITH NO SHARP CORNERS.
 - THE SURFACE OF RAMPS SHALL BE SLIP-RESISTANT, AT LEAST EQUIVALENT TO A BROOM FINISH ON CONCRETE SECTION 3307(G).
 - WHERE THE RAMP SURFACE IS NOT BOUNDED BY A WALL OR FENCE AND THE RAMP EXCEEDS TEN FEET (10'-0") IN LENGTH, THE RAMP SHALL WITH ONE OF THE FOLLOWING REQUIREMENTS:
 - A GUIDE CURB A MINIMUM OF TWO INCHES (2") IN HEIGHT SHALL BE PROVIDED AT EACH SIDE OF THE RAMP; OR;
 - A WHEEL GUIDE RAIL SHALL BE PROVIDED, CENTERED THREE INCHES PLUS OR MINUS (3±) ONE INCH (1") ABOVE THE SURFACE OF THE RAMP.

BATHING FACILITIES

- ONE SUCH FACILITY SHALL COMPLY WHEN PROVIDED FOR THE PUBLIC, CLIENTS OR EMPLOYEES.
 - SHOWER COMPARTMENTS SHALL BE FORTY-TWO INCHES (42") WIDE, FORTY-EIGHT INCHES (48") DEEP, WITH A THIRTY-SIX (36") WIDE ENTRANCE.
 - SHOWER FLOOR SHALL BE SLIP RESISTANT AND SLOPE AT 2% MAXIMUM TO DRAIN LOCATION.
 - HANDICAPPED BATHING FACILITIES SHALL CONFORM TO REQUIREMENT OF ADAAG SECTIONS 4.20, 4.21 & 4.23.
- LAVATORIES**
- LAVATORIES ADJACENT TO A WALL SHALL BE MOUNTED A MINIMUM DISTANCE OF EIGHTEEN INCHES (18") TO THE CENTER LINE OF THE FIXTURE. LAVATORIES SHALL BE MOUNTED WITH CLEARANCE OF AT LEAST TWENTY-NINE INCHES (29") FROM THE FLOOR TO THE BOTTOM OF THE APRON WITH KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF THIRTY INCHES (30") IN WIDTH WITH EIGHT INCHES (8") MINIMUM DEPTH AT THE TOP. TOE CLEARANCE SHALL BE THE SAME WIDTH AND SHALL BE A MINIMUM OF SEVENTEEN INCHES (17") DEEP FROM THE FRONT OF THE LAVATORY.
 - HOT WATER AND DRAIN PIPE UNDER THE LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
 - FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN FIVE POUNDS (5 LBS). LEVER-OPERATED PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST TEN (10) SECONDS.
 - A CLEAR FLOOR SPACE THIRTY INCHES BY FORTY-EIGHT INCHES (30" X 48") SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY.

WATER CLOSETS

- THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF SEVENTEEN INCHES (17") AND A MAXIMUM OF NINETEEN INCHES (19"). MEASURED TO THE TOP OF THE WATER CLOSET SEAT. FLUSH CONTROLS SHALL BE OPERABLE BY AN OSCILLATING HANDLE WITH A MAXIMUM OPERATING FORCE OF THREE POUNDS (3 LBS) OR BY A REMOTE LOW VOLTAGE BUTTON. THE HANDLE OR BUTTON SHALL BE LOCATED ON THE WIDE SIDE OF THE WATER CLOSET STALL OR COMPARTMENT AND SO THEY ARE OPERABLE WITHOUT REQUIRING EXCESSIVE BODY MOVEMENT.
- GRAB BARS LOCATED ON EACH SIDE, OR ON ONE SIDE AND THE BACK OF THE HANDICAPPED WATER CLOSET STALL OR COMPARTMENT, SHALL BE MOUNTED AT THIRTY-THREE INCHES (33") ABOVE AND PARALLEL TO THE FLOOR AND SECURELY ATTACHED TO THE WALL. GRAB BARS AT THE SIDE SHALL BE AT LEAST FORTY-TWO INCHES (42") LONG WITH THE FRONT END POSITIONED TWENTY-FOUR INCHES (24") IN FRONT OF THE WATER CLOSET STOOL AND GRAB BARS AT THE BACK OF THE STALL SHALL NOT BE LESS THAN THIRTY-SIX INCHES (36"). THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE ONE AND ONE QUARTER INCH (1-1/4") TO ONE AND ONE HALF INCH (1-1/2") OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. GRAB BARS ARE MOUNTED ADJACENT TO WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE ONE AND ONE HALF INCHES (1-1/2").
- THE CENTERLINE OF THE WATER CLOSET SHALL BE LOCATED EIGHTEEN INCHES (18") FROM THE WALL.
- BAR FASTENERS AND MOUNTING SUPPORT SHALL BE ABLE TO WITHSTAND 250 POUNDS POINT LOAD IN BENDING, SHEAR AND TORSION.

- WHERE PERMANENT IDENTIFICATION IS PROVIDED OR WHERE SIGNAGE IS REQUIRED FOR ROOMS AND SPACES, RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH ADAAG SECTION 4.30. SIGNS SHALL BE INSTALLED ON THE WALL AND ADJACENT TO THE LATCH OUTLET OF THE DOOR WHERE THERE IS NO WALL SURFACE ON THE LATCH SIDE INCLUDING AT THE DOUBLE LEAF DOORS. SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60 INCHES (1524mm) ABOVE THE FINISH FLOOR TO THE CENTER LINE OF THE SIGN. MOUNTING LOCATIONS SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES (76mm) OF THE ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.

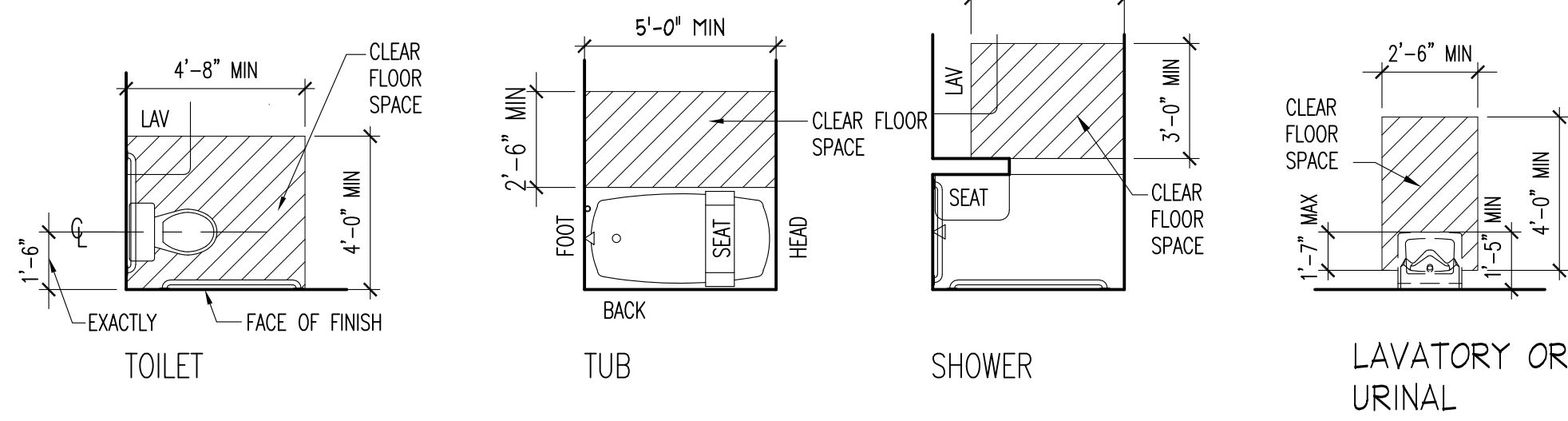
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 - SHOWER COMPARTMENTS SHALL BE FORTY-TWO INCHES (42") WIDE, FORTY-EIGHT INCHES (48") DEEP, WITH A THIRTY-SIX (36") WIDE ENTRANCE.
 - SHOWER FLOOR SHALL BE SLIP RESISTANT AND SLOPE AT 2% MAXIMUM TO DRAIN LOCATION.
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 - FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN FIVE POUNDS (5 LBS). LEVER-OPERATED PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST TEN (10) SECONDS.
 - A CLEAR FLOOR SPACE THIRTY INCHES BY FORTY-EIGHT INCHES (30" X 48") SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY.

- THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF SEVENTEEN INCHES (17") AND A MAXIMUM OF NINETEEN INCHES (19"). MEASURED TO THE TOP OF THE WATER CLOSET SEAT. FLUSH CONTROLS SHALL BE OPERABLE BY AN OSCILLATING HANDLE WITH A MAXIMUM OPERATING FORCE OF THREE POUNDS (3 LBS) OR BY A REMOTE LOW VOLTAGE BUTTON. THE HANDLE OR BUTTON SHALL BE LOCATED ON THE WIDE SIDE OF THE WATER CLOSET STALL OR COMPARTMENT AND SO THEY ARE OPERABLE WITHOUT REQUIRING EXCESSIVE BODY MOVEMENT.
- GRAB BARS LOCATED ON EACH SIDE, OR ON ONE SIDE AND THE BACK OF THE HANDICAPPED WATER CLOSET STALL OR COMPARTMENT, SHALL BE MOUNTED AT THIRTY-THREE INCHES (33") ABOVE AND PARALLEL TO THE FLOOR AND SECURELY ATTACHED TO THE WALL. GRAB BARS AT THE SIDE SHALL BE AT LEAST FORTY-TWO INCHES (42") LONG WITH THE FRONT END POSITIONED TWENTY-FOUR INCHES (24") IN FRONT OF THE WATER CLOSET STOOL AND GRAB BARS AT THE BACK OF THE STALL SHALL NOT BE LESS THAN THIRTY-SIX INCHES (36"). THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE ONE AND ONE QUARTER INCH (1-1/4") TO ONE AND ONE HALF INCH (1-1/2") OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. GRAB BARS ARE MOUNTED ADJACENT TO WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE ONE AND ONE HALF INCHES (1-1/2").
- THE CENTERLINE OF THE WATER CLOSET SHALL BE LOCATED EIGHTEEN INCHES (18") FROM THE WALL.
- BAR FASTENERS AND MOUNTING SUPPORT SHALL BE ABLE TO WITHSTAND 250 POUNDS POINT LOAD IN BENDING, SHEAR AND TORSION.

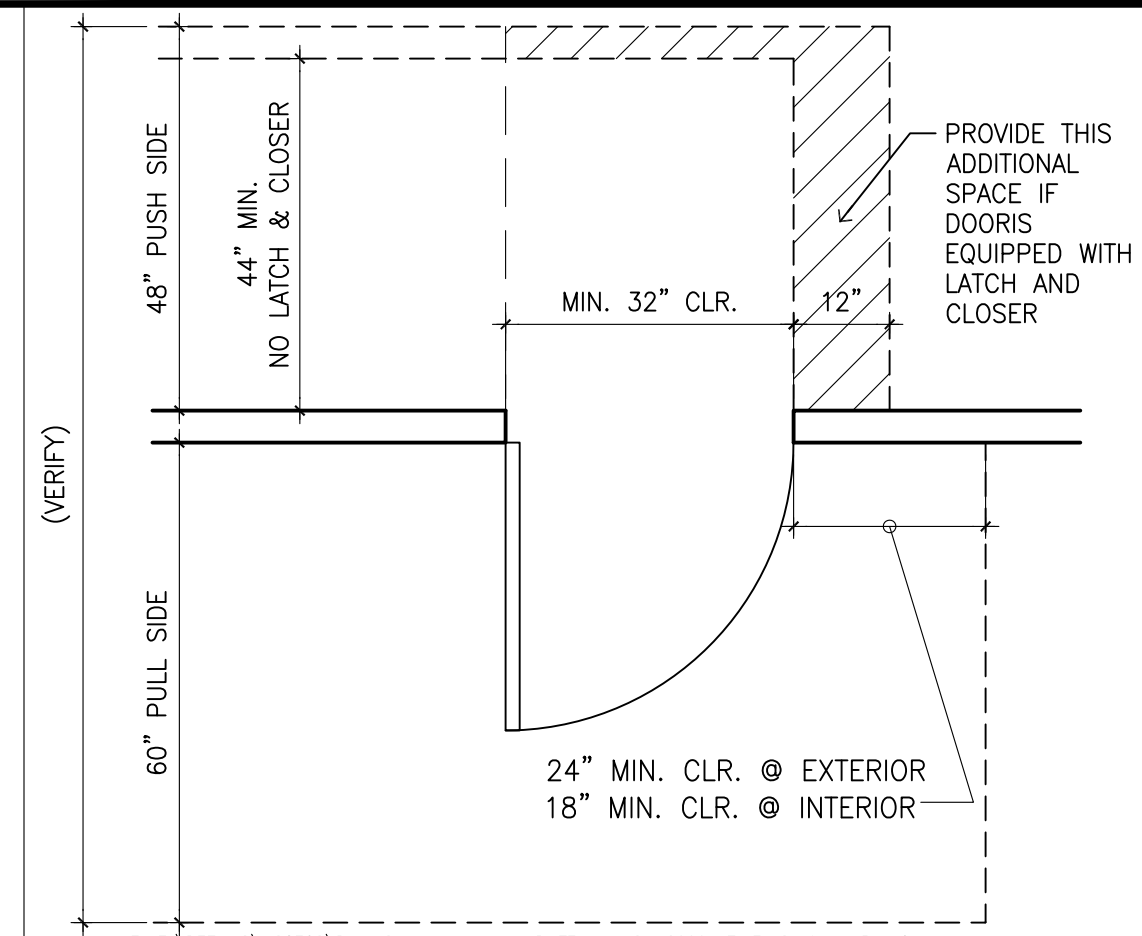
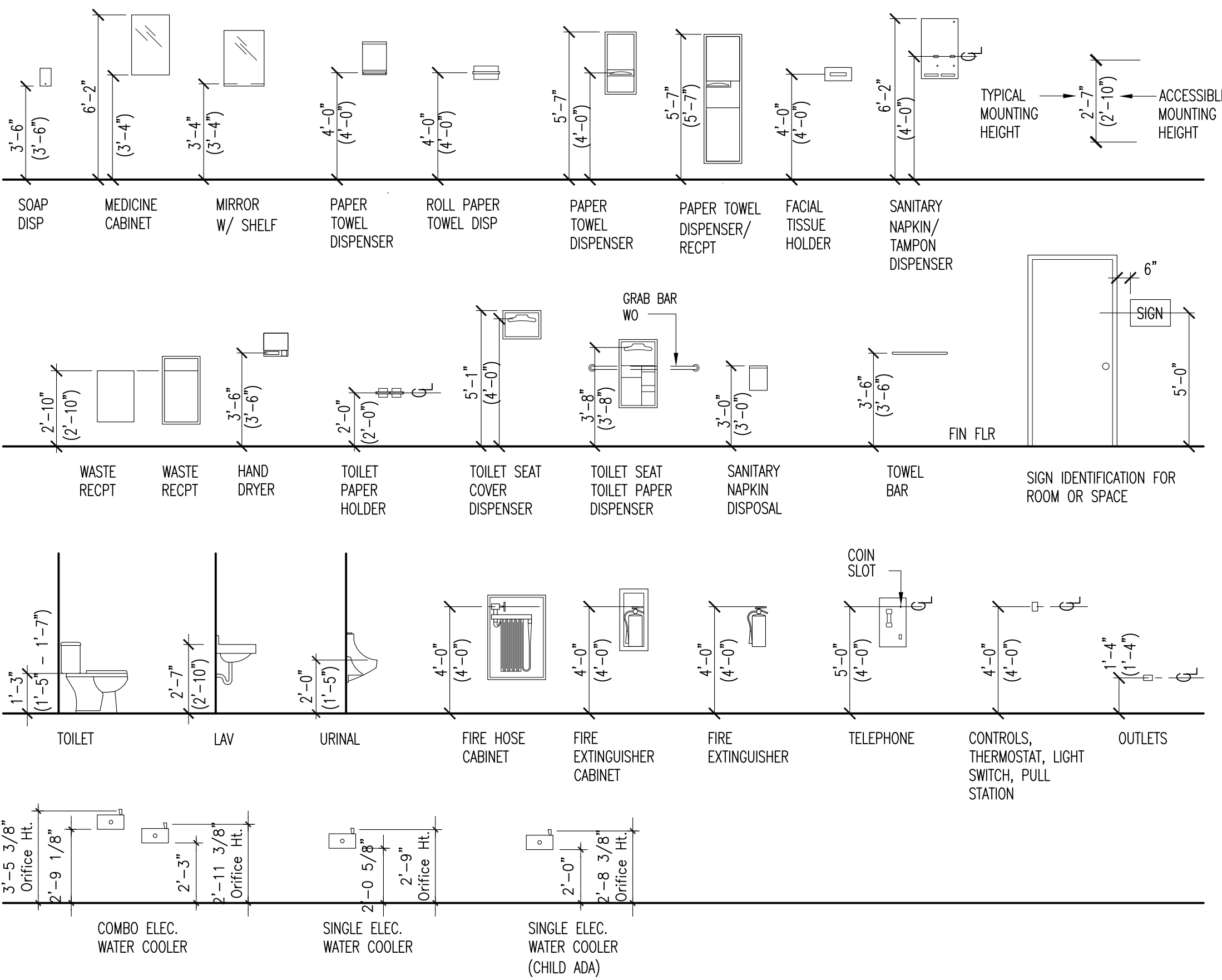
- WHERE SEPARATE FACILITIES ARE PROVIDED FOR NON-HANDICAPPED PERSONS OF EACH SEX, SEPARATE FACILITIES SHALL BE PROVIDED FOR HANDICAPPED PERSONS OF EACH SEX ALSO. WHERE UNISEX FACILITIES ARE PROVIDED FOR NON-HANDICAPPED PERSONS, SUCH UNISEX FACILITIES SHALL BE PROVIDED FOR THE HANDICAPPED.
- WHERE SANITARY FACILITIES ARE LOCATED ON ACCESSIBLE FLOORS OF A BUILDING, THEY SHALL BE MADE ACCESSIBLE TO THE HANDICAPPED.
- CORRIDORS LEADING TO SANITARY FACILITIES SHALL HAVE A CLEAR ACCESS WIDTH OF FORTY-FOUR INCHES (44") MINIMUM.
- ALL DOORWAYS LEADING TO SUCH SANITARY FACILITIES SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF THIRTY-TWO INCHES (32").
- ALL DOORWAYS LEADING TO SUCH SANITARY FACILITIES SHALL HAVE A LEVEL AND CLEAR AREA SIXTY INCHES (60") SQUARE IN THE DIRECTION OF THE DOOR SWING AND FORTY-FOUR INCHES (44") SQUARE WHERE THE DOOR SWINGS AWAY FROM THE LEVEL AND CLEAR AREA.
- MULTIPLE ACCOMMODATION SANITARY FACILITIES SHALL HAVE THE FOLLOWING:
 - A CLEAR SPACE MEASURED FROM THE FLOOR TO A HEIGHT OF TWENTY-SEVEN INCHES (27") ABOVE THE FLOOR WITHIN THE SANITARY FACILITY ROOM, OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER OF NOT LESS THAN SIXTY INCHES (60") OR A CLEAR SPACE FIFTY-SIX INCHES BY SIXTY-THREE INCHES (56" X 63") IN SIZE, DOORS, OTHER THAN THE DOOR TO THE HANDICAPPED WATER CLOSET COMPARTMENT, IN ANY POSITION MAY ENCRoACH INTO THIS SPACE BY NOT MORE THAN TWELVE INCHES (12").

- WHERE SEPARATE FACILITIES ARE PROVIDED FOR NON-HANDICAPPED PERSONS OF EACH SEX, SEPARATE FACILITIES SHALL BE PROVIDED FOR HANDICAPPED PERSONS OF EACH SEX ALSO. WHERE UNISEX FACILITIES ARE PROVIDED FOR NON-HANDICAPPED PERSONS, SUCH UNISEX FACILITIES SHALL BE PROVIDED FOR THE HANDICAPPED.
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ADA CLEARANCES

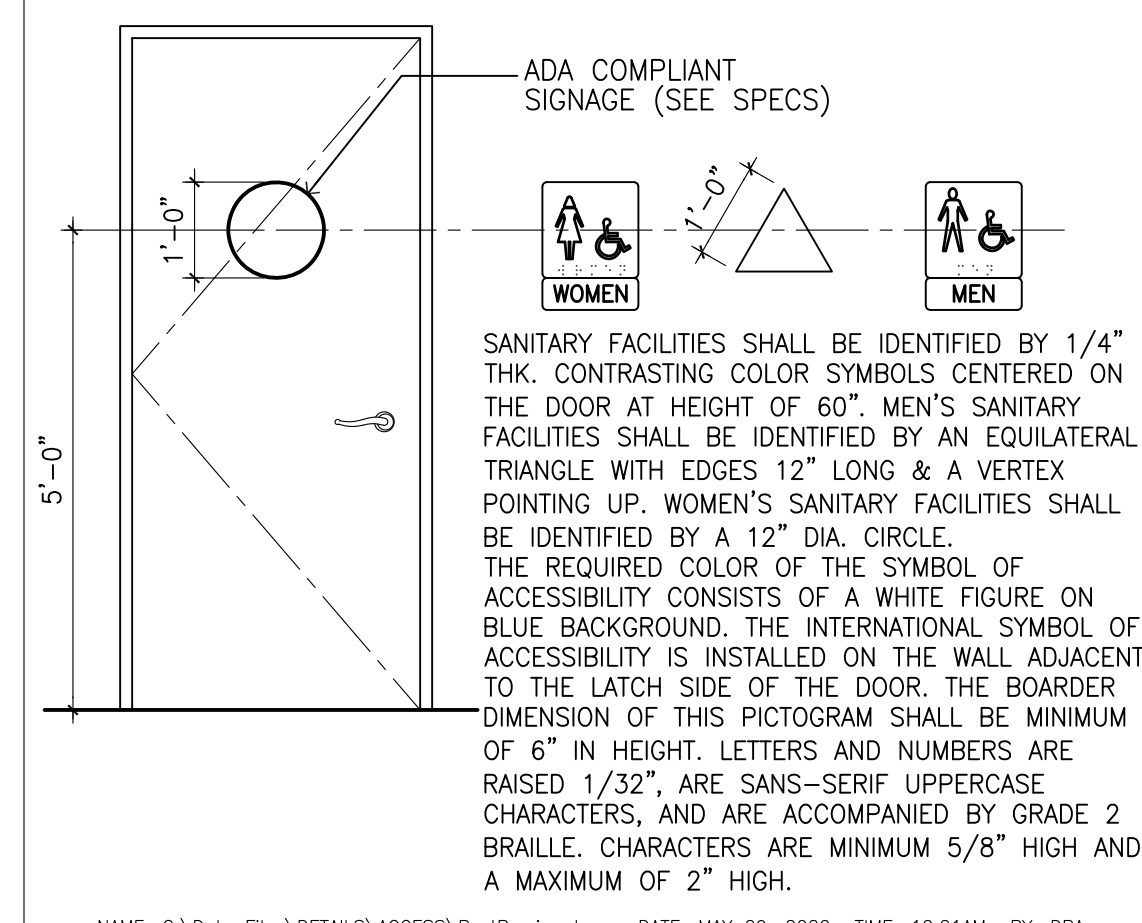


MOUNTING HEIGHT SCHEDULE



1 DOOR CLEARANCES

SCALE: 1/2" = 1'-0"

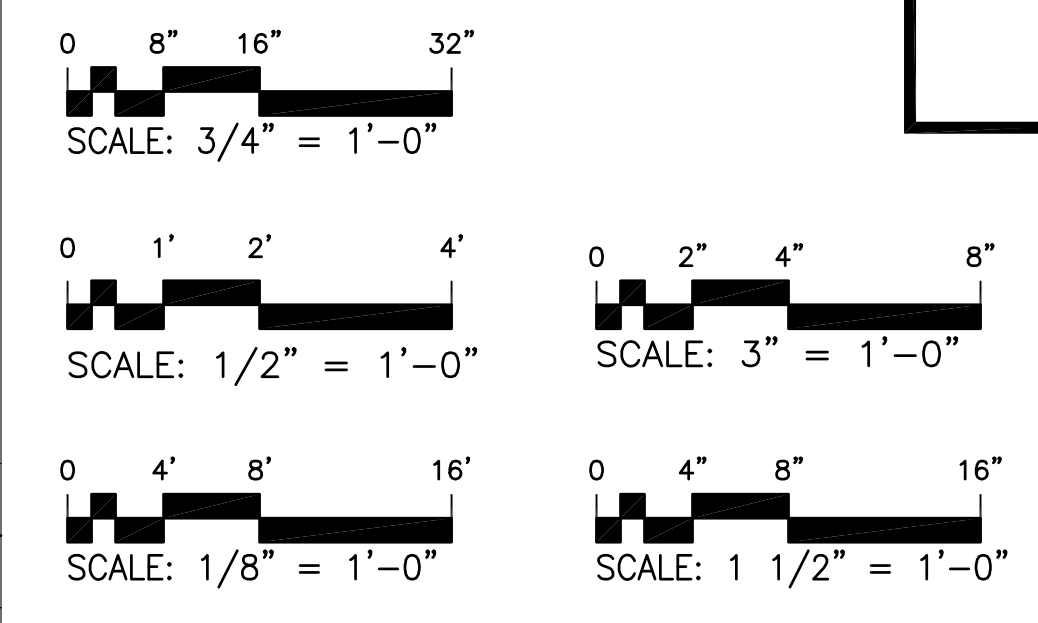


2 RESTROOM SIGNAGE

SCALE: 1/2" = 1'-0"

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

- BUILDING CODE
- ELECTRICAL CODE
- MECHANICAL CODE
- ZPRB (LAND USE ORDINANCE)
- STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)



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(808) 292-6287

DEAN R. AGCAGILI
LICENSED PROFESSIONAL ARCHITECT
AR-13819
HAWAII U.S.A.
LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES
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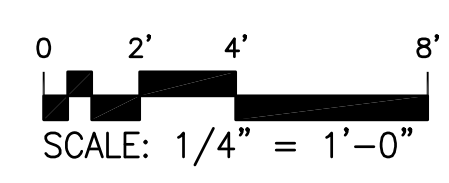
REVISION MARK • DATE • DESCRIPTION

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
ADA TYPICAL NOTES & DETAILS

JOB NO. 20007-0100 DRAWING NO.
DRAWN DRA
CHECKED DRA
DATE JUNE 2021 SHEET OF

ADA001



NAME: R:\BPA_Projects\20007-0100 Hunt Co - Kapolei Parcel 10 Building Improvements Phase 2\AD002.dwg DATE: OCT 12, 2021 TIME: 11:21AM BY: DRA

NOTES:

- SEE MECH. & ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
- ALL UNDERGROUND UTILITIES (IE. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE.

SHEET KEYNOTES: ①

- EXISTING CHAINLINK GATE TO BE REMOVED.
- EXISTING CHAINLINK FENCE TO BE REMOVED.
- EXISTING CHAINLINK FENCING & GATE TO REMAIN.
- EXISTING CONC. SLAB TO BE REMOVED.
- EXISTING UTILITY POLE & OVERHEAD LINE TO BE REMOVED (SEE ELEC. FOR SCOPE OF WORK), TYP.
- EXISTING POLE TO REMAIN. REMOVE METER. (SEE FOR SCOPE OF WORK), TYP.

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

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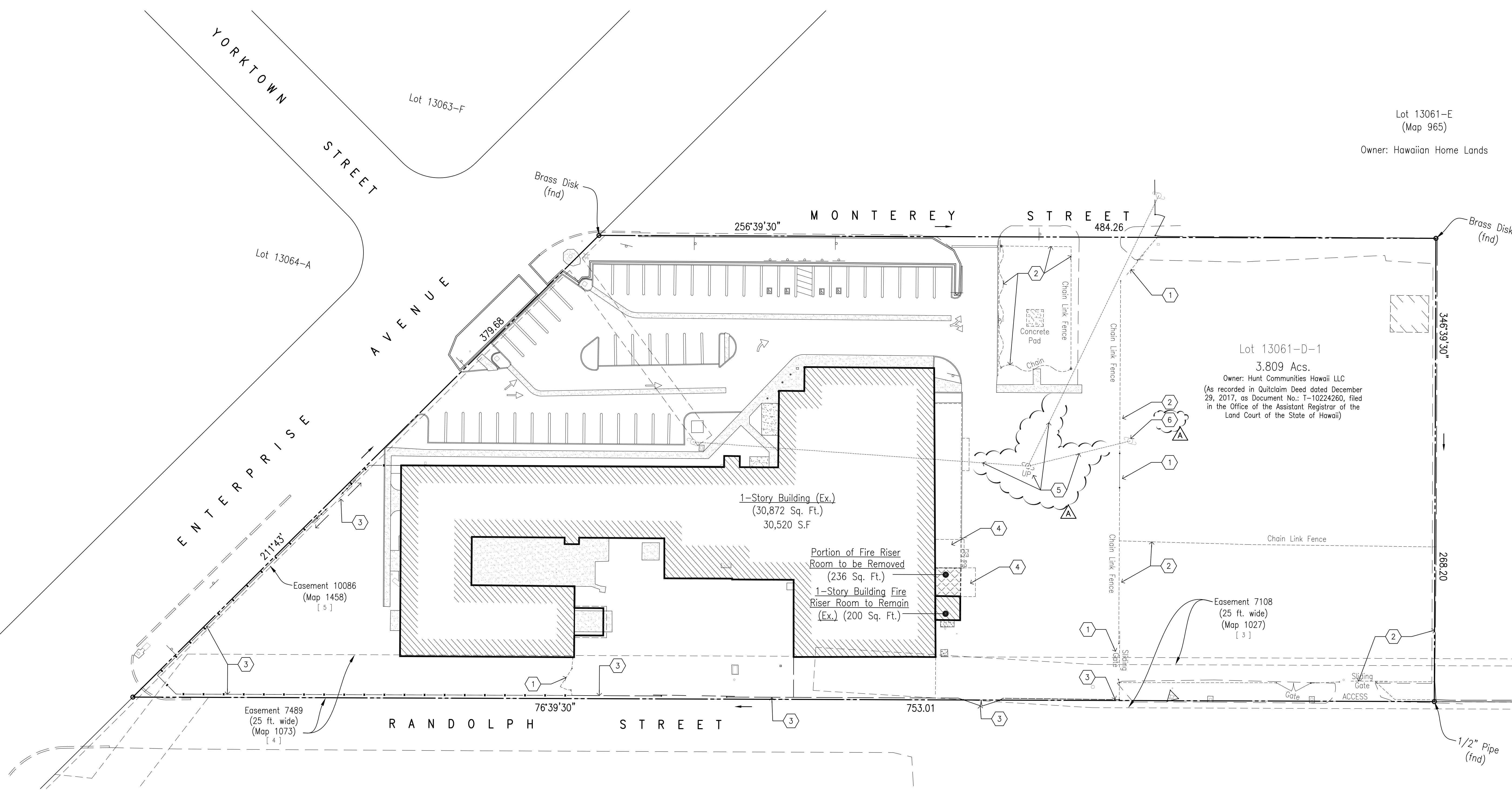


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LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES
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NAME: R:\BPA_Projects\2007-0100 Hunt Co - Kapolei Parcel 10 Building Improvements Phase 2\AD001-0.dwg DATE: JUL 12, 2022 TIME: 2:28PM BY: DRA

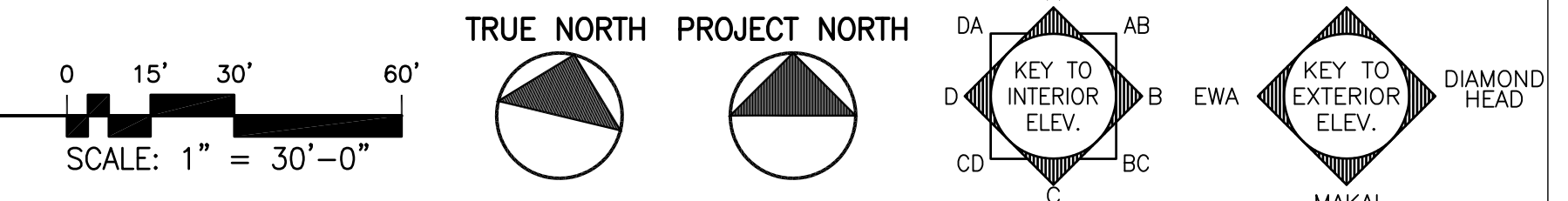


REVISION MARK	DATE	DESCRIPTION
ⓑ	07/01/22	TPR/FIRE COMMENTS
Ⓐ	07/01/22	RFI COORD/OWNER REV

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
OVERALL SITE DEMO PLAN

EXISTING SITE DEMO PLAN
SCALE: 1" = 30'-0"



JOB NO. 20007-0100	DRAWING NO.
DRAWN DRA	
CHECKED DRA	ADOO1.0
DATE JUNE 2021	SHEET OF

GENERAL NOTES:

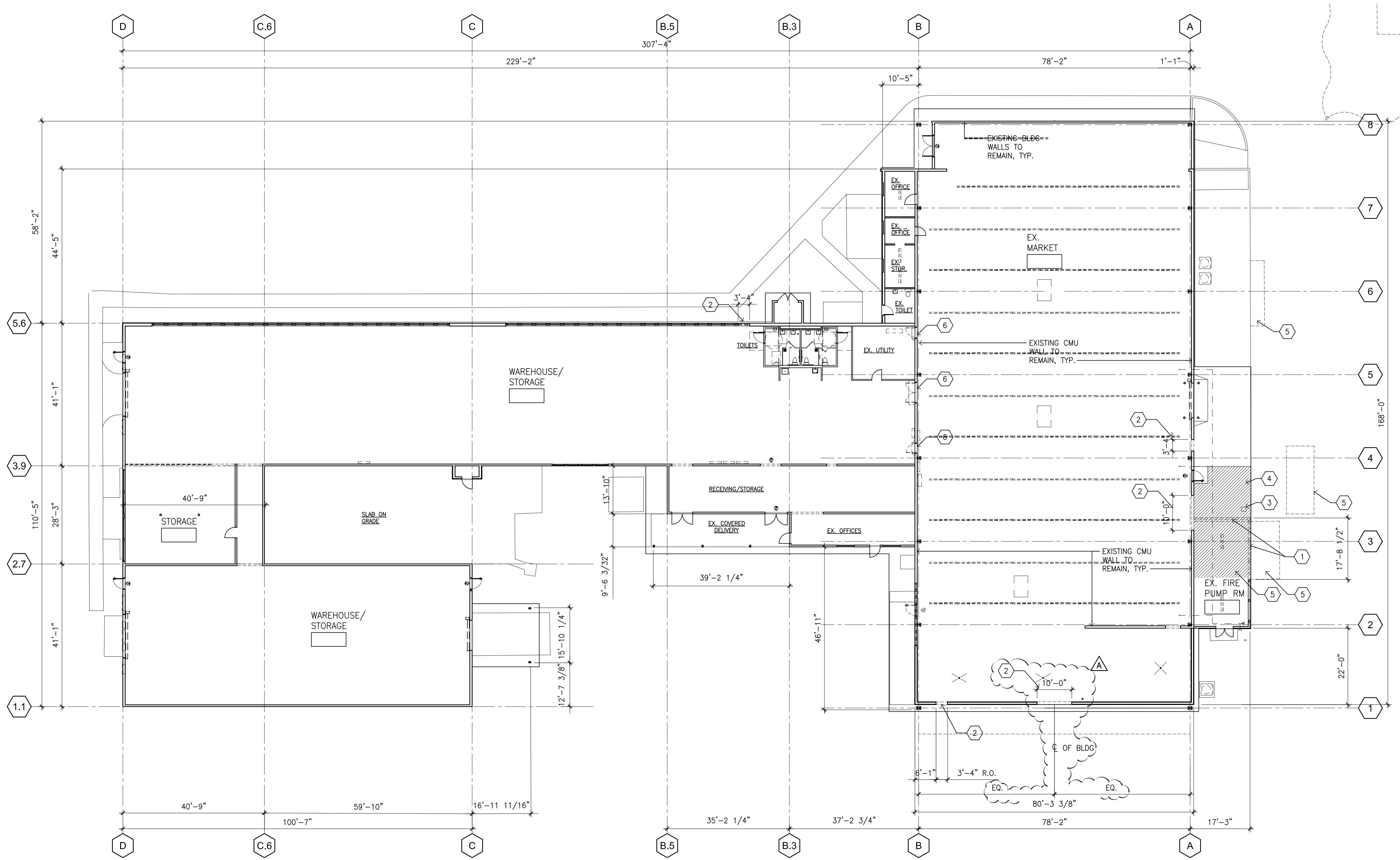
1. CONTRACTOR SHALL VERIFY AND NOTIFY ARCHITECT OF EXISTING DIMENSIONS OF PORTION OF BUILDING TO REMAIN. (I.E. - PLATE HEIGHT, ROOF PITCH, ETC.)
2. SEE MECH. & ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
3. ALL UNDERGROUND UTILITIES (I.E. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE. SEE CIVIL DWGS. FOR COORDINATION.
4. LEAD PAINT ABATEMENT MAY BE REQUIRED. COORDINATE WITH LANDLORD. CONTRACTOR SHALL PROVIDE WRITTEN PLAN FOR ABATEMENT WORK TO OWNER'S ENVIRONMENTAL CONSULTANT OR ITS CERTIFIED INDUSTRIAL HYGIENIST PRIOR TO COMMENCEMENT OF WORK.

SHEET DEMO KEYNOTES:

1. REMOVE EXISTING WALL FOR NEW WORK. (CMU WALL IS NON-STRUCTURAL)
2. REMOVE PORTION OF WALL (OR WINDOW) AS NEEDED FOR NEW DOOR OPENING. PROVIDE ALL REQUIRED STRUCTURAL SHORING AND BRACING AS REQ. PRIOR TO CUTTING OPENING.
3. REMOVE EXISTING PLUMBING FIXTURE AND CAP SEWER LINE 2" BELOW NEW FINISH FLOOR LEVEL.
4. REMOVE EXISTING RAISED CONCRETE SLAB ON GRADE. PREP FOR NEW CONCRETE SLAB FOR ACCESS TO NEW OPENING.
5. REMOVE EXISTING CONCRETE PAD. REPLACE WITH LEVEL PAVEMENT TO MATCH ADJACENT AREAS, TYP.
6. REMOVE DOOR TO BE REMOVED.

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



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DEAN R. AGCAGILI
LICENSED PROFESSIONAL ARCHITECT
AR-13819
HAWAII U.S.A.

LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES

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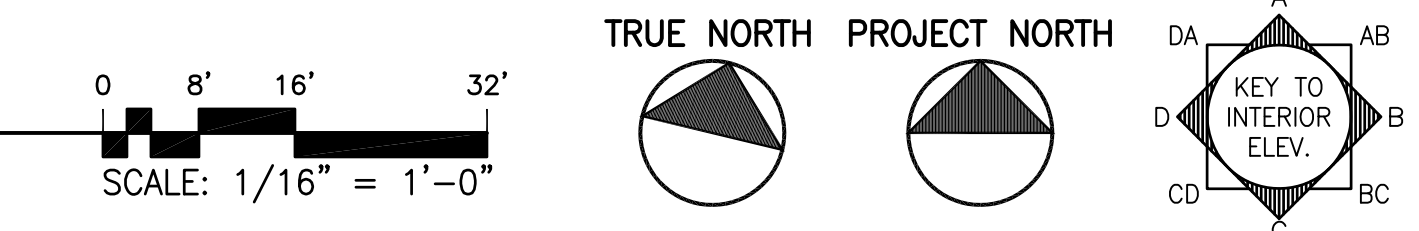
REVISION MARK	DATE	DESCRIPTION
B	07/01/22	TPR/FIRE COMMENTS
A	07/01/22	RFI COORD/OWNER REV

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

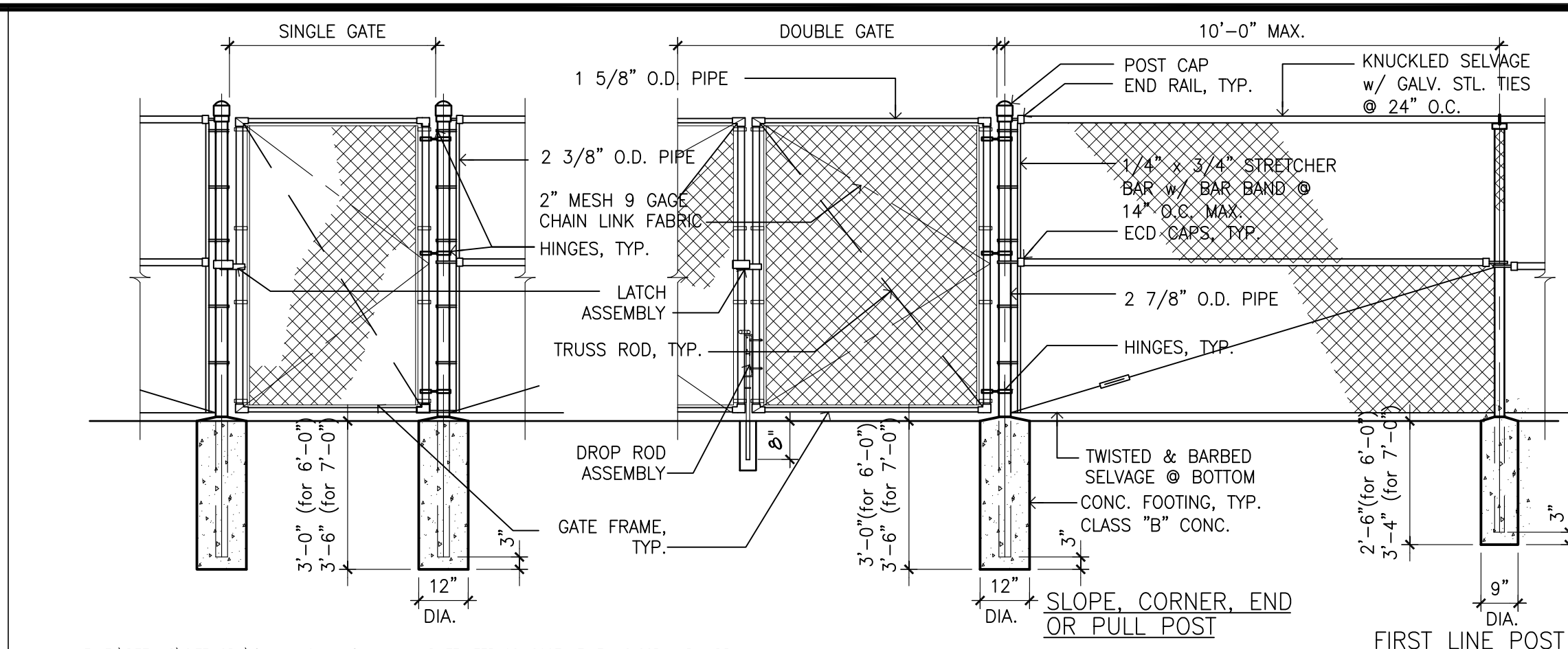
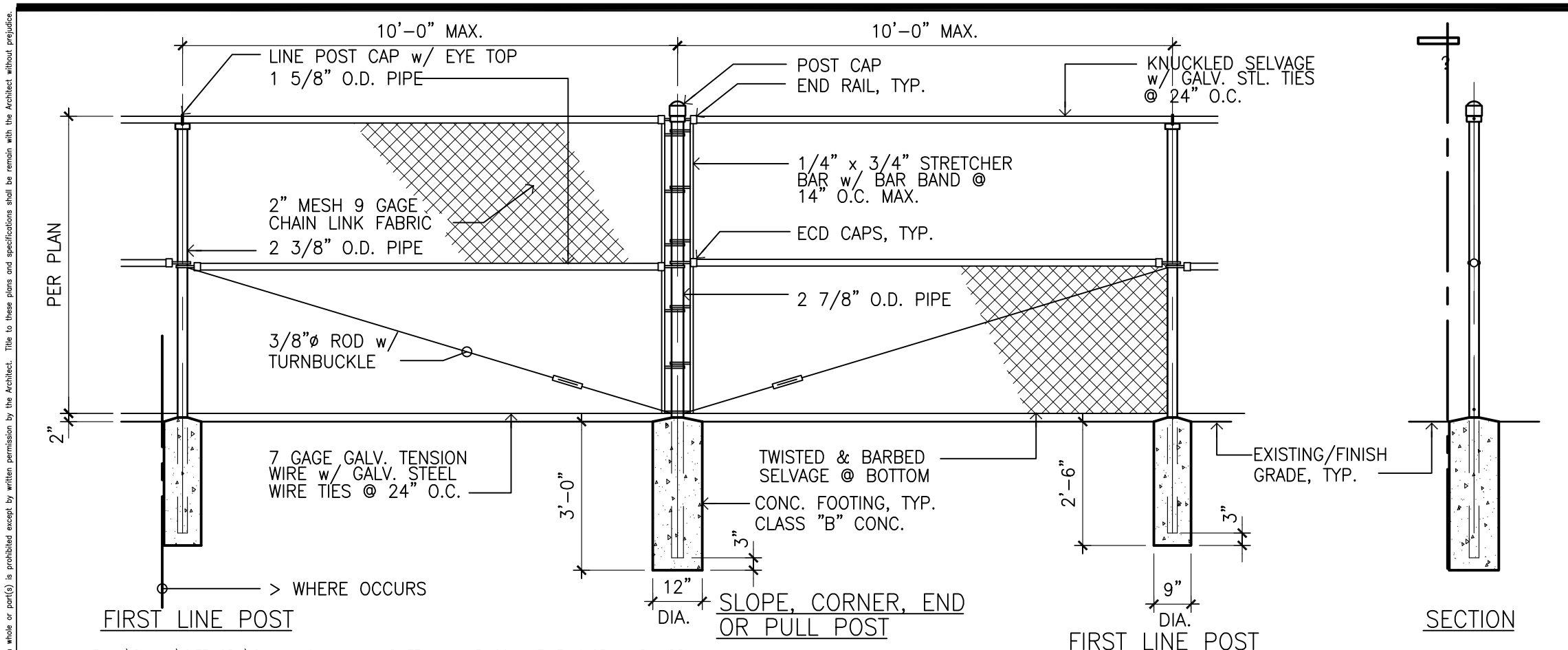
SHEET TITLE
EXISTING/DEMO FLOOR PLAN

JOB NO. 20007-0100	DRAWING NO.
DRAWN DRA	
CHECKED DRA	
DATE JUNE 2021	SHEET OF

A EXISTING/DEMO FLOOR PLAN (OVERALL)
SCALE: 1/16" = 1'-0"



NAME: R:\BPA_Projects\20007-0100 Hunt Co - Kapolei Parcel 10 Building Improvements Phase 2\AD002-0.dwg DATE: JUL 12, 2022 TIME: 2:24PM BY: DRA



- PALEKANA PERMITS THIRD PARTY CERTIFICATION**
- BUILDING CODE
 - ELECTRICAL CODE
 - MECHANICAL CODE
 - ZPRB (LAND USE ORDINANCE)
 - STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)
- NOTES:**
- ALL SITE IMPROVEMENTS ARE EXISTING UNLESS NOTED OTHERWISE, TYP.
 - SEE MECH., ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
 - ALL UNDERGROUND UTILITIES (I.E. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE. VERIFY LOCATION OF UNDERGROUND UTILITY LINES, DRAIN LINES, ETC. PRIOR TO LOCATING AND INSTALLING FENCE POSTS & LIGHT POLES, TYP.

1 **TYPICAL CHAIN LINK FENCE DETAIL**
SCALE: 3/8" = 1'-0"

2 **TYPICAL CHAIN LINK GATE DETAIL**
SCALE: 3/8" = 1'-0"

- SHEET KEYNOTES:**
- EXISTING CHAINLINK FENCING & GATE TO REMAIN.
 - EXISTING UTILITY POLE. REMOVE METER BOX. INSTALL NEW LIGHT FIXTURES (SEE ELEC. DRAWING), TYP.
 - NEW CHAINLINK FENCING & PAIR SLIDING GATE, TYP.
 - NEW CHAINLINK FENCING TO BE PLACED AROUND EXISTING HYDRANT (3' CLR.), TYP.
 - NEW CONCRETE CURBING AROUND POLE (5' SQ.).
 - NEW CONCRETE SIDEWALK, TYP.
 - EXISTING DRAIN INLET (PROTECT FROM DAMAGE DURING NEW WORK). VERIFY LOCATION OF UNDERGROUND DRAIN LINE PRIOR TO INSTALLING FENCE POSTS, TYP.
 - EXISTING WATER METER: NEW BWS APPROVED BACKFLOW PREVENTER TO BE INSTALLED. (SEE MECH. DWGS)
 - PROVIDE 4" BOLLARD PROTECTION AROUND NEW BACKFLOW PREVENTER PER BWS STANDARDS, TYP.

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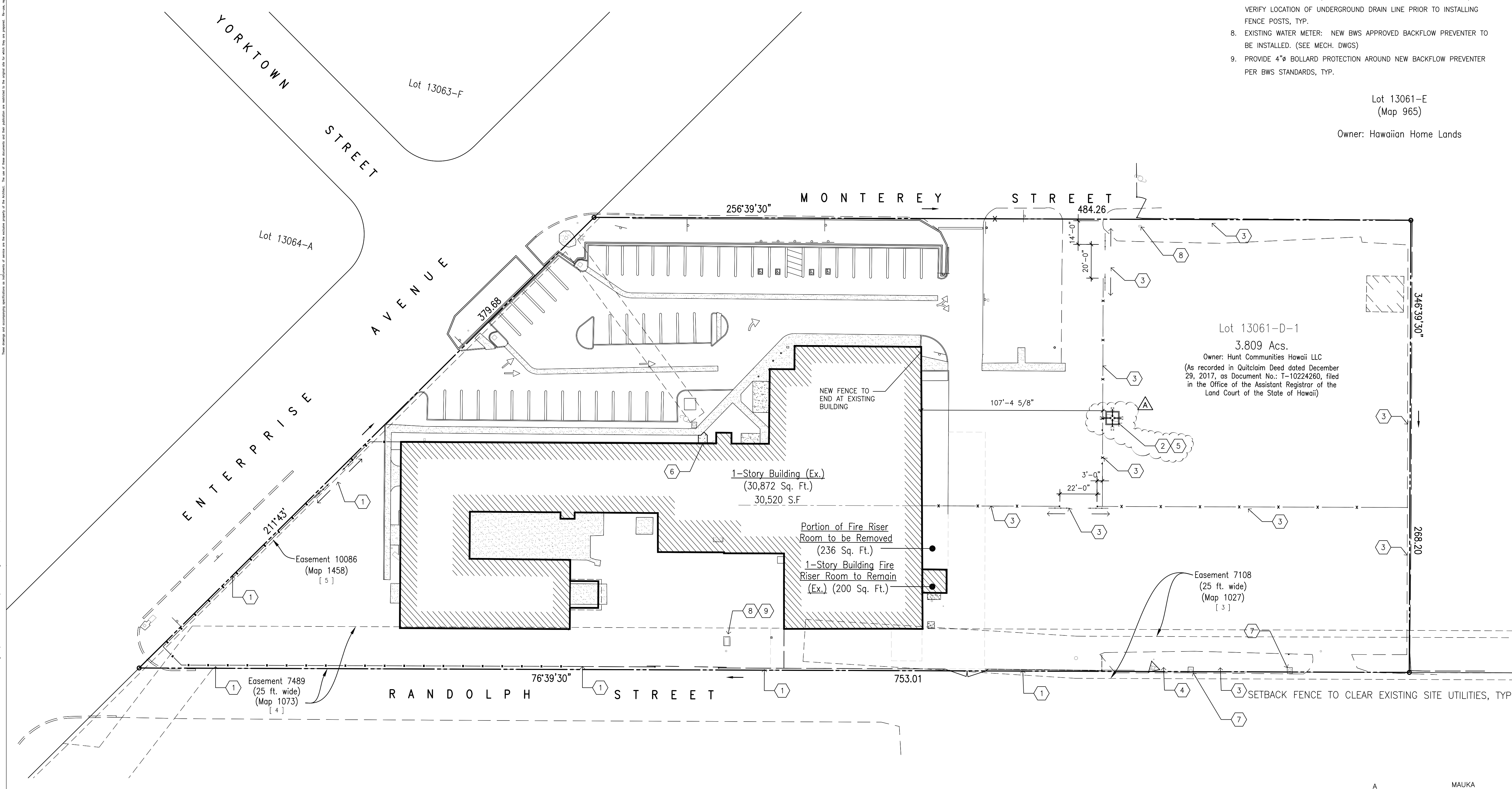
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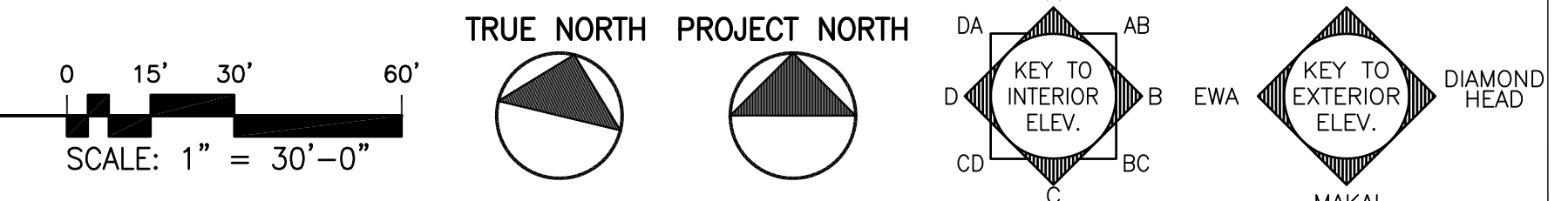
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A **OVERALL SITE PLAN (NEW)**
SCALE: 1" = 30'-0"



REVISION MARK	DATE	DESCRIPTION
B	07/01/22	TPR/FIRE COMMENTS
A	07/01/22	RFI COORD/OWNER REV'S

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

OVERALL SITE PLAN (NEW) DETAILS

JOB NO. 20007-0100 DRAWING NO. A001.0
DRAWN DRA
CHECKED DRA
DATE JUNE 2021 SHEET OF

GENERAL NOTES:

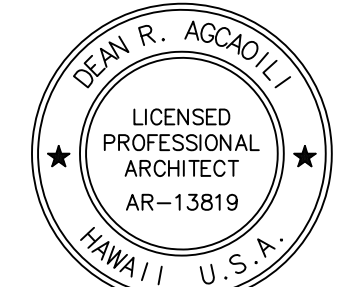
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SHEET KEYNOTES:

1. RELOCATED HVAC UNITS ON EXISTING SLAB ON GRADE. (SEE MECHANICAL & ELECTRICAL DRAWINGS), TYP.
2. NEW LIGHTING (SEE ELEC. DWGS). REUSE/RELOCATE EXISTING LIGHTING SUPPORTS AS NEEDED FRO NEW WORK FROM LOCATIONS BEING REMOVED, TYP.

PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

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Sean R. Agca
LICENSE EXPIRES: 30 APRIL 2024

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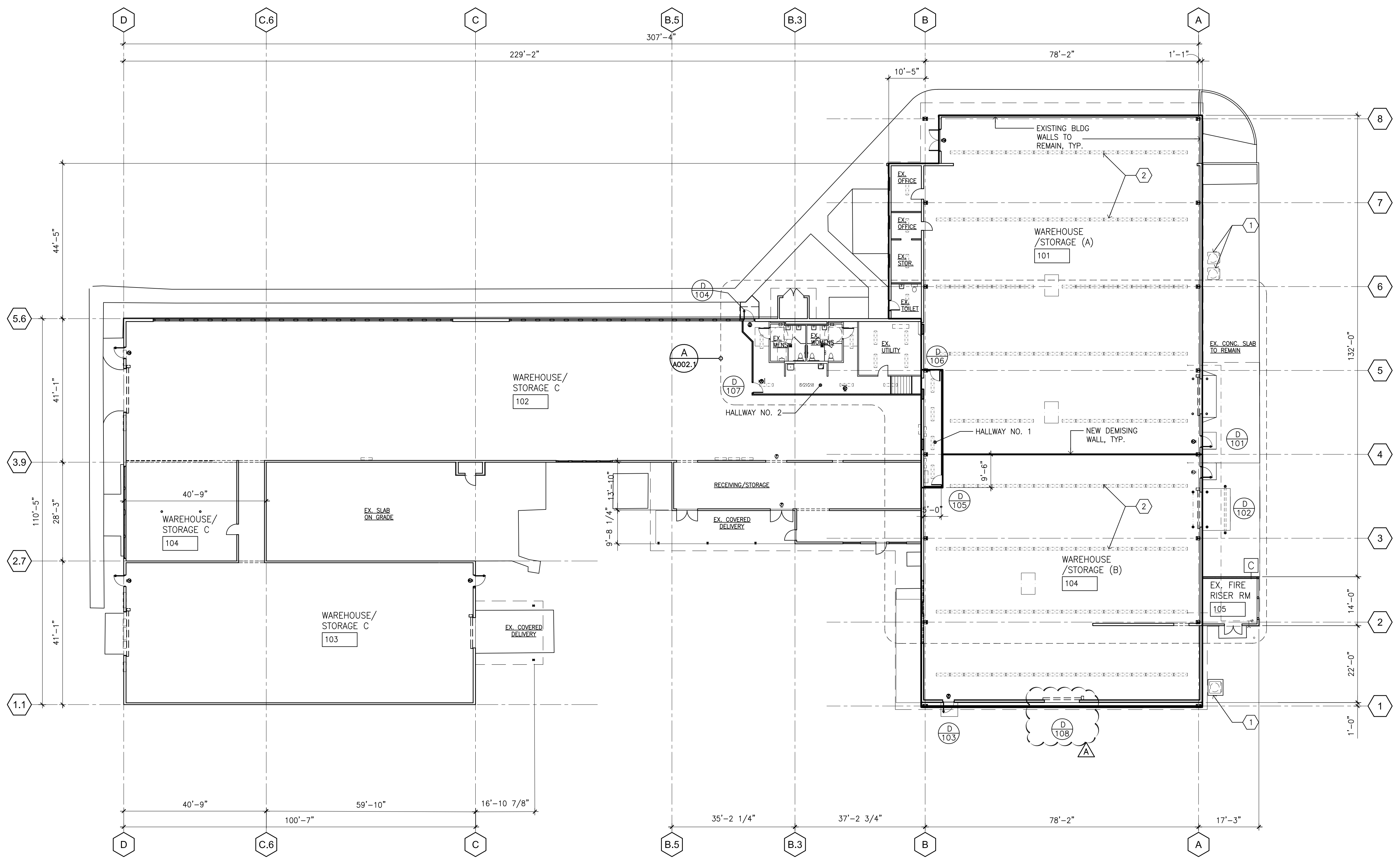
REVISION MARK	DATE	DESCRIPTION
B	07/01/22	TPR/FIRE COMMENTS
A	07/01/22	RFI COORD/OWNER REV

PROPOSED
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII [PHASE 2]**

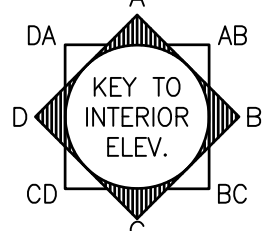
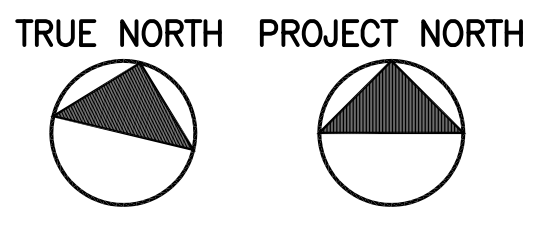
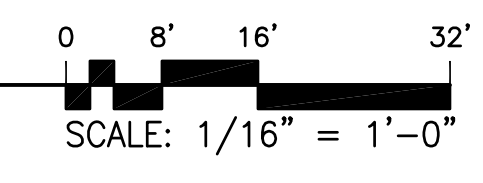
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

FLOOR PLAN
ENLARGED PLANS

JOB NO. 20007-0100	DRAWING NO.
DRAWN DRA	
CHECKED DRA	
DATE JUNE 2021	SHEET OF



A NEW FLOOR PLAN (OVERALL)
SCALE: 1/16" = 1'-0"



NAME: R:\DRA Projects\20007-0100 Hunt Co - Kapolei Parcel 10 Building Improvements Phase 2\A002-0.dwg DATE: JUL 12, 2022 TIME: 2:40PM BY: DRA

GENERAL NOTES:

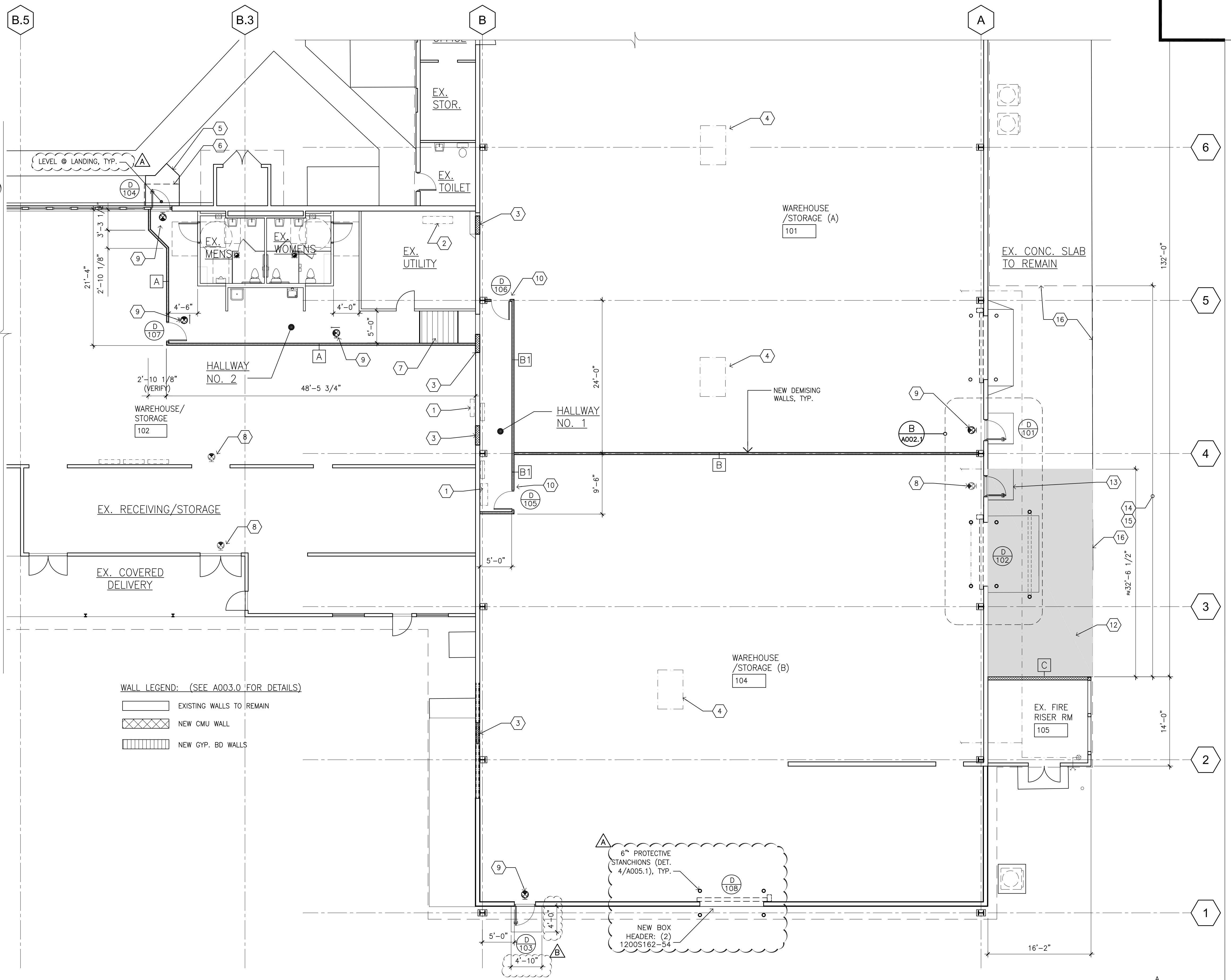
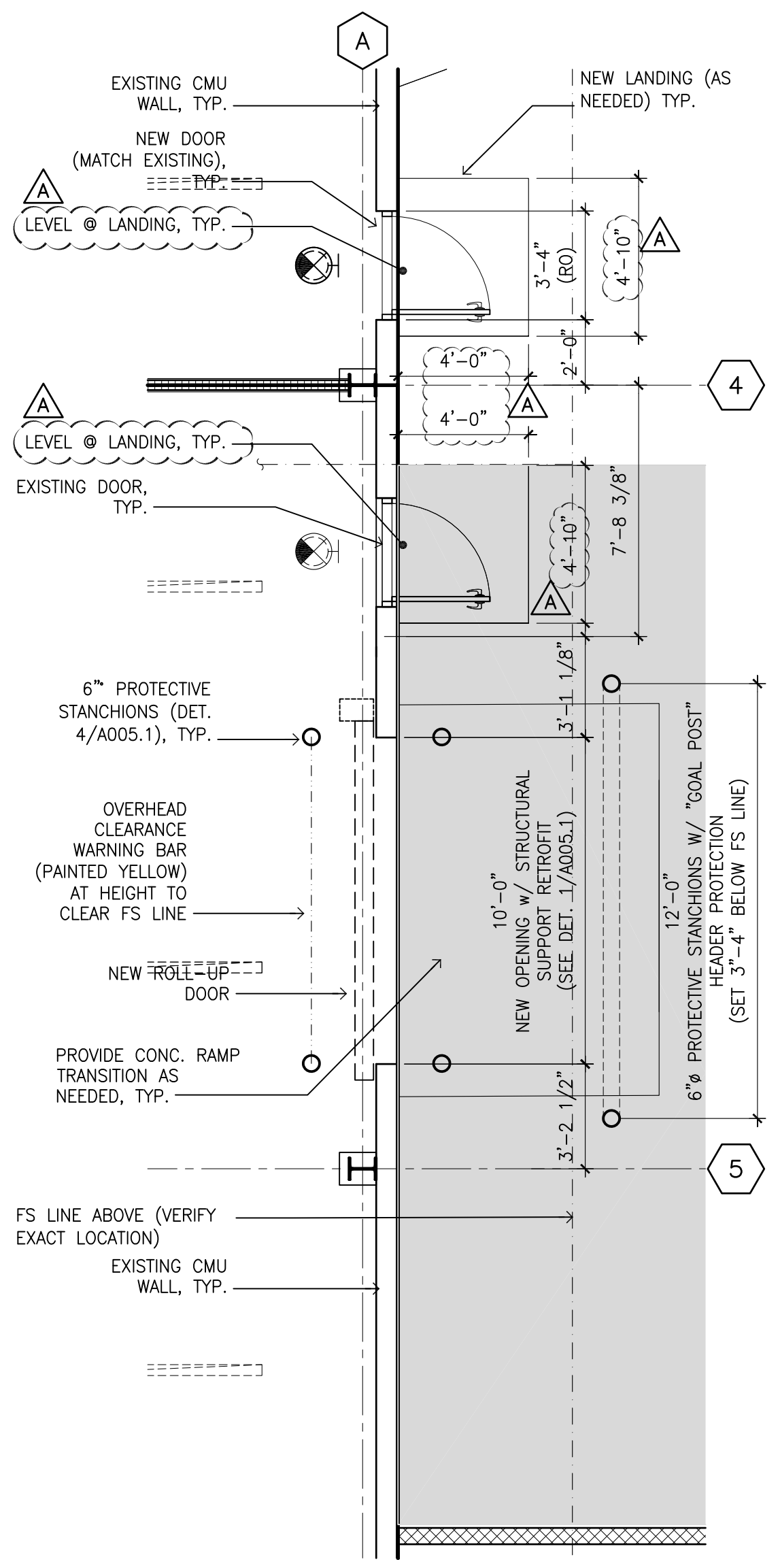
1. CONTRACTOR SHALL VERIFY AND NOTIFY ARCHITECT OF EXISTING DIMENSIONS OF PORTION OF BUILDING TO REMAIN. (I.E. - PLATE HEIGHT, ROOF PITCH, ETC.)
2. SEE MECH., ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
3. ALL UNDERGROUND UTILITIES (I.E. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE. SEE CIVIL DWGS. FOR COORDINATION.
4. LEAD PAINT ABATEMENT MAY BE REQUIRED. COORDINATE WITH LANDLORD. CONTRACTOR SHALL PROVIDE WRITTEN PLAN FOR ABATEMENT WORK TO OWNER'S ENVIRONMENTAL CONSULTANT OR ITS CERTIFIED INDUSTRIAL HYGIENIST PRIOR TO COMMENCEMENT OF WORK.

SHEET KEYNOTES: ①

1. EXISTING ELECTRICAL PANELS TO REMAIN. (SEE ELECTRICAL DRAWINGS), TYP.
2. EXISTING FIRE ALARM SYSTEM TO REMAIN (SEE ELEC. DRAWINGS), TYP.
3. NEW CMU WALL INFILL TO MATCH EXISTING ADJACENT WALL. PAINT FINISH, TYP.
4. EXISTING A.C. UNIT TO REMAIN/REUSE. SEE MECH. DRAWINGS, TYP.
5. NEW CONC. SIDEWALK CONNECTED TO EXISTING.
6. NEW ROOF EXTENSION ABOVE TO MATCH EXISTING. PROVIDE FLASHING AND CAULKING FOR WATERTIGHT SEAL, TYP.
7. NEW CONC. FLOOR TRANSITION (±1.25" DEFERENTIAL-VERIFY) PROVIDE LENGTH AS NEEDED FOR 1:20 SLOPE, TYP.
8. EXISTING EXIT SIGNS, TYP.
9. NEW EXIT SIGNS, TYP.
10. PROVIDE SIGNAGE TO READ: "NOT AN EXIT"
11. RELOCATED HVAC AHU UNITS (SEE MECH./ELEC DRAWINGS)
12. NEW CONCRETE SLAB (REPAIR WORK FROM REMOVAL)
13. NEW CONCRETE LANDING (TO BE LEVEL), TYP.
14. GC TO INSPECT AND VERIFY EXISTING METAL ROOF FRAMING FOR DETERIORATED AREAS. CONFIRM WITH OWNER/ARCHITECT PRIOR TO PROVIDING COST TO REPAIR.
15. PAINT ALL EXPOSED UNDERSIDE OF EXISTING EAVE/CANOPY AREA., TYP.
16. EXISTING ROOF EAVE LINE ABOVE, TYP.

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



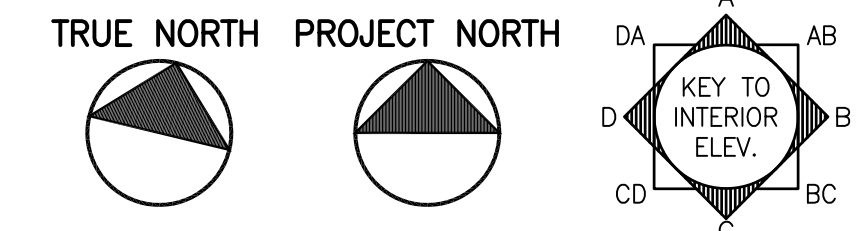
WALL LEGEND: (SEE A003.0 FOR DETAILS)

	EXISTING WALLS TO REMAIN
	NEW CMU WALL
	NEW GYP. BD WALLS

B ENLARGED PLAN
SCALE: 1/4" = 1'-0"

A NEW FLOOR PLAN (ENLARGED)
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



DRA Architecture LLC
ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287

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LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES

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REVISION MARK	DATE	DESCRIPTION
B	07/01/22	TPR/FIRE COMMENTS
A	07/01/22	RFI COORD/OWNER REV

PROPOSED
**PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII [PHASE 2]**

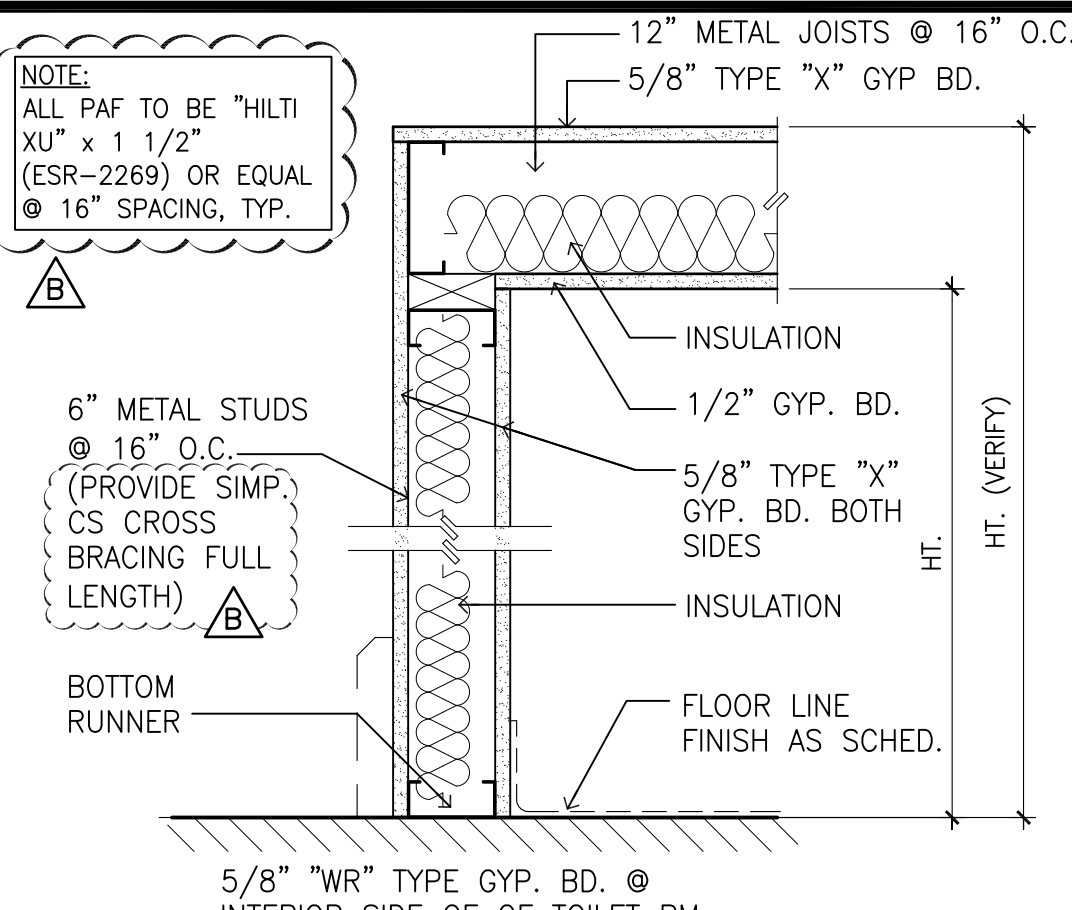
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

FLOOR PLAN
ENLARGED PLANS

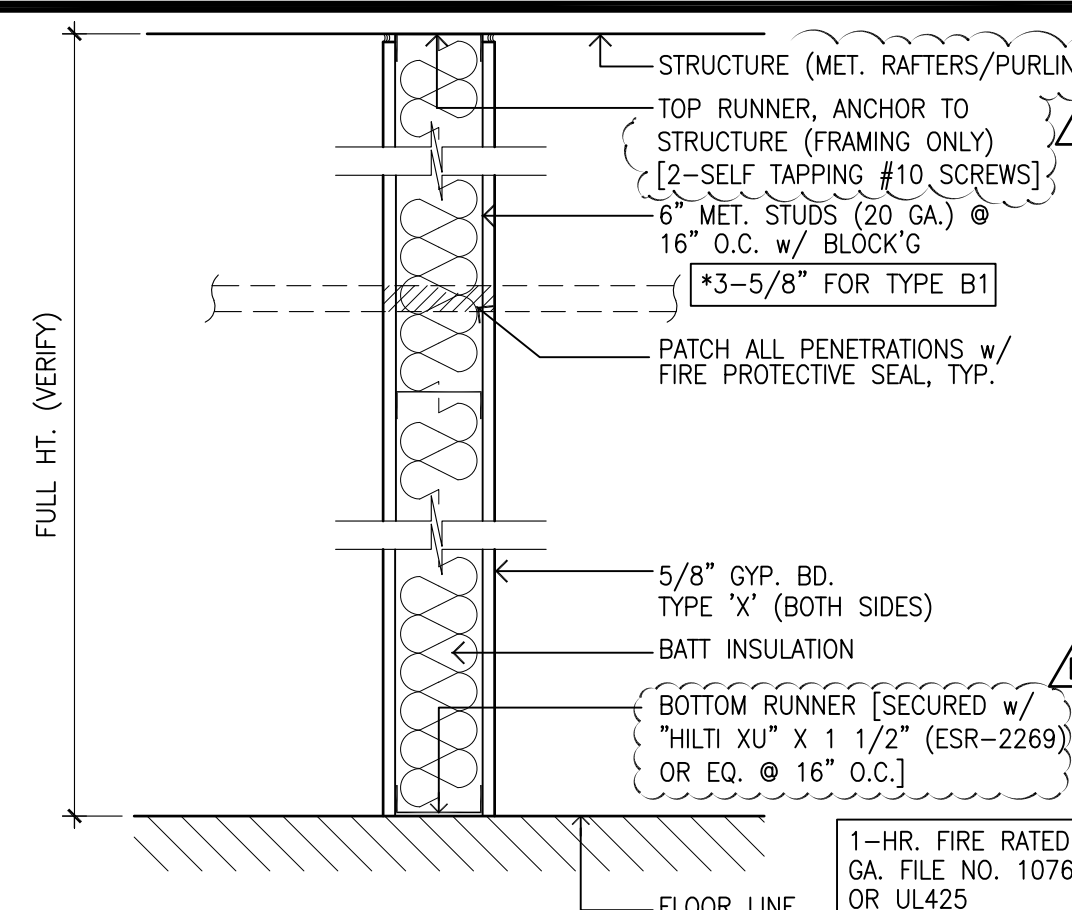
JOB NO. 20007-0100	DRAWING NO.
DRAWN DRA	A002.1
CHECKED DRA	SHEET OF
DATE JUNE 2021	

GENERAL NOTES:

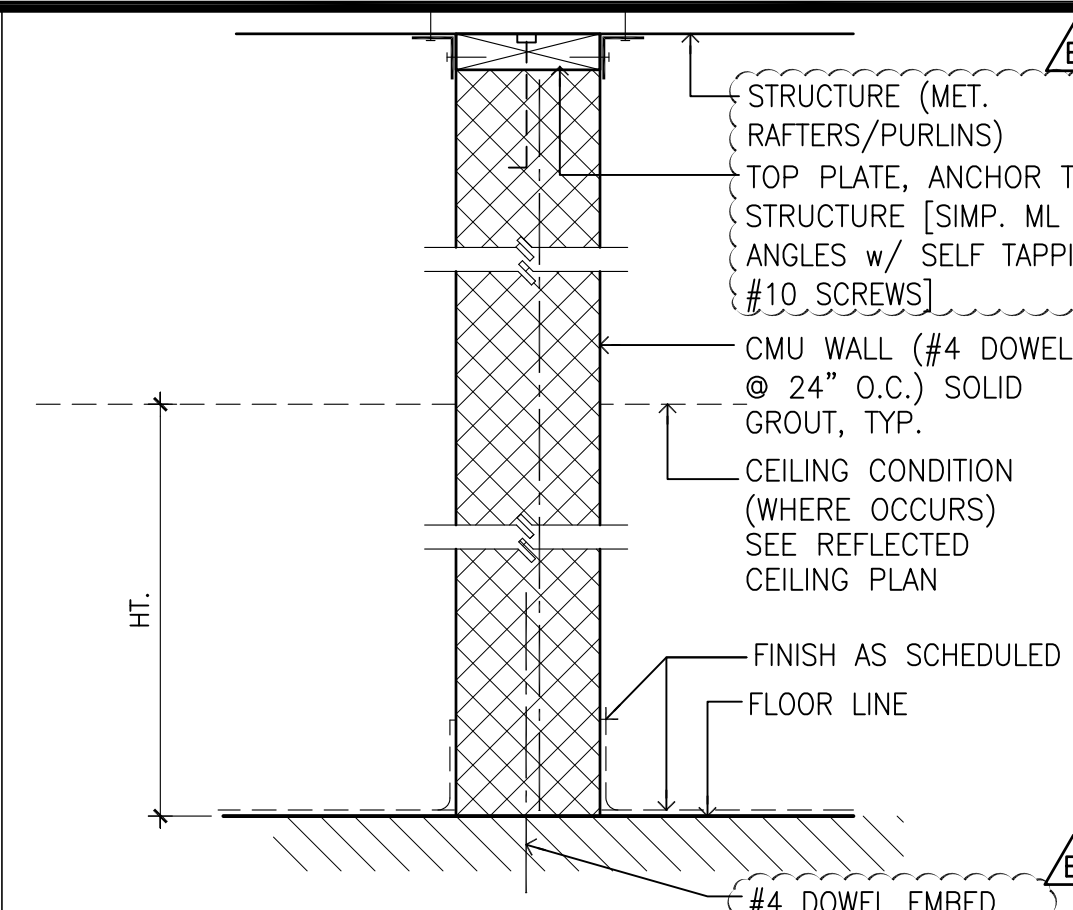
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1 GYP. BD. WALL TYPE **A**
SCALE: 1 1/2" = 1'-0"
GBW-15a



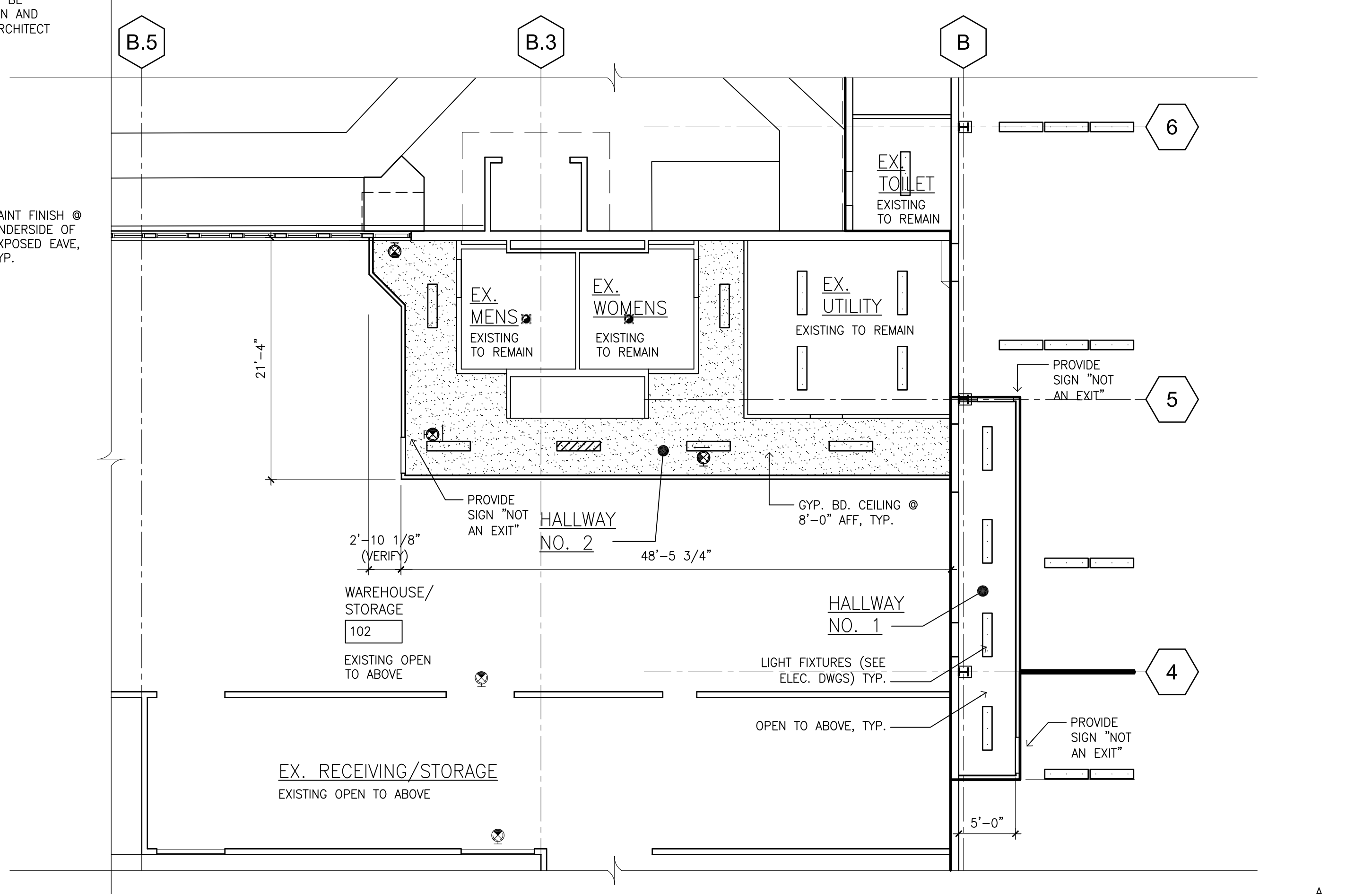
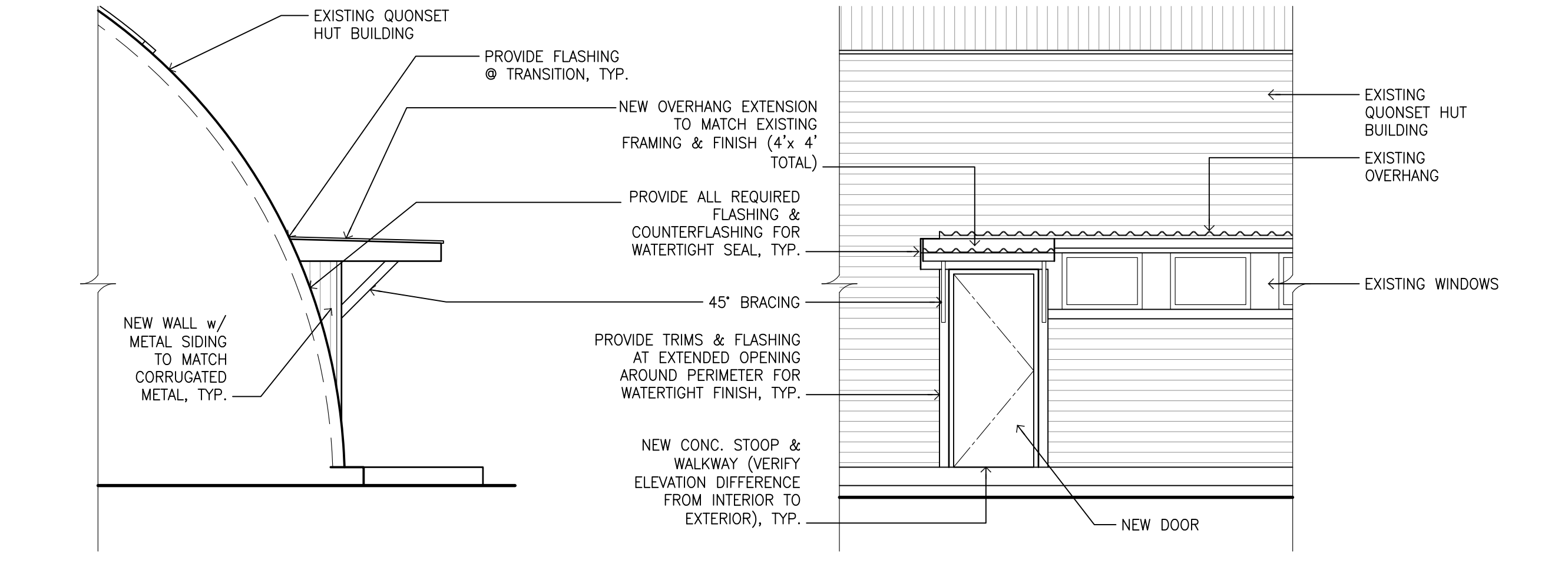
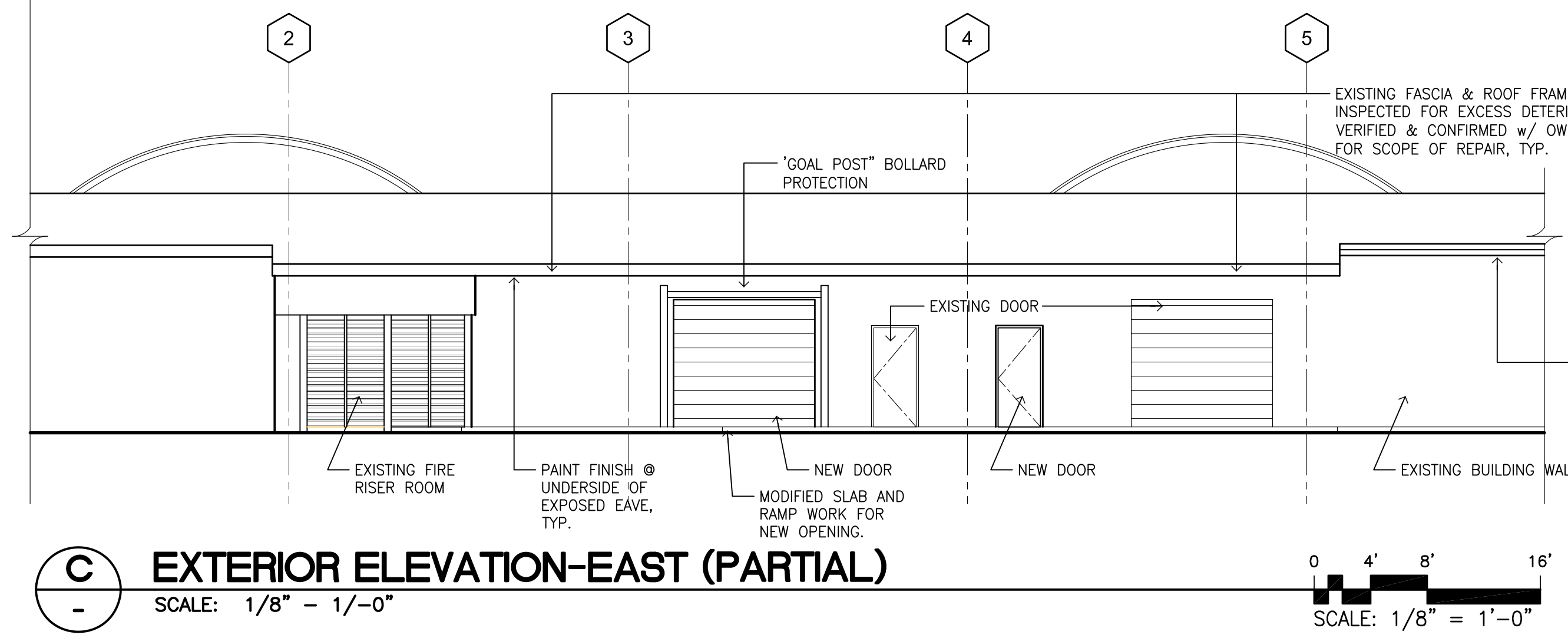
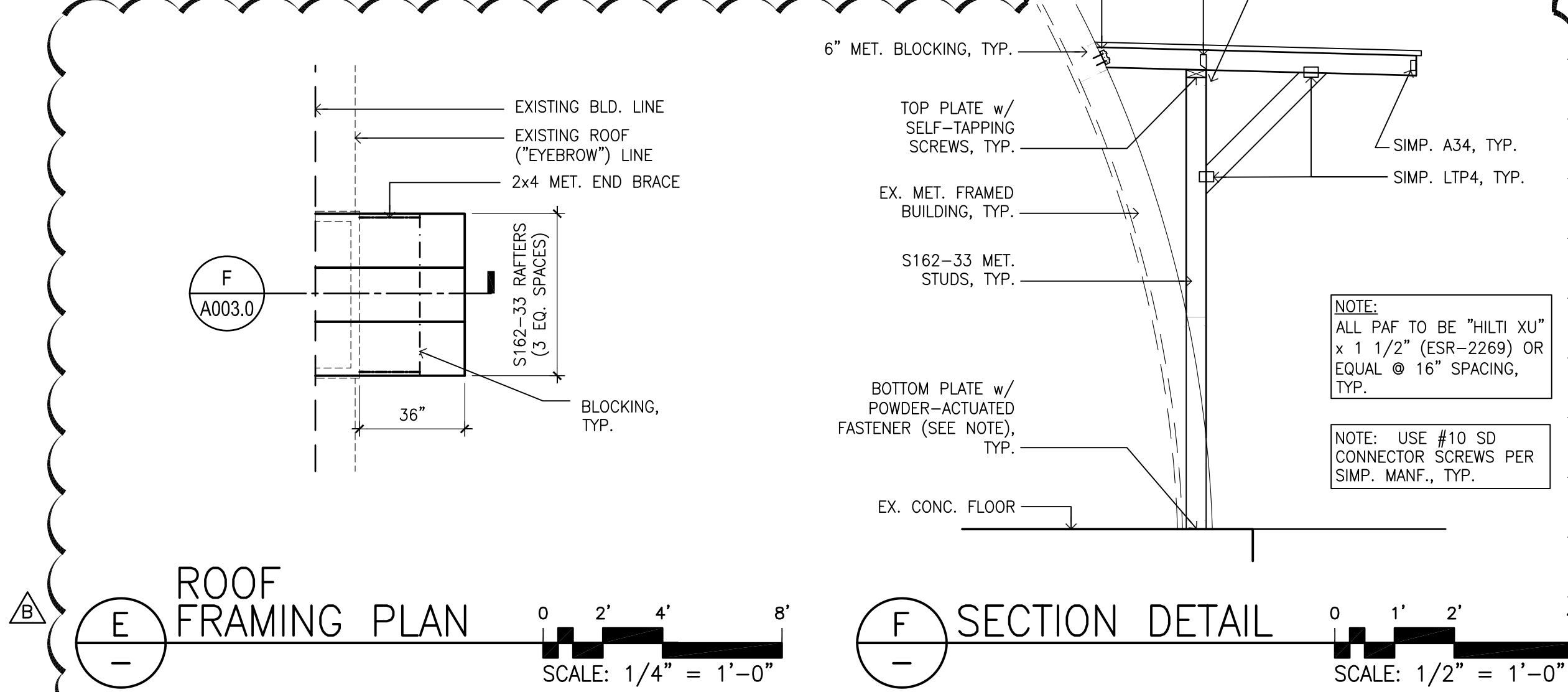
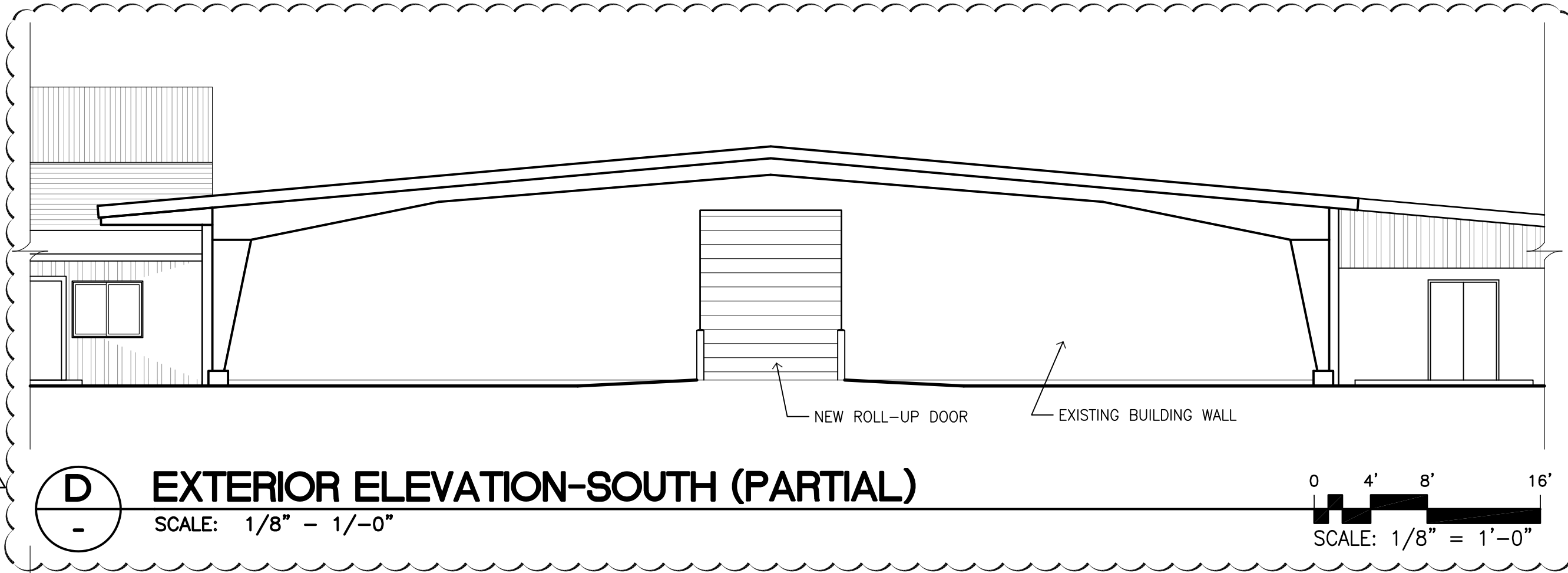
2 GYP. BD. WALL TYPE **B** | **B1**
SCALE: 1 1/2" = 1'-0"



3 CMU WALL TYPE **C**
SCALE: 1 1/2" = 1'-0"
CMU3

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



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LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES

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REVISION MARK	DATE	DESCRIPTION
B	07/01/22	TPR/FIRE COMMENTS
A	07/01/22	RFI COORD/OWNER REVS

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

REFLECTED CEILING PLAN
ELEVATIONS
DETAILS

JOB NO. 20007-0100 DRAWING NO. A003.0
DRAWN DRA CHECKED DRA DATE JUNE 2021 SHEET OF

NAME: R:\BPA Projects\20007-0100 Hunt Co - Kapolei Parcel 10 Building Improvements Phase 2\A003-0.dwg DATE: JUL 12, 2022 TIME: 2:45PM BY: DRA

NAME: R:\DRA Projects\2007-0100 Hunt Co - Kapolei Parcel 10 Building Improvements Phase 2\MOB-1.dwg DATE: OCT 12, 2021 TIME: 4:38PM BY: DRA

A. GENERAL:

1. ALL WORK SHALL CONFORM TO THE BUILDING CODE OF THE CITY AND COUNTY OF HONOLULU.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF THE JOB AND NOTIFY ALL DISCREPANCIES TO THE ENGINEER
3. ALL WORK SHALL CONFORM TO THE BEST PRACTICE PREVAILING IN THE VARIOUS TRADES COMPRISING THE WORK.
4. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
5. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO INSURE THE PROPER ALIGNMENT OF THE STRUCTURES.
9. THE CONTRACTOR SHALL PROTECT AND SHIELD FROM DAMAGE ALL AREAS ADJACENT TO AND SURROUNDING THE CONSTRUCTION WORK. EXISTING CONDITIONS OR AREAS DAMAGED OR DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.

3. STEEL:

1. ALL STEEL PLATES, BARS, AND SHAPES SHALL COMPLY WITH ASST. A-36.
2. ALL WELDS SHALL BE ARC WELDED ACCORDING TO WAS STANDARDS AND PERFORMED BY CERTIFIED WELDERS. ALL WELDS SHALL BE GRIND SMOOTH. WELDS SHALL BE PAINTED WITH 2 COATS OF ZRC COLD GALVANIZING COMPOUND.

3. UNLESS OTHERWISE INDICATED, ALL STEEL JOINTS NOT DETAILED SHALL BE WELDED BY 1/4" FILLET OR COMPLETE PENETRATION WELD.

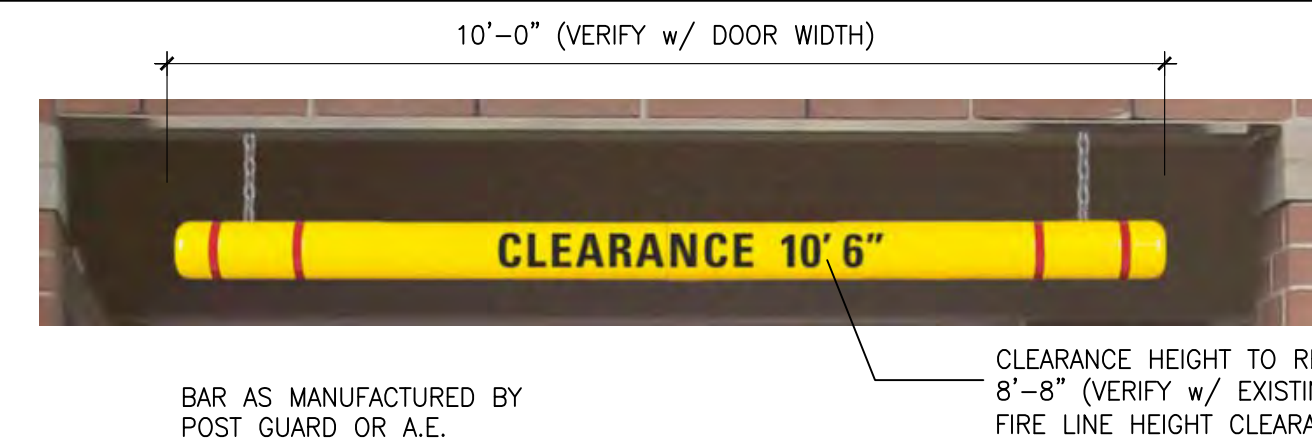
4. STEEL FRAME SHALL BE HOT DIP GALVANIZED AFTER FABRICATION. ANCHOR BOLTS TO CMU SHALL BE EPOXY OR SLEEVE TYPE.

C. EPOXY GROUTING

1. EPOXY GROUTING OF REBARS AND DOWELS: EPOXY SHALL BE SIKA EPOXY INJECTION GEL SYSTEM OR APPROVED EQUAL. SUBMIT ICBO REPORT AND TECHNICAL DATA FOR ALL EPOXY PRODUCTS. HOLE SIZE SHALL BE 1/8" LARGER THAN BOLT DIAMETER. JUST PRIOR TO GROUTING, EACH HOLE SHALL BE SCRAPED AND NYLON BRUSHED, AND THEN SHALL BE BLOW OUT USING OIL-FREE COMPRESSED AIR TO REMOVE ANY RESIDUE. GROUTING SHALL STRICTLY CONFORM TO THE EPOXY MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

D. SPECIAL INSPECTIONS:

1. SPECIAL INSPECTIONS PER UNIFORM BUILDING CODE ARE REQUIRED FOR THE FOLLOWING TYPES OF WORK:
A) BOLTS INSTALLED IN CMU
2. CONTRACTOR SHALL NOTIFY THE SPECIAL INSPECTOR AT LEAST 3 WORKING DAYS PRIOR TO PERFORMING WORK REQUIRING SPECIAL INSPECTIONS.



BAR AS MANUFACTURED BY POST GUARD OR A.E. CLEARANCE HEIGHT TO READ: 8'-8" (VERIFY w/ EXISTING FIRE LINE HEIGHT CLEARANCE)

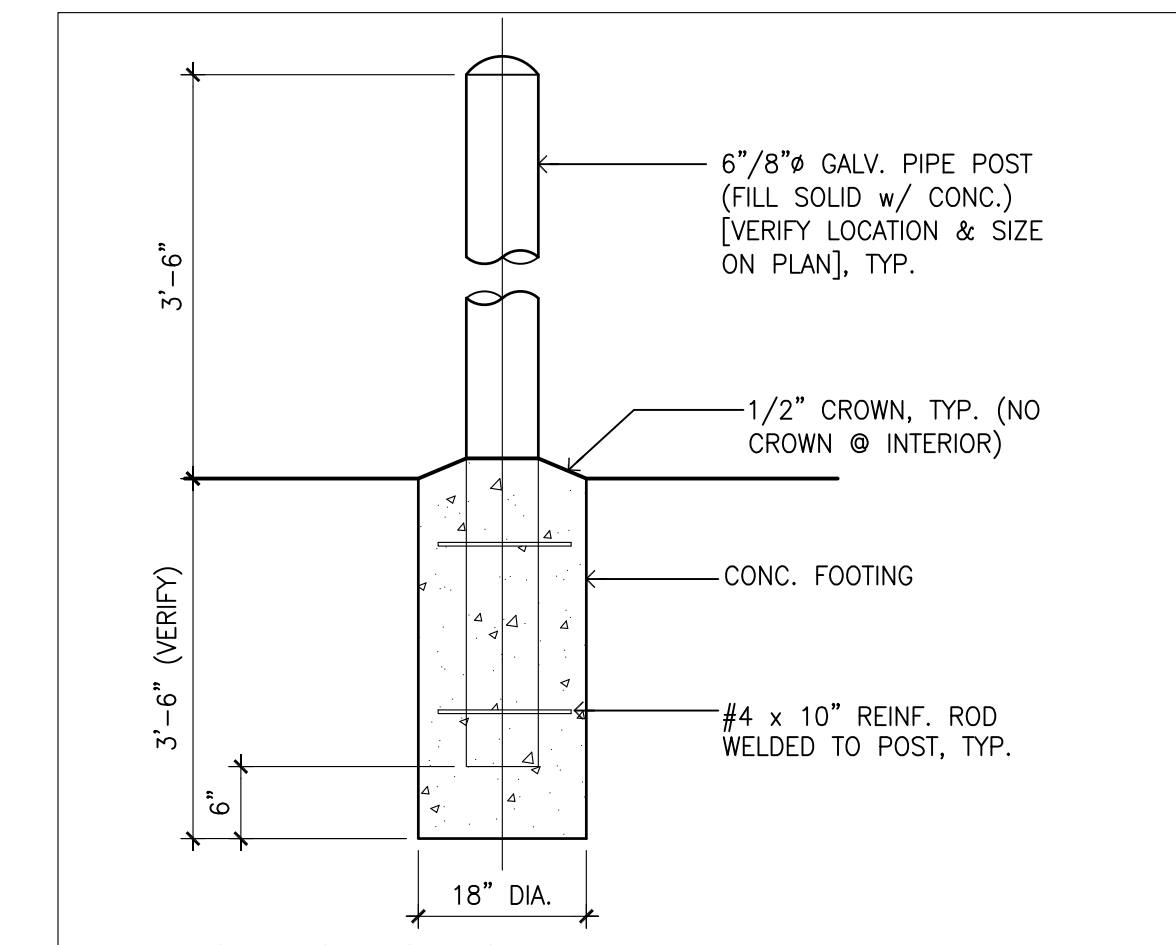
**PALEKANA PERMITS
THIRD PARTY CERTIFICATION**

BUILDING CODE ELECTRICAL CODE

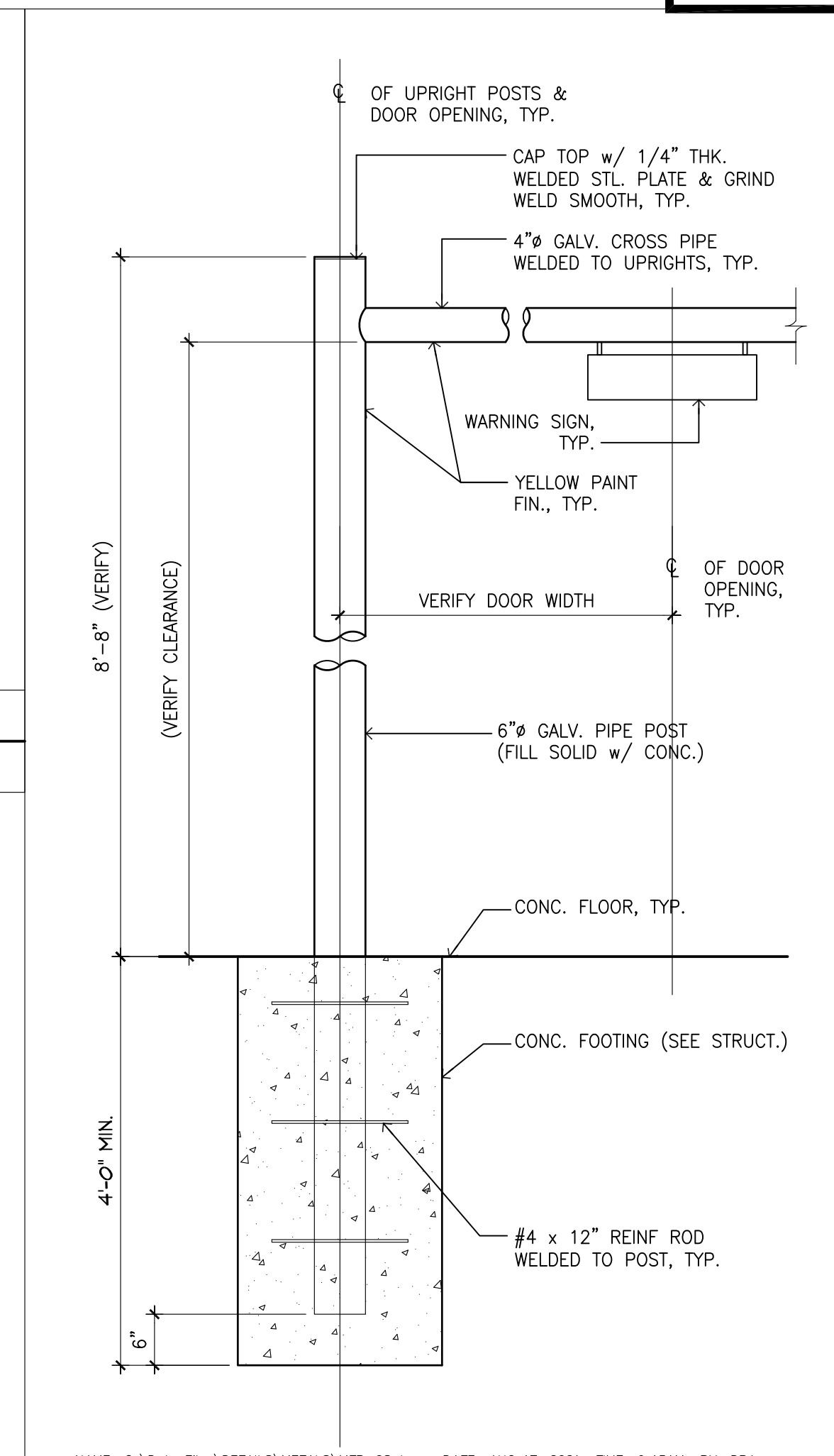
MECHANICAL CODE ZPRB (LAND USE ORDINANCE)

STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

5 OVERHEAD CLEARANCE WARNING BAR
SCALE: NTS

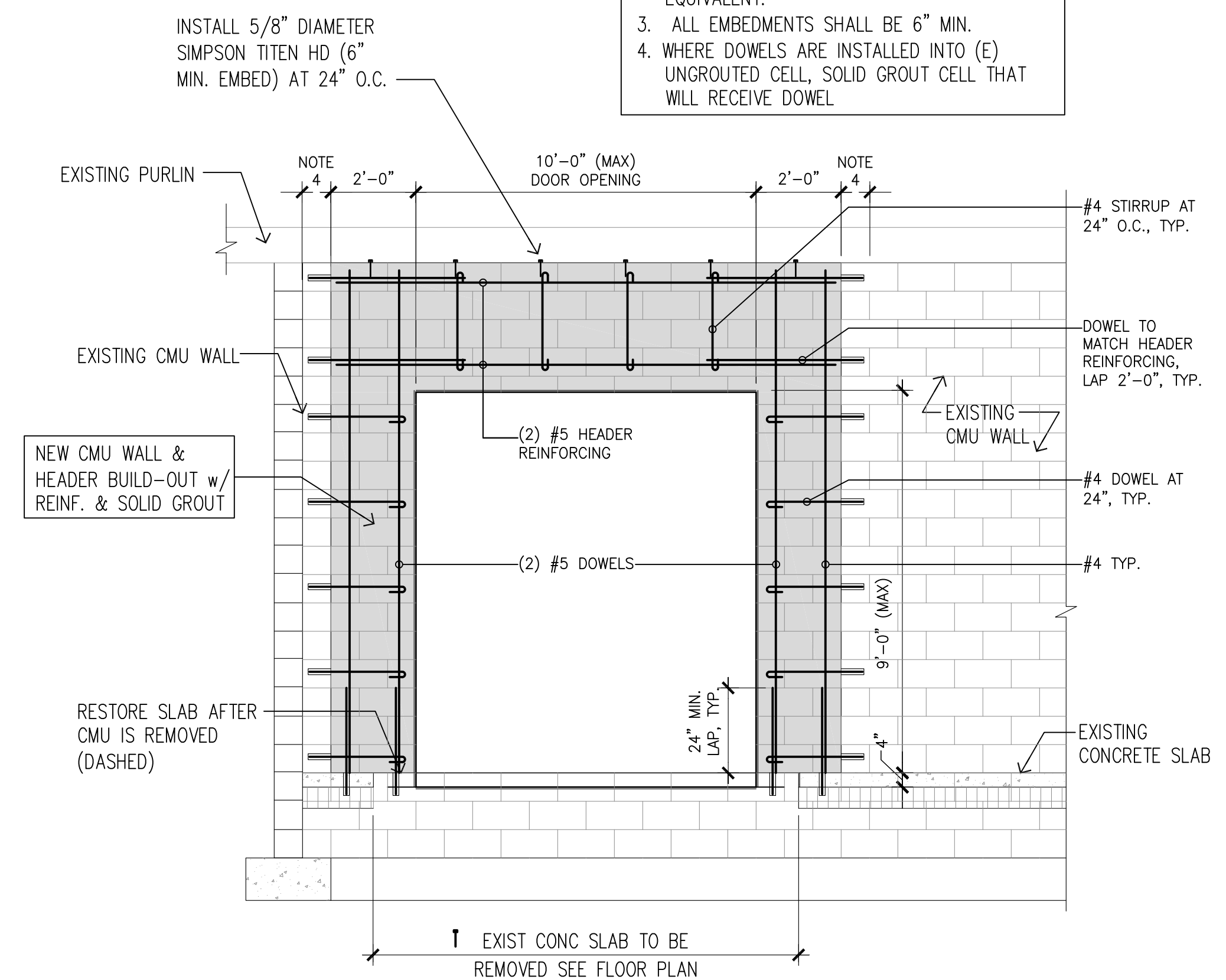


4 PROT. STANCHION - FIXED
SCALE: 3/4" = 1'-0"

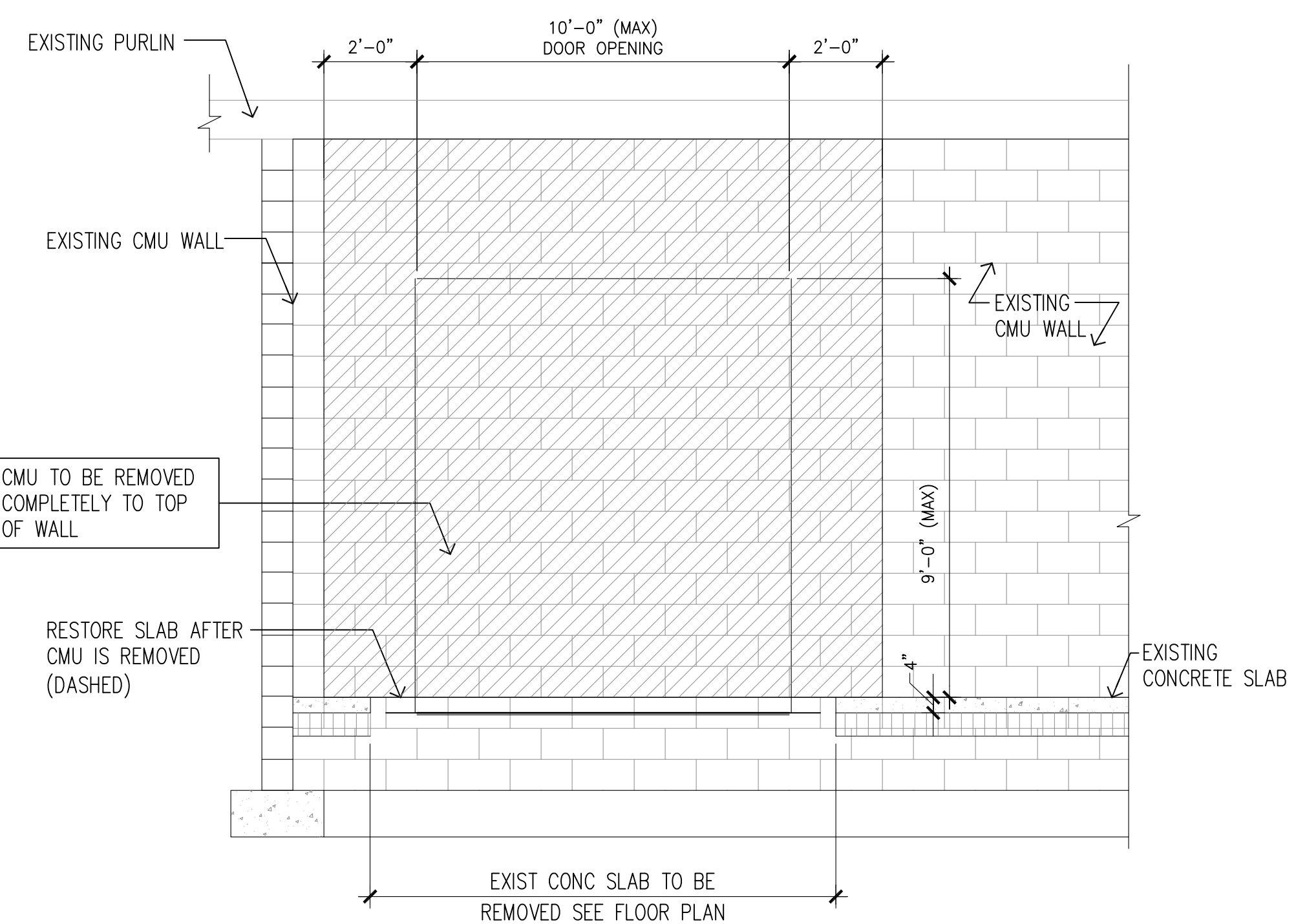


3 STANCHION w/ OVERHEAD
SCALE: 3/4" = 1'-0"

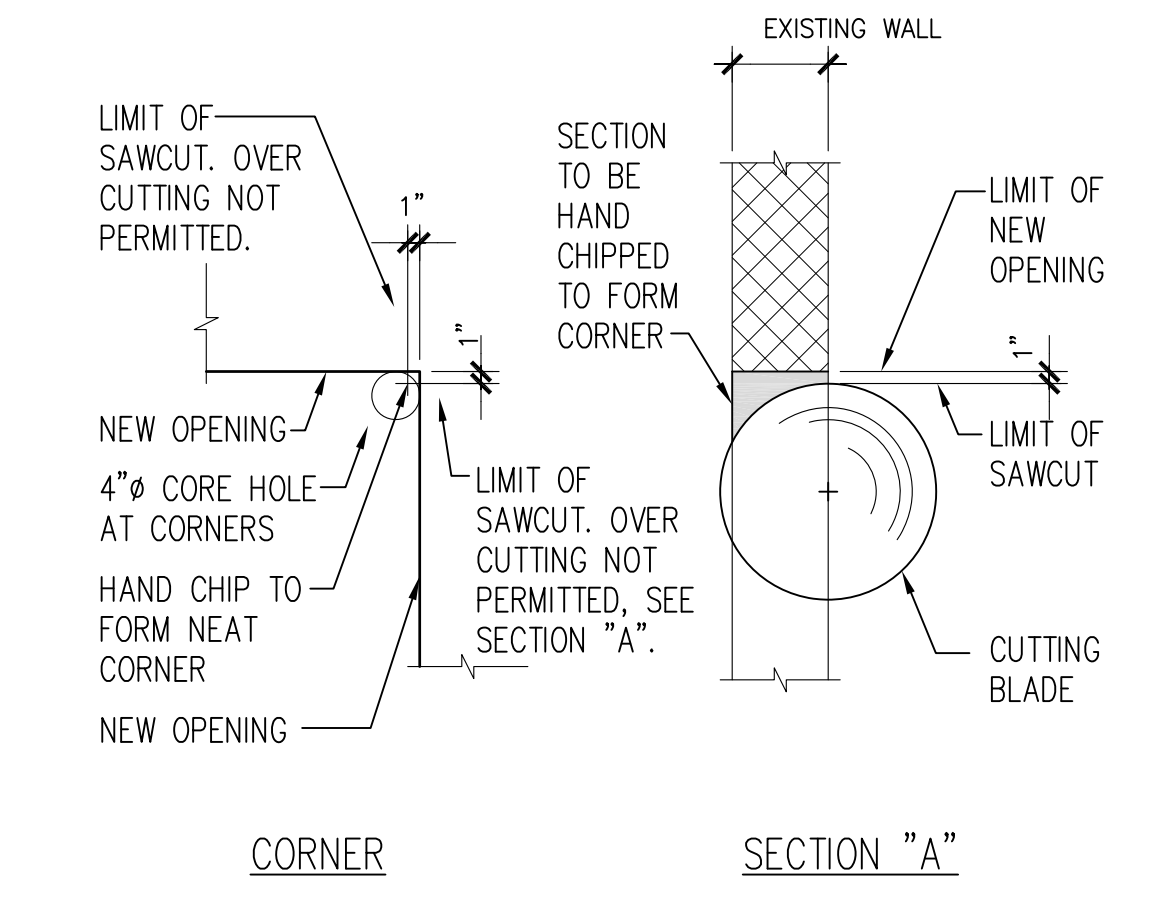
- NOTES:**
1. PROVIDE SHORING/BRACING AS NEEDED PRIOR TO CUTTING NEW OPENING.
 2. DRILL AND EPOXY WITH SIMPSON SET-XP OR EQUIVALENT.
 3. ALL EMBEDMENTS SHALL BE 6" MIN.
 4. WHERE DOWELS ARE INSTALLED INTO (E) UNGROUTED CELL, SOLID GROUT CELL THAT WILL RECEIVE DOWEL



NEW

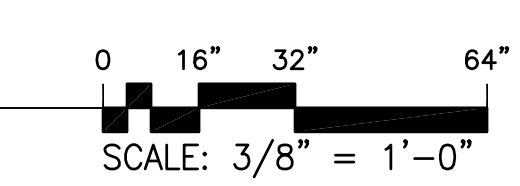


DEMO



2 TYPICAL SAWCUT DETAIL
NOT TO SCALE

1 NEW OPENING - WALL ELEVATION
SCALE: 3/8" = 1'-0"



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DEAN R. AGCAGILI
LICENSED PROFESSIONAL ARCHITECT
AR-13819
HAWAII U.S.A.

Dean R. Agcagili
LICENSE EXPIRES: 30 APRIL 2024

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REVISION MARK	DATE	DESCRIPTION

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
NEW OPENING ELEVATION DETAIL SECTIONS & DETAILS

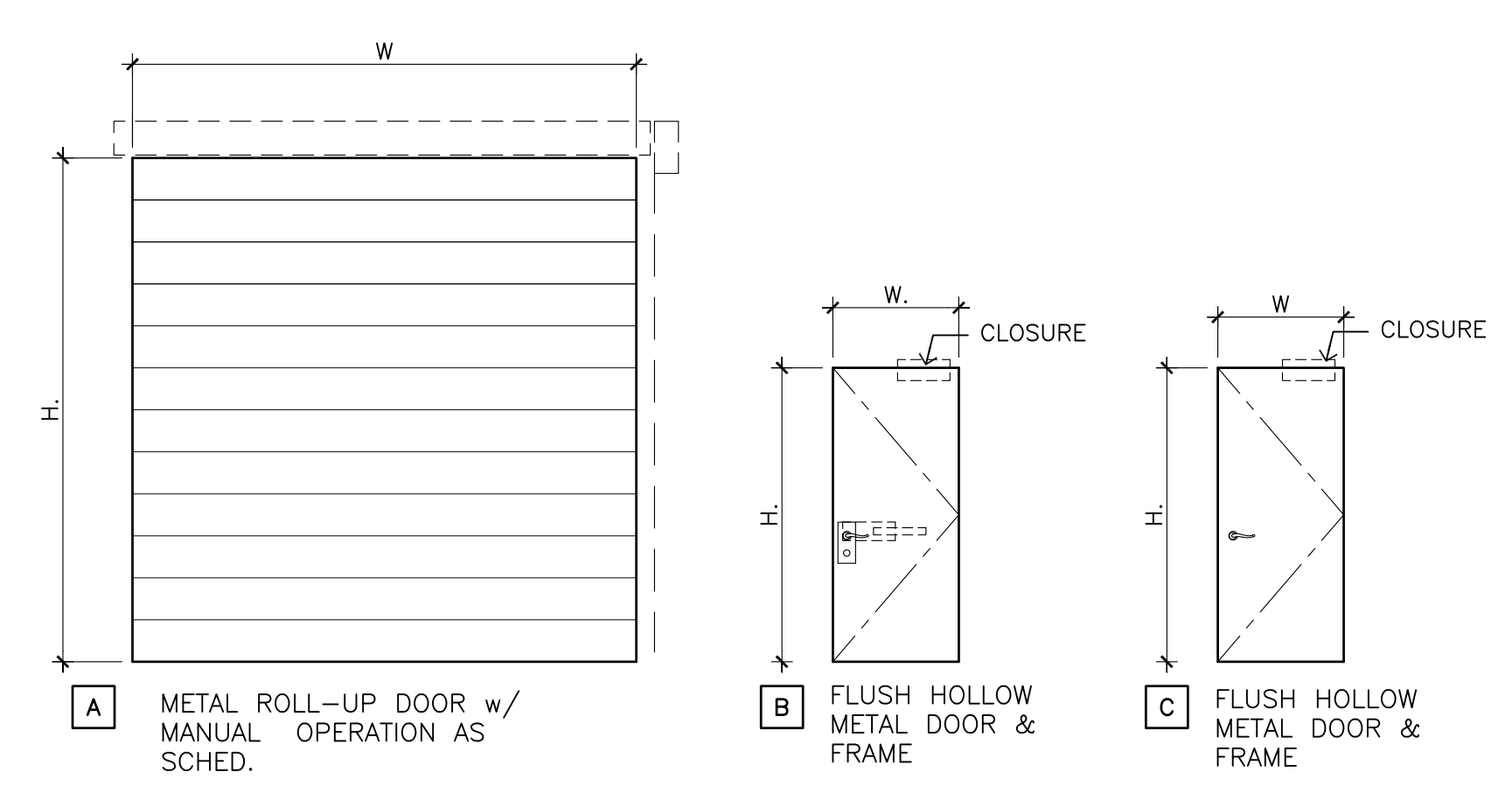
JOB NO. 20007-0100	DRAWING NO.
DRAWN DRA	
CHECKED DRA	A005.1
DATE JUNE 2021	SHEET OF

REVISION SET-ConsolidRevs_071022

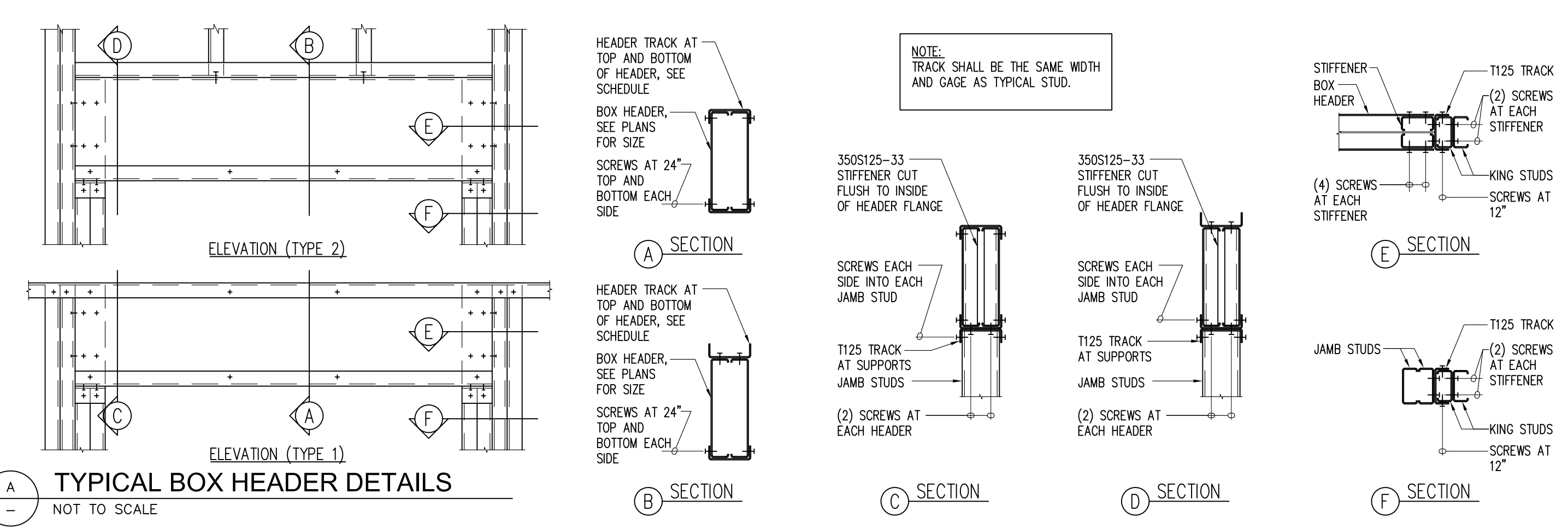
DOOR NO.	DOOR TYPE	DOOR				DOOR FRAME				REMARKS
		DIMENSION W X H	THK.	MAT'L	FINISH	MAT'L	FINISH	THRESHLD.	DETAIL NO.	
101	B	3'-0" x 7'-0"	1 3/4"	M	PT	M	PT	AL	DET. 2/A008.0	CLOSURE, PANIC HDWR, WEATHER SEAL, THRESHHOLD
102	A	10'-0" x 9'-0"	-	M	FA/PT	M	FA	-	DET. 1/A008.0	MANUAL; PADLOCK w/ KEY @ INTERIOR, INSULATED, NOTE 2
103	B	3'-0" x 7'-0"	1 3/4"	M	PT	M	PT	AL	DET. 3/A008.0	CLOSURE, PANIC HDWR, WEATHER SEAL, THRESHHOLD
104	B	3'-0" x 7'-0"	1 3/4"	M	PT	M	PT	AL	DET. 5/A008.0	CLOSURE, PANIC HDWR, WEATHER SEAL, THRESHHOLD
105	C	3'-0" x 7'-0"	1 3/4"	M	PT	M	FA	-	DET. 4/A008.0	CLOSURE, CLASSROOM LOCKSET - KEY REQ'D TO RE-ENTER TO TENANT SP.
106	C	3'-0" x 7'-0"	1 3/4"	M	PT	M	FA	-	DET. 4/A008.0	CLOSURE, CLASSROOM LOCKSET - KEY REQ'D TO RE-ENTER TO TENANT SP.
107	C	3'-0" x 7'-0"	1 3/4"	M	PT	M	PT	-	DET. 3/A008.0	CLOSURE, CLASSROOM LOCKSET - KEY REQ'D TO RE-ENTER TO TENANT SP.
108	A	10'-0" x 12'-0"	-	M	FA/PT	M	FA	-	DET. 6/A008.0	MANUAL; PADLOCK w/ KEY @ INTERIOR, INSULATED, NOTE 2

NOTES:
 1. CONTRACTOR TO VERIFY EXISTING INTERIOR ROUGH OPENINGS OF DOORS TO BE REPLACED PRIOR TO ORDERING OF MATERIALS.
 2. REFER TO NEW CMU WALL OPENING RETROFIT SUPPORT/BRACING DETAIL.

FA = FACTORY APPLIED
 PT = PAINT
 AL = ALUMINUM
 M = METAL



DOOR TYPES



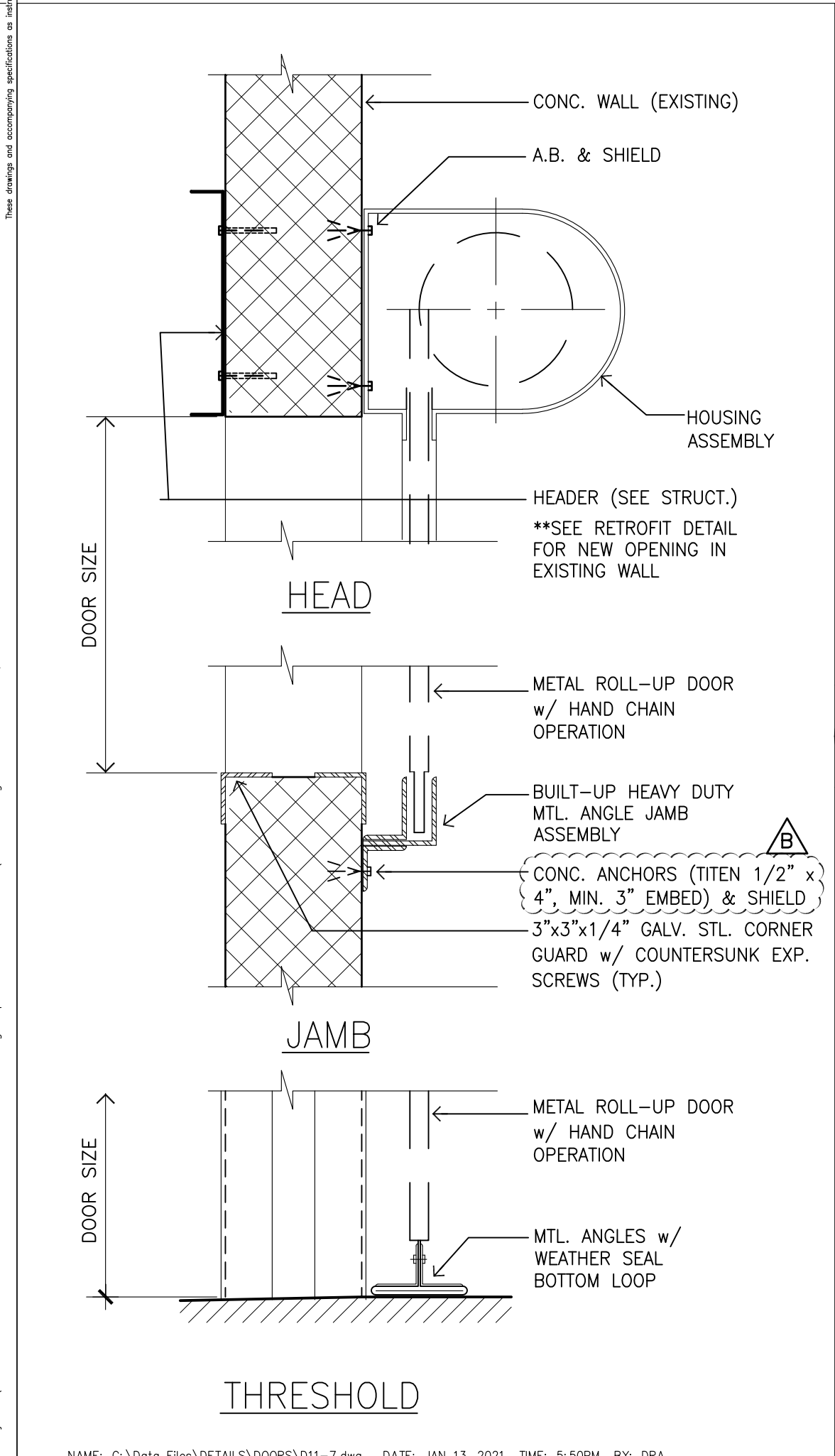
TYPICAL BOX HEADER DETAILS
 NOT TO SCALE

**PALEKANA PERMITS
 THIRD PARTY CERTIFICATION**
 BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

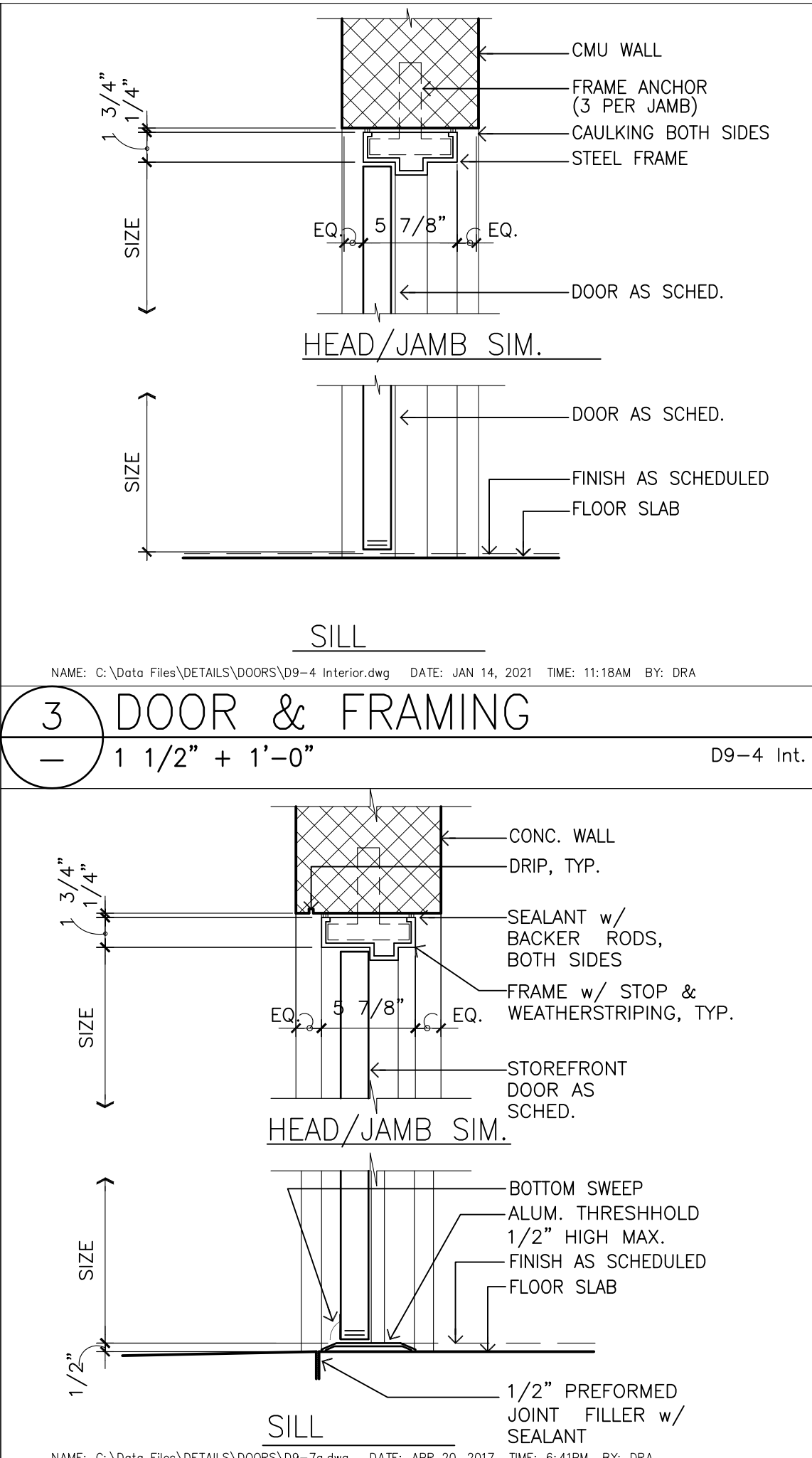
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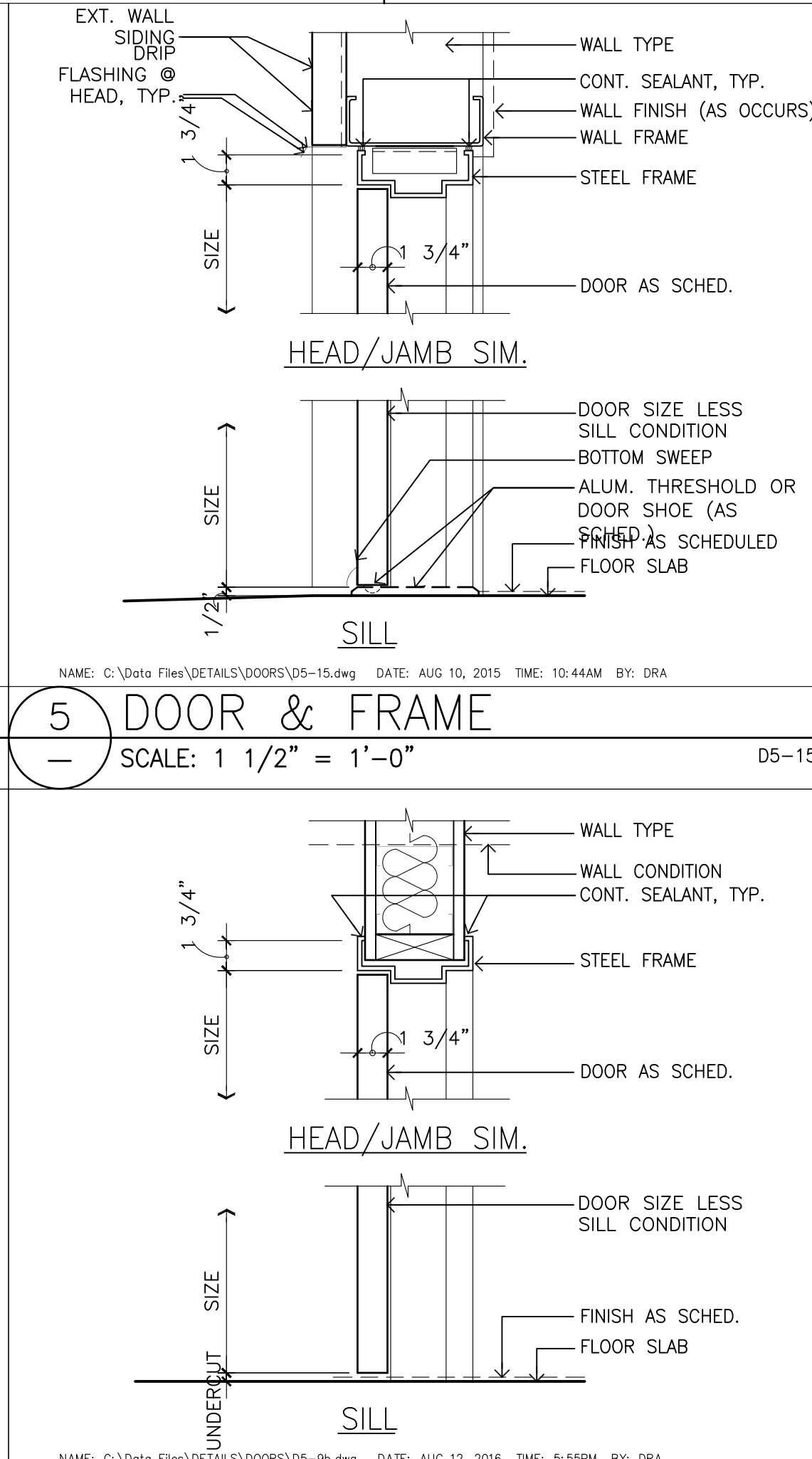
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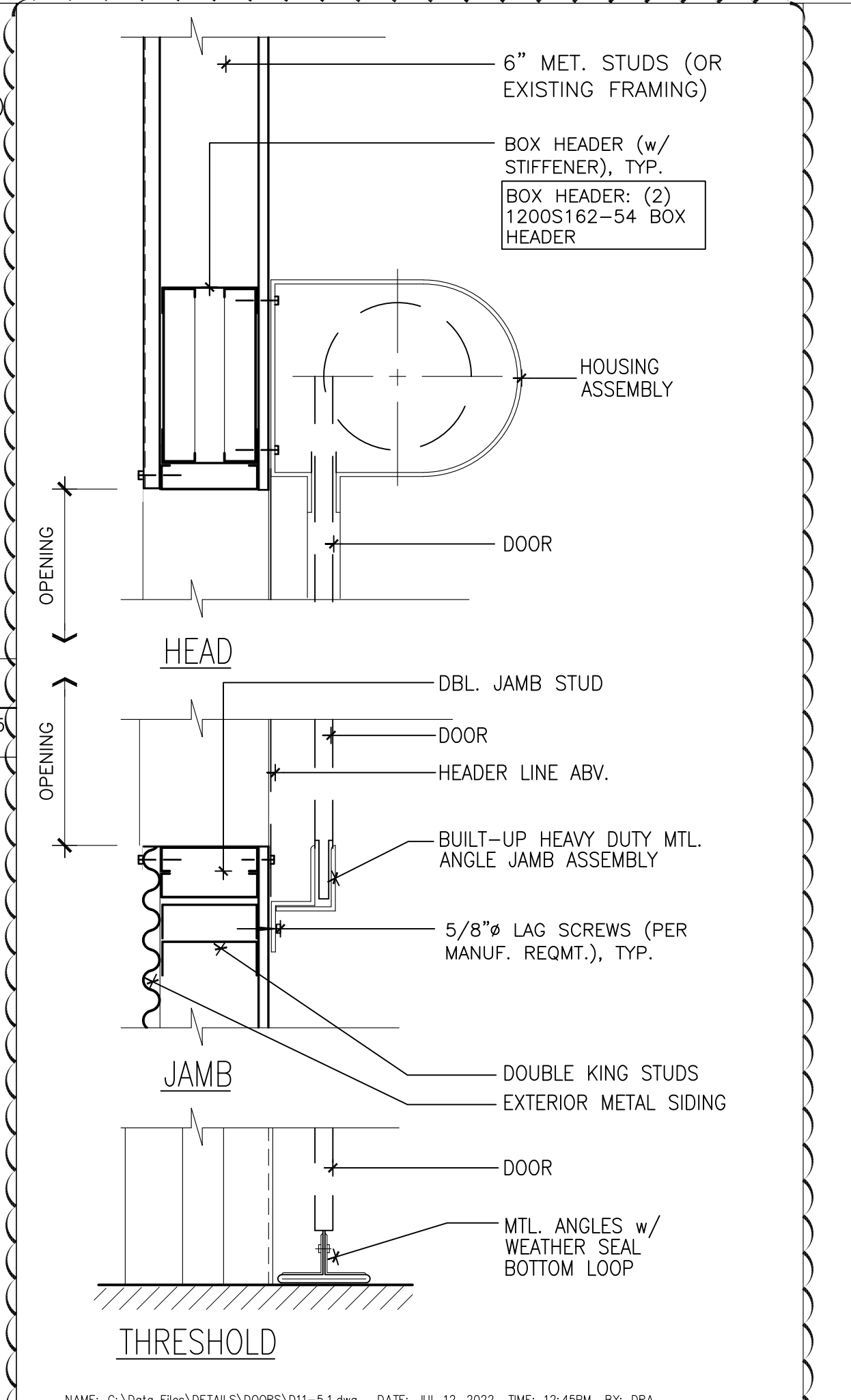
1 ROLL-UP DETAIL
 SCALE: 1 1/2" = 1'-0"



2 METAL DOOR & FRAME
 SCALE: 1 1/2" = 1'-0"



4 DOOR & FRAME
 SCALE: 1 1/2" = 1'-0"



6 ROLL-UP DOOR
 SCALE: 1 1/2" = 1'-0"

07/01/22 TPR/FIRE COMMENTS
 07/01/22 RFI COORD/OWNER REV
 REVISION MARK • DATE • DESCRIPTION

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR:
HUNT COMMUNITIES HAWAII [PHASE 2]
 91-1049 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

SHEET TITLE
DOOR SCHEDULE & TYPES DETAILS
 JOB NO. 20007-0100 DRAWING NO. A008.0
 DRAWN DRA CHECKED DRA DATE JUNE 2021 SHEET OF

GENERAL NOTES:

- CONFORM TO ALL REQUIREMENTS OF THE 2012 IBC, 2012 UPC, 2015 IECC AND 2018 NFPA 1 CODES OF THE CITY AND COUNTY OF HONOLULU, STATE OF HAWAII HEALTH REGULATIONS, FIRE DEPARTMENT REGULATIONS, MANUFACTURER'S RECOMMENDATIONS AND OTHER APPLICABLE REGULATIONS.
- EXAMINE ALL PROJECT PLANS AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS AND THE EXTENT OF REMOVAL, RELOCATION AND/OR NEW WORK PRIOR TO BIDDING. NOTIFY AND COORDINATE WITH THE ENGINEER FOR ANY MAJOR DEVIATIONS OR DISCREPANCIES DISCOVERED IN THE PLANS AND SPECIFICATIONS DUE TO UNFORESEEN OR VARYING FIELD CONDITIONS.
- INSTALLATION SHALL BE GUARANTEED TO BE FREE FROM DEFECTS FOR ONE YEAR FROM FINAL DATE OF ACCEPTANCE OF THE PROJECT AS A WHOLE.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BID AND CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING LINE SIZES, CONDITIONS, AND INVERTS PRIOR TO BID AND CONSTRUCTION.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER THE COMPLETE INSTALLATION OF SYSTEMS TO FUNCTION AS DESCRIBED AND SPECIFIED. THE OMISSION OF REFERENCE TO ANY NECESSARY ITEM OF LABOR OR MATERIAL SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING SUCH LABOR AND MATERIAL AT NO ADDITIONAL COST TO THE OWNER.
- PAY FOR ALL PERMITS AND APPLICATIONS.
- CAULK ALL PENETRATIONS WATERTIGHT. PROVIDE ALL CUTTING, PATCHING, AND RESTORING OF EXISTING SURFACES TO MATCH ORIGINAL SURFACE FINISHES. SPOT PAINT TO MATCH EXISTING SURFACES/COLOR.
- ALL EQUIPMENT AND FIXTURES SHALL BE CAPABLE OF FITTING INTO THE SPACES ALLOTTED WHILE MEETING THE MANUFACTURER'S RECOMMENDED ACCESS REQUIREMENTS. REVIEW ALL SPACES WHERE EQUIPMENT AND FIXTURES ARE TO BE INSTALLED PRIOR TO ORDERING OF ITEMS AND NOTIFY THE ARCHITECT/ENGINEER OF ANY INADEQUATE CLEARANCES OR CONDITIONS THAT WILL PREVENT THE PROPER INSTALLATION, MAINTENANCE, AND OPERATION OF THE EQUIPMENT AND FIXTURES.
- DRAWINGS ARE DIAGRAMMATIC IN NATURE AND DO NOT SHOW EVERY EXACT DETAIL OF PIPING AND DUCTWORK. PROVIDE OFFSETS AS NECESSARY TO AVOID LOCAL OBSTRUCTIONS OR INTERFERENCES WITH OTHER TRADES. REVIEW ALL PIPING AND DUCT RUNS PRIOR TO FABRICATION AND IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF ANY INTERFERENCES AND/OR LACK OF ADEQUATE CLEARANCES.
- SHOULD PROJECT CONDITIONS REQUIRE REARRANGEMENT OF WORK, MARK SUCH CHANGES ON THE AS-BUILT DRAWINGS. IF THESE CHANGES REQUIRE ALTERNATE METHODS TO THOSE APPROVED BY THE CONTRACT DOCUMENTS, SUBMIT SHOP DRAWINGS SHOWING THE PROPOSED ALTERNATE METHODS TO THE ARCHITECT/ENGINEER FOR REVIEW/APPROVAL PRIOR TO PROCEEDING WITH WORK.
- COORDINATE ALL WORK WHICH WILL AFFECT AREAS WITH BUILDING SUPERVISOR. SCHEDULE OFF-HOUR WORK WHEN REQUIRED TO MINIMIZE DISRUPTIONS.
- COORDINATE ALL SWITCH, THERMOSTAT, FIRE EXTINGUISHER, ETC. LOCATIONS WITH USER/ENGINEER PRIOR TO INSTALLATION TO AVOID INTERFERENCES WITH PAINTING, BULLETIN BOARDS, FURNITURE, ETC. ANY ITEM NOT PROPERLY COORDINATED SHALL BE RELOCATED AT NO ADDITIONAL COST TO THE OWNER.
- ALL ELECTRICAL AND CONTROL WIRING SHALL BE IN CONDUIT. PROVIDE GALVANIZED STEEL PIPE CONDUIT FOR EXPOSED TO WEATHER CONDUIT.
- ALL DUCT DIMENSIONS SHOWN ARE NET DIMENSIONS.
- PROVIDE DUCTWORK REDUCER FITTINGS AT AIR DEVICE CONNECTIONS AS REQUIRED.
- ALL SWITCHES, TIMECLOCKS, THERMOSTATS, AND CONTROL ITEMS SHALL BE ADA ACCESSIBLE AND SHALL BE MOUNTED AT 44" AFF AS PER ADA REQUIREMENTS OR ACCORDING TO OWNER'S INSTRUCTIONS.
- PROVIDE REBALANCING DURING ONE YEAR GUARANTEE PERIOD TO SATISFY USER'S REQUIREMENTS. CONTRACTOR SHALL PROVIDE TEST AND BALANCING REPORTS.
- COORDINATE ALL WORK WITH OTHER TRADES TO AVOID INTERFERENCES AND DELAYS.
- EXISTING PLUMBING/STORM DRAIN/CONDUITS SHALL BE REHUNG/REROUTED AS REQUIRED TO ACCOMMODATE NEW HVAC EQUIPMENT AND DUCTWORK. VERIFY ALL WASTE AND WATER INVERTS, LOCATIONS, SIZES, AND CONDITIONS OF PIPING.
- SEISMICALLY BRACE ALL EQUIPMENT, PIPING, AND DUCTWORK IN ACCORDANCE WITH THE CURRENT BUILDING CODE AND THEIR RESPECTIVE SEISMIC ZONE LOCATIONS.
- TONE AND LOCATE ALL UTILITY LINES OR OTHER INTERFERENCES IN AREAS OF PROPOSED TRENCH WORK PRIOR TO START OF EXCAVATION. REPAIR OR PAY FOR ALL DAMAGES TO EXISTING UTILITIES.
- PROVIDE DIELECTRIC UNIONS OR SEPARATIONS AT ALL DISSIMILAR METALS. PROVIDE UNIONS AFTER ALL SHUTOFF VALVES
- PROVIDE ACCESS PANELS FOR ALL ITEMS UNDER THIS SECTION REQUIRING SERVICING, INSPECTION, MAINTENANCE, AND ADJUSTMENT.
- PROVIDE ESCUTCHEON PLATES AT ALL EXPOSED WALL PENETRATIONS IN FINISHED AREAS, EXTERIOR WALL, ETC.
- AFTER CONNECTION OF NEW FIXTURES TO WASTE, CLEANOUT/SNAKE EXISTING LINES FOR PROPER OPERATION.

FIRE SPRINKLER GENERAL NOTES:

- THE ENTIRE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE BUILDING CODE OF THE CITY & COUNTY OF HONOLULU, STATE DEPARTMENT OF HEALTH REGULATIONS, UNIFORM PLUMBING CODE, UNIFORM FIRE CODE, NATIONAL ELECTRICAL CODE, HAWAII STATE MODEL ENERGY CODE, AND ALL OTHER AGENCIES HAVING JURISDICTION.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER THE COMPLETE INSTALLATION OF SYSTEMS TO FUNCTION AS DESCRIBED AND SPECIFIED. THE OMISSION OF REFERENCE TO ANY NECESSARY ITEM OF LABOR OR MATERIAL SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING SUCH LABOR AND MATERIAL
- ALL EQUIPMENT SHALL BE CAPABLE OF FITTING INTO THE SPACES ALLOCATED WHILE MEETING THE MANUFACTURER'S RECOMMENDED ACCESS REQUIREMENTS. REVIEW ALL SPACES WHERE EQUIPMENT IS TO BE INSTALLED PRIOR TO ORDERING OF EQUIPMENT AND NOTIFY THE ENGINEER OF ANY INADEQUATE CLEARANCES OR CONDITIONS THAT WILL PREVENT THE PROPER INSTALLATION, MAINTENANCE, AND OPERATION OF THE EQUIPMENT.
- OBTAIN APPROVAL FROM THE ARCHITECT BEFORE MAKING ANY PENETRATIONS THROUGH STRUCTURAL MEMBERS, WALLS, AND SLABS.
- REPAIR ANY DAMAGE TO EXISTING CONSTRUCTION RESULTING FROM THE INSTALLATION OF FIRE SPRINKLER ITEMS. THE AREAS REPAIRED SHALL MATCH THE ADJACENT SURFACES IN TEXTURE AND COLOR.
- STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF 2018 NFPA 1.
- 50.4.4.1 FIRE EXTINGUISHING EQUIPMENT SHALL INCLUDE BOTH AUTOMATIC FIRE-EXTINGUISHING SYSTEMS AS PRIMARY PROTECTION AND PORTABLE FIRE EXTINGUISHERS AS SECONDARY BACKUP. 2018 NFPA 1, CHAPTER 50.
- THESE FIRE SPRINKLER PLANS ARE SUBMITTED FOR CONDITIONAL APPROVAL OF THE FIRE AND BUILDING DEPARTMENTS AND THE HAWAII INSURANCE RATING BUREAU. TWO (2) SETS OF COMPLETE WORKING PLANS AND HYDRAULIC CALCULATIONS (IF NECESSARY), STAMPED AND SIGNED BY A HAWAII LICENSED REGISTERED MECHANICAL OR FIRE PROTECTION ENGINEER, SHALL BE SUBMITTED, AS APPLICABLE, TO THE FIRE PROTECTION SPECIAL INSPECTOR (FPSI) FOR CODE COMPLIANCE REVIEW. ONE (1) SET WITH THE FPSI APPROVAL STAMP SHALL BE SUBMITTED TO THE DPP BUILDING DIVISION ALONG WITH THE FPSI FINAL REPORT/LETTER PRIOR TO CLOSING OF THE BUILDING PERMIT.

BWS NOTES

- BUILDING IS SERVED BY KALAELOA WATER COMPANY FOR THE DOMESTIC WATER

DEPARTMENT OF HEALTH NOTE

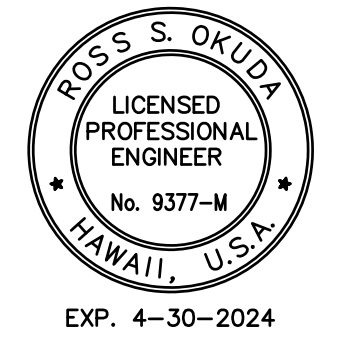
- THIS PROJECT INVOLVES NEW FULL HEIGHT WALLS TO AN EXISTING SPACE. THE EXISTING AIR CONDITIONING EQUIPMENT IS ADEQUATE TO SERVICE THE NEW LAYOUT. THE EXISTING OCCUPANCY TO REMAIN THE SAME AND THE OUTSIDE AIR REQUIREMENT WILL REMAIN THE SAME.

CITY AND COUNTY OF HONOLULU
REVISED ORDINANCES OF HONOLULU 1990
CHAPTER 32

TO THE BEST OF MY KNOWLEDGE, THIS PROJECT'S DESIGN SUBSTANTIALLY CONFORMS TO THE BUILDING ENERGY CONSERVATION CODE FOR:

- _____ BUILDING COMPONENT SYSTEMS
- _____ ELECTRICAL COMPONENT SYSTEMS
- ✓ _____ MECHANICAL COMPONENT SYSTEMS

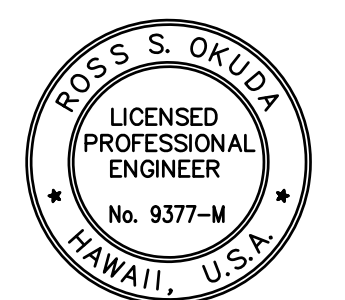
SIGNATURE: ROSS S. OKUDA
NAME: ROSS S. OKUDA
TITLE: PRESIDENT
PE #: 9377-M
DATE: 9/3/2021



PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

MECHANICAL LEGEND		
SYMBOL	ABBRV.	DESCRIPTION
GENERAL		
	AFF	ABOVE FINISHED FLOOR
	AP	ACCESS PANEL
	BFF	BELOW FINISHED FLOOR
	CLG	CEILING
	DN	DOWN
	EA	EACH
(E)	EXIST	EXISTING (TO REMAIN)
	FLR	FLOOR
(N)		NEW
(R)		REMOVE
(RE)		RELOCATE
	POC	POINT OF CONNECTION
	POR	POINT OF REMOVAL
	TYP	TYPICAL
	W/	WITH
HVAC		
	ACCU	AIR COOLED CONDENSING UNIT
	CD	CONDENSATE DRAIN
	CFM	CUBIC FEET PER MINUTE
	DT	DUCT
	SAD	SUPPLY AIR DIFFUSER
	RAR	RETURN AIR REGISTER
	OBVD	OPPOSED BLADE VOLUME DAMPER
	T'STAT	THERMOSTAT
FIRE PROTECTION		
<input checked="" type="checkbox"/>	FE	FIRE EXTINGUISHER
<input type="checkbox"/>	FS	FIRE SPRINKLER
<input type="checkbox"/>		PENDANT SPRINKLER HEAD
<input type="checkbox"/>		UPRIGHT SPRINKLER HEAD
<input type="checkbox"/>		CONCEALED SPRINKLER HEAD
	FDC	FIRE DEPARTMENT CONNECTION

DRA Architecture LLC
ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION AS DEFINED IN CHAPTER 16-115 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS ENTITLED PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS

R. Okuda
LICENSE EXPIRES: 30 APRIL 2024

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE BEFORE PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.

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07/01/22 TPR/FIRE COMMENTS
REVISION MARK • DATE • DESCRIPTION

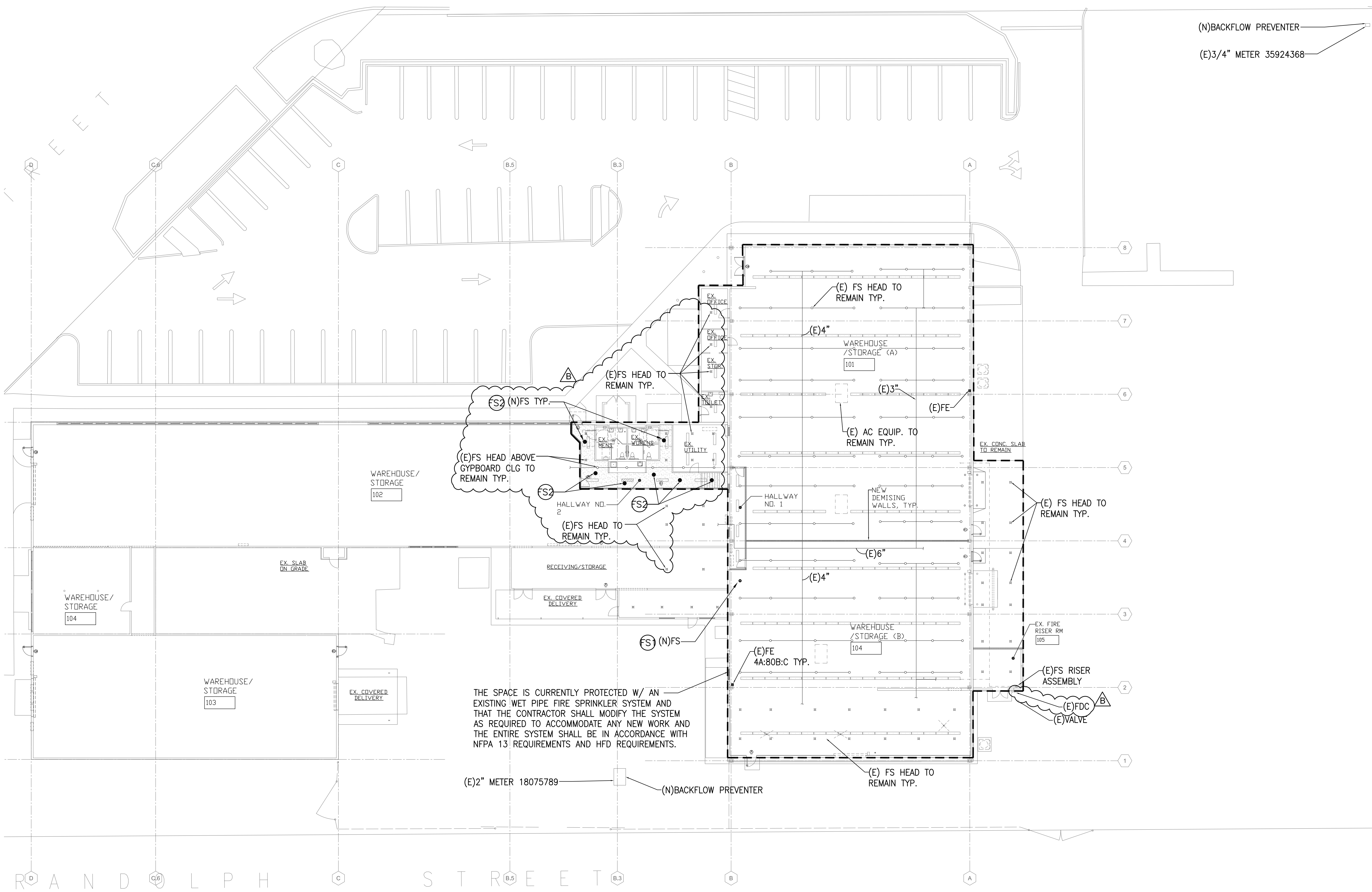
PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

GENERAL NOTES AND LEGEND SHEET TITLE

JOB NO. 20007-0100 DRAWING NO.
DRAWN MEI
CHECKED RSO
DATE JUNE 2021 SHEET OF

M001

PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



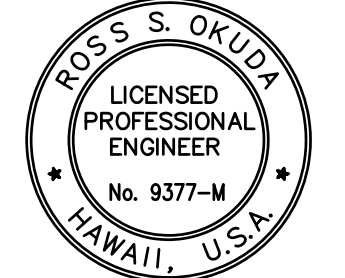
THE SPACE IS CURRENTLY PROTECTED W/ AN EXISTING WET PIPE FIRE SPRINKLER SYSTEM AND THAT THE CONTRACTOR SHALL MODIFY THE SYSTEM AS REQUIRED TO ACCOMMODATE ANY NEW WORK AND THE ENTIRE SYSTEM SHALL BE IN ACCORDANCE WITH NFPA 13 REQUIREMENTS AND HFD REQUIREMENTS.

FIRE SPRINKLER WORK NOTES:

- (FS) PROVIDE AND INSTALL NEW FIRE SPRINKLER HEAD AT LOCATION SHOWN. PROVIDE NEW FIRE SPRINKLER PIPING AS REQUIRED. CONTRACTOR TO FIELD VERIFY. PATCH AND REPAIR ANY DAMAGE TO MATCH ADJACENT SURFACE.
- (FS2) PROVIDE AND INSTALL NEW CONCEALED FIRE SPRINKLER HEAD AT LOCATION SHOWN. PROVIDE NEW FIRE SPRINKLER PIPING AS REQUIRED. CONTRACTOR TO FIELD VERIFY. PATCH AND REPAIR ANY DAMAGE TO MATCH ADJACENT SURFACE.

(N)BACKFLOW PREVENTER
(E)3/4" METER 35924368

DRA Architecture LLC
ARCHITECTURE DESIGN INTERIORS
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HONOLULU, HAWAII 96826
(808) 292-6287



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R. and
LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES
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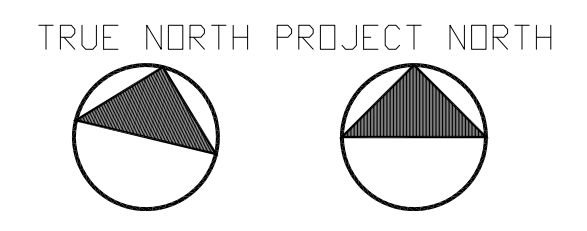
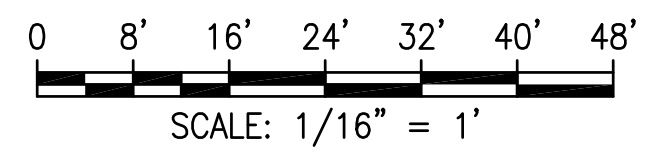
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REVISION MARK	DATE	DESCRIPTION
A	07/01/22	TPR/FIRE COMMENTS

PROJECT
**PROPOSED
PARCEL 10 BUILDING
IMPROVEMENTS FOR:
HUNT
COMMUNITIES
HAWAII
[PHASE 2]**
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
FIRE SPRINKLER PLAN

1 FIRE SPRINKLER PLAN
M100 SCALE: 1/16" = 1' - 0"



JOB NO. 20007-0100	DRAWING NO.
DRAWN MEI	M100
CHECKED RSO	SHEET OF
DATE JUNE 2021	

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

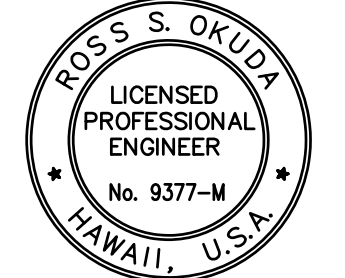
(N)BACKFLOW PREVENTER
(E)3/4" METER 35924368

NOTE: CONTRACTOR TO FIELD VERIFY EXISTING ACCU THAT SERVES ITS CORRESPONDING AHU, PRIOR TO CONSTRUCTION.

- * PROVIDE 5/8" LIQ AND 1-1/4" SUCTION LINE AT 7.5 TONS UNIT.
- * PROVIDE 1/2" LIQ. AND 1-1/4" SUCTION LINE AT 10 TONS UNIT.

DRA
Architecture LLC

ARCHITECTURE DESIGN INTERIORS
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HONOLULU, HAWAII 96826
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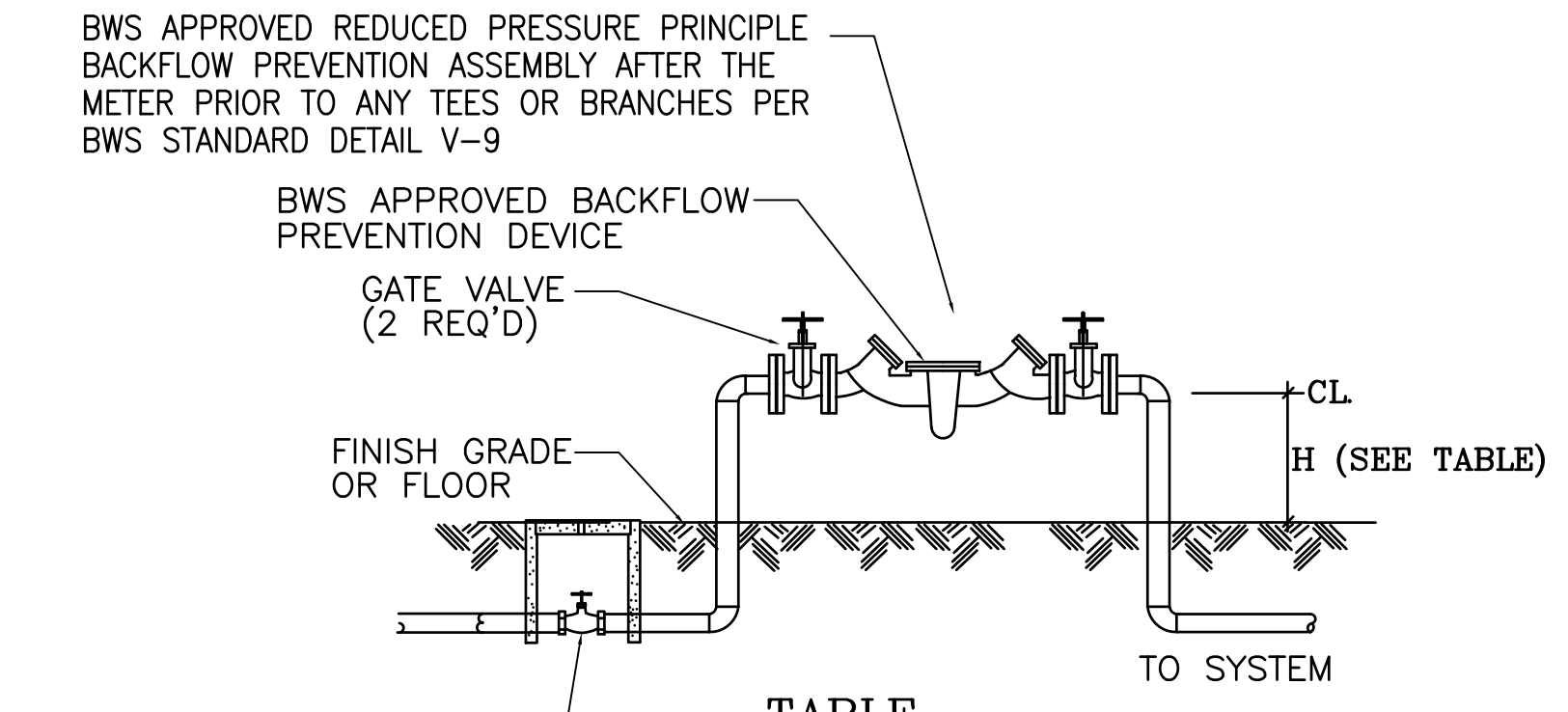
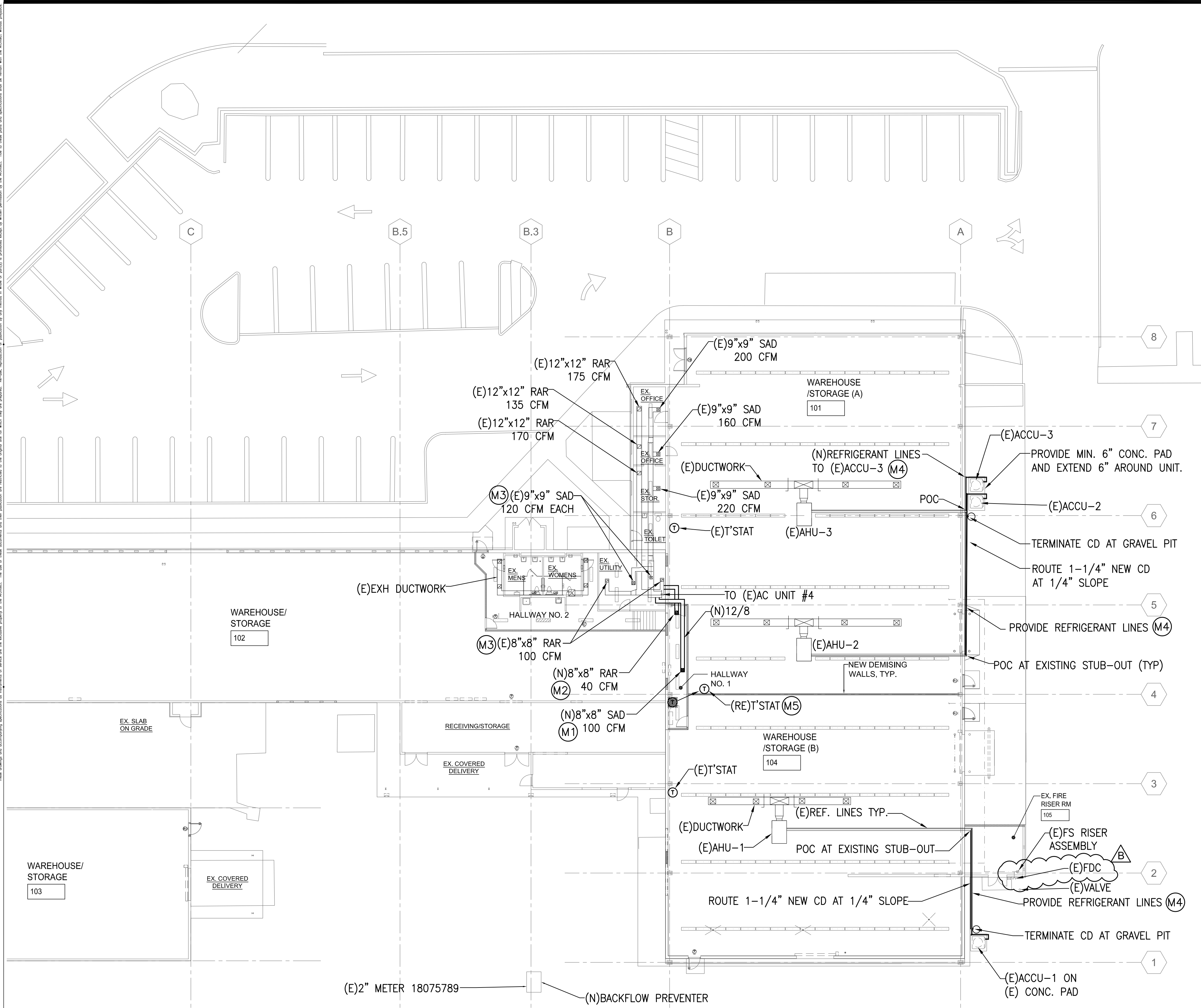


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R. and
LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES
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TABLE

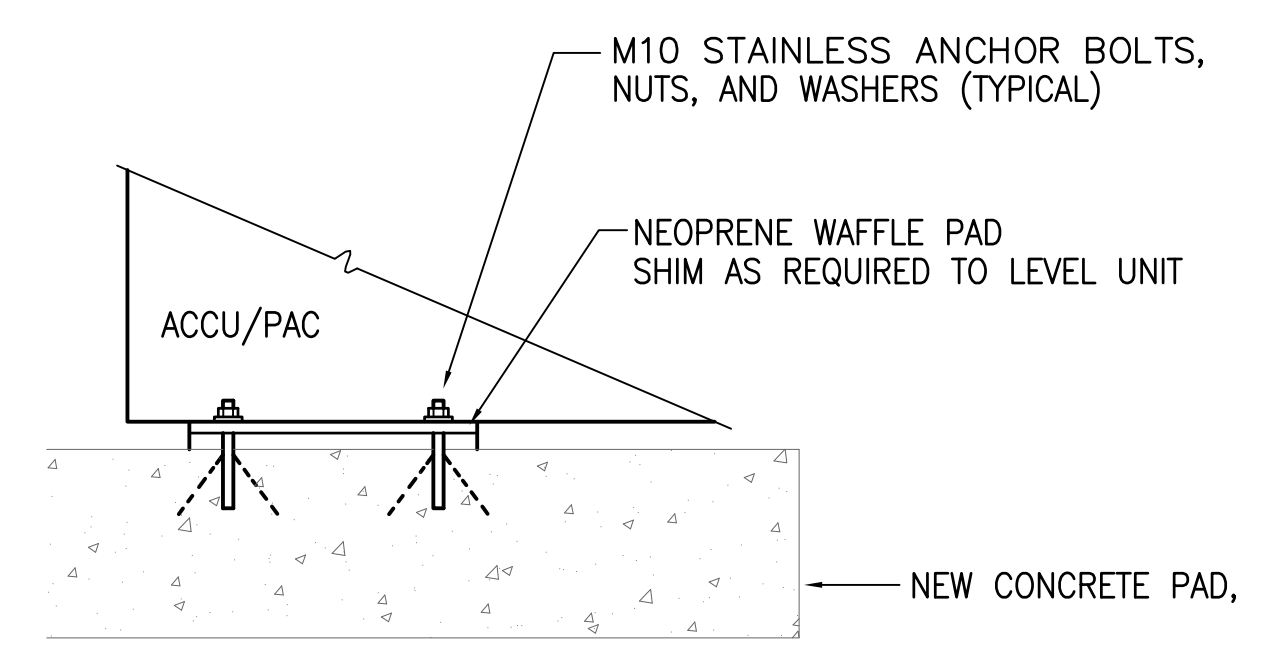
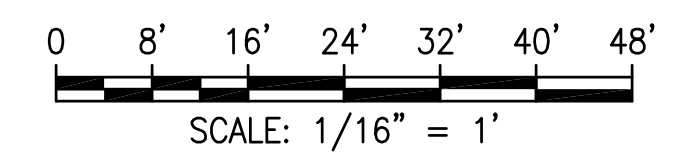
SIZE (INCHES)	H (INCHES)
3/4" TO 1 1/2"	18
2" TO 3"	24
4" TO 6"	30
8" TO 10"	36

4 BACKFLOW PREVENTER INSTALLATION DETAIL
M200 NOT TO SCALE

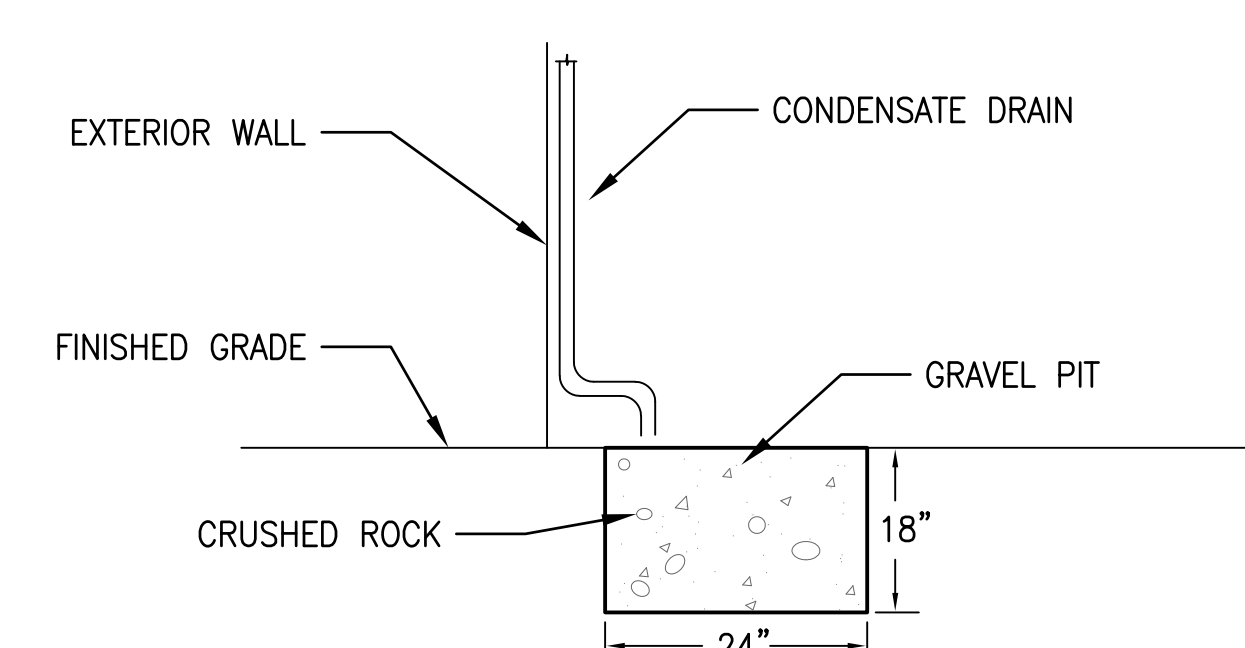
NEW MECHANICAL WORK NOTES:

- (M1) PROVIDE NEW SUPPLY AIR DIFFUSER AND DUCTWORK AS REQUIRED TO CONNECT TO EXISTING DUCT. CONTRACTOR TO FIELD VERIFY. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE.
- (M2) PROVIDE NEW RETURN AIR REGISTER AND DUCTWORK AS REQUIRED TO CONNECT TO EXISTING DUCT. CONTRACTOR TO FIELD VERIFY. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE.
- (M3) REBALANCE EXISTING SUPPLY AIR DIFFUSER AND RETURN AIR REGISTER TO PROVIDE THE AIR FLOW SHOWN. CLEAN AIR DEVICES OF DUST, DIRT, AND DEBRIS. CONTRACTOR TO FIELD VERIFY.
- (M4) PROVIDE NEW REFRIGERANT AND CONDENSATE DRAIN PIPING. CONNECT FROM EXISTING REFRIGERANT AND CONDENSATE DRAIN STUB-OUT TO ACCU. CONTRACTOR TO FIELD VERIFY. PATCH AND REPAIR ANY DAMAGES TO MATCH ADJACENT SURFACE.
- (M5) RELOCATE EXISTING THERMOSTAT TO NEW LOCATION SHOWN. MOUNT 48" AFF. PROVIDE NEW CONTROL WIRING AND CONDUIT AS REQUIRED. CONTRACTOR TO FIELD VERIFY. PATCH AND REPAIR WALL TO MATCH ADJACENT SURFACE.

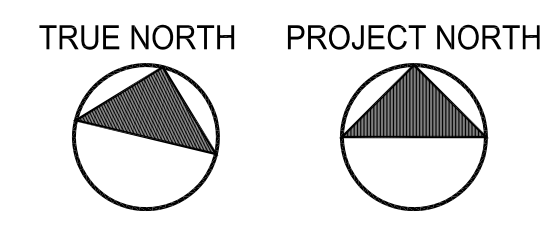
1 OVERALL NEW MECHANICAL FLOOR PLAN
SCALE: 1/16" = 1' - 0"



2 AIR COOLED CONDENSING UNIT MOUNTING DETAIL
M200 NOT TO SCALE



3 GRAVEL PIT DETAIL
M200 NOT TO SCALE



07/01/22 TPR/FIRE COMMENTS

REVISION MARK	DATE	DESCRIPTION

PROPOSED
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
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T.M.K.: 9-1-013: 097

NEW MECHANICAL PLAN SHEET TITLE

JOB NO. 20007-0100 DRAWING NO.
DRAWN MEI
CHECKED RSO
DATE JUNE 2021 SHEET OF

M200

MECHANICAL SPECIFICATIONS

SECTION 15A - GENERAL

- INSTALLATION AND WORKMANSHIP: ALL WORKMANSHIP SHALL BE OF THE HIGHEST STANDARD. ALL PIPING SHALL BE LAID OUT TO INSURE A NEAT, SYSTEMATIC AND ORDERLY ARRANGEMENT OF ALL WORK. ALL PLUMBING INSTALLED SHALL COMPLY WITH THE UNIFORM PLUMBING CODE, FIRE DEPARTMENT REGULATIONS, THE REGULATIONS OF THE DEPARTMENT OF HEALTH, OF THE STATE OF HAWAII, OSHA, NATIONAL FIRE CODES AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER WORK IN THIS SECTION. WHERE NOTED, FIXTURES SHALL COMPLY WITH ALL APPLICABLE ADA STANDARDS.
- GENERAL REQUIREMENTS: IT IS THE INTENT OF THE PLANS AND SPECIFICATIONS TO PROVIDE A COMPLETE INSTALLATION. SHOULD THERE BE OMISSIONS OR DISCREPANCIES IN THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE ENGINEER TO SUCH OMISSIONS AND DISCREPANCIES IN ADVANCE OF CONSTRUCTION SO THAT THE NECESSARY CORRECTIONS CAN BE MADE, OTHERWISE THE CONTRACTOR SHALL FURNISH AND INSTALL THE OMISSIONS OR DISCREPANCIES AS IF THE SAME WERE SPECIFIED AND PROVIDED FOR.
 - STANDARDS:
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH UPC 2012, IBC 2012, IECC 2015, NFPA 1 2018, HAWAII FIRE DEPARTMENT REGULATIONS, LANDLORD REQUIREMENT, AND ALL APPLICABLE ORDINANCES AND CODES OF THE COUNTY OF HAWAII.
 - CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENSES, AND CERTIFICATES AND PAY FOR ALL FEES.
 - DRAWINGS AND SPECIFICATIONS:
 - CONTRACT DRAWINGS: MECHANICAL PLANS ARE ESSENTIALLY DIAGRAMMATIC, SHOWING LOCATIONS OF PIPES AND OTHER MECHANICAL EQUIPMENT. WHERE LOCATIONS ARE NOT DIMENSIONED, THEY ARE APPROXIMATE, AND BEFORE INSTALLING, THE CONTRACTOR SHALL STUDY THE EXISTING CONDITIONS AND MAKE THE INSTALLATION IN THE MOST LOGICAL MANNER.
 - SHOP DRAWINGS: AS SOON AS PRACTICAL AND WITHIN THIRTY (30) DAYS AFTER AWARD OF CONTRACT AND BEFORE COMMENCEMENT OF INSTALLATION OF ANY MATERIALS, SIX (6) SETS OF MATERIAL SUBMITTALS AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. SUBMITTALS SHALL CONSIST OF A COMPLETE LIST OF MATERIALS. SHOP DRAWINGS SHALL CONTAIN ALL PIPING, DUCTWORK, EQUIPMENT, HANGERS, VALVES, AND SPECIALTIES. ALLOW FOR SERVICE CLEARANCES AS RECOMMENDED BY EQUIPMENT MANUFACTURER.
 - RECORD DRAWINGS: CONTRACTOR SHALL KEEP A SET OF DRAWINGS AVAILABLE AT THE JOBSITE ON WHICH ALL CHANGES AND ADDITIONS IN THE MECHANICAL WORK ARE SHOWN.
 - WORK AREA SHALL BE CLEANED OF DEBRIS AT THE END OF EACH DAY.

GUARANTEE

 - GUARANTEE: ALL WORK AND MATERIAL EXECUTED UNDER THIS SECTION SHALL BE GUARANTEED TO BE FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE OF PROJECT AS A WHOLE. ALL WORK OR REPAIR AND REPLACEMENT REQUIRED, INCLUDING OTHER WORK DAMAGED BY THIS WORK'S DEFECT SHALL BE PERFORMED AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO ANY PART OF THE PREMISES CAUSED BY FAILURE IN THE EQUIPMENT UNDER THIS SECTION FOR A PERIOD OF ONE (1) YEAR AFTER THE FINAL ACCEPTANCE OF THE WORK AS A WHOLE.

SECTION 15B: AIR CONDITIONING AND VENTILATION

- SCOPE: PROVIDE COMPLETE INSTALLATION OF AIR CONDITIONING AND VENTILATION SYSTEMS. "PROVIDE" SHALL MEAN "FURNISH AND INSTALL" WHEN USED HEREIN. THE AIR CONDITIONING AND VENTILATION SYSTEMS SHALL INCLUDE ALL EQUIPMENT AND ALL RELATED ITEMS NECESSARY TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED. THE WORK SHALL INCLUDE THE FOLLOWING:
 - AIR DEVICES
 - DUCTWORK AND ACCESSORIES
 - INSULATION
 - CONTROLS & WIRING
 - ADJUSTING, TESTING, AND BALANCING
- PRODUCTS: ALL MATERIALS DELIVERED TO THE JOB SITE AND INSTALLED SHALL BE NEW, BEST OF THEIR RESPECTIVE GRADES AND AS SPECIFIED ON THE DRAWINGS. MATERIALS SHALL BE OF THE SAME BRAND OR MANUFACTURER THROUGHOUT FOR EACH CLASS OF MATERIAL OR EQUIPMENT.
 - DUCTWORK AND ACCESSORIES:
 - DUCTWORK: GALVANIZED STEEL SHEETS, ASTM A527. CONSTRUCTION, GAGES, AND REINFORCEMENT SHALL COMPLY WITH LATEST SMACNA HVAC DUCT CONSTRUCTION STANDARDS.
 - NEW DUCTWORK SHALL BE INSULATED WITH 2" THICK DUCTWRAP INSULATION WITH VAPOR BARRIER. (1 PSF DENSITY).
 - FLEXIBLE DUCTWORK: THERMAFLEX M-KE OR APPROVED EQUAL.
 - SUPPLY AIR DIFFUSER: TITUS ALUMINUM LOUVERED FACE, HIGH CAPACITY DIFFUSER, MODEL TMS-AA OR APPROVED EQUAL, SURFACE MOUNT, OPPOSED BLADE DAMPER, STANDARD WHITE FINISH.
 - RETURN AIR REGISTER: TITUS ALUMINUM, LOUVERED, RETURN GRILLE, MODEL 56FL OR APPROVED EQUAL 3/4" BLADE SPACING, LONG BLADES, OPPOSED BLADE DAMPER, EXTERNAL SCREW FASTENING, WHITE FINISH.
 - FITTINGS: TAKE-OFFS, BRANCH CONNECTIONS, TRANSITIONS, VOLUME DAMPERS, AND FLEXIBLE CONNECTIONS SHALL COMPLY WITH SMACNA STANDARDS.
 - SUPPORTS: GALVANIZED STEEL STRAPS OR HANGER RODS IN ACCORDANCE WITH SMACNA DUCT CONSTRUCTION STANDARDS.
 - CONDENSATE DRAIN PIPING:
 - HARD DRAWN COPPER TUBING, TYPE L, ASTM B88, WITH DRAINAGE PATTERN COPPER FITTINGS AND 95-5 SOLDER JOINTS.
 - PIPING INSULATION

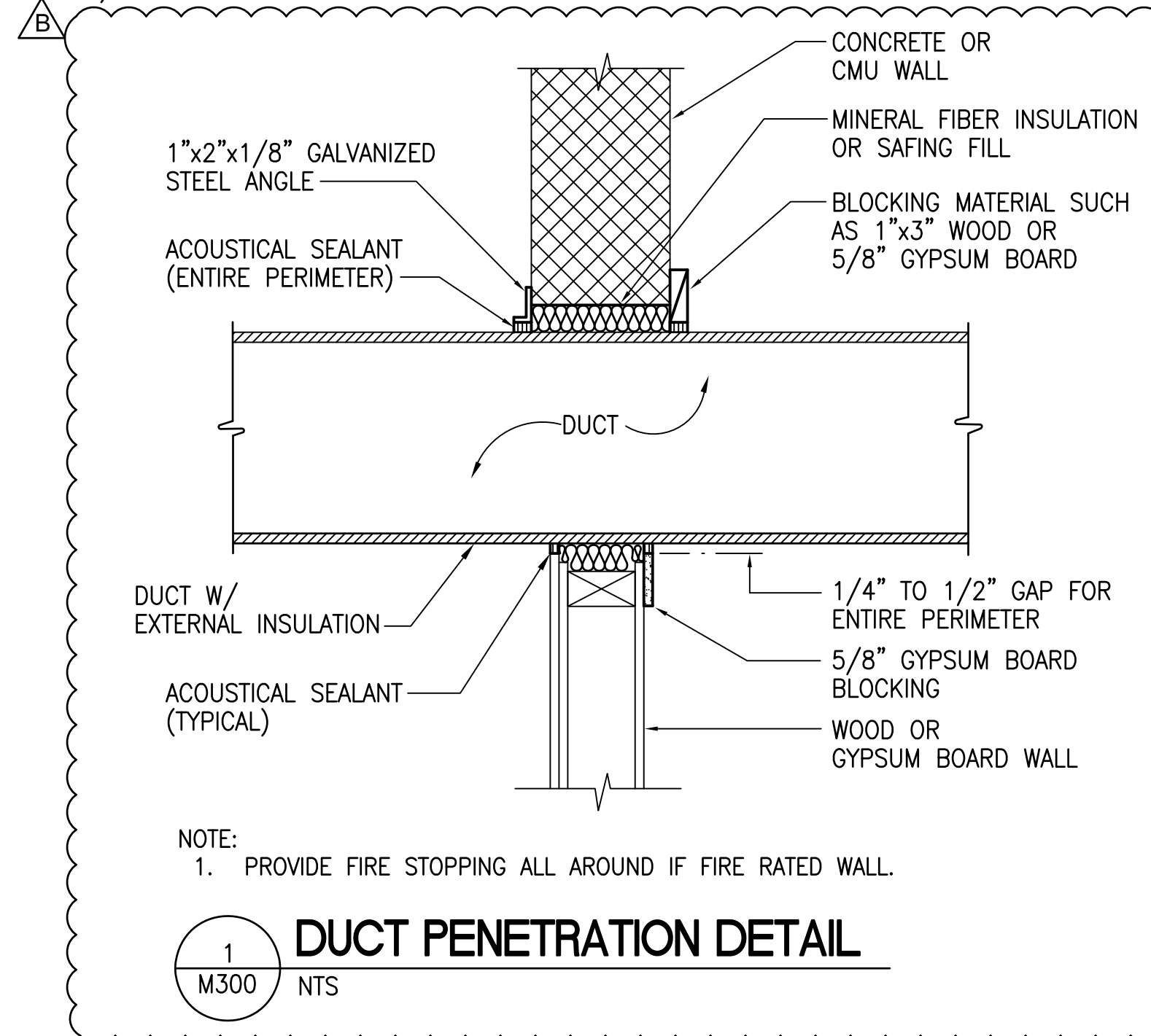
PIPING INSULATION: ALL PIPING SHALL BE INSULATED WITH 1" THICK CLOSED-CELL ELASTOMERIC INSULATION, ASTM E84, 25/50 FLAME/SMOKE DEVELOPED RATING, MINIMUM k = 0.27.
- EXECUTION: THE INSTALLATION SHALL BE ACCOMPLISHED BY A QUALIFIED, LICENSED CONTRACTOR RECOGNIZED AS A FULLY EXPERIENCED SPECIALIST IN HVAC SYSTEMS.
 - EQUIPMENT INSTALLATION:
 - INSTALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
 - INSTALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED CLEARANCES
 - AFTER COMPLETING THE INSTALLATION OF DUCTWORK AND EQUIPMENT, ENTIRE SYSTEM SHALL BE CLEANED OF RUBBISH, PLASTER DIRT AND OTHER DEBRIS.
 - NECESSARY SUPPORTS AND VIBRATION ISOLATORS SHALL BE PROVIDED FOR ALL EQUIPMENT AND APPURTENANCES AS REQUIRED. EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

SECTION 15B: AIR CONDITIONING AND VENTILATION

- ADJUSTING, BALANCING, AND TESTING:
 - ADJUSTING: CLEAN AND ADJUST ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. SUBMIT DETAILED REPORT OF SERVICING, NOTE ALL CORRECTIVE ACTIONS TAKEN.
 - BALANCING: SUPPLY AND RETURN AIR DISTRIBUTION SHALL BE BALANCED TO PROVIDE AIR QUANTITIES AS INDICATED TO PLUS OR MINUS 10 PERCENT, AND NOT EXCEEDING 10 PERCENT OF DESIGN QUANTITY FOR OUTSIDE AIR.
 - TEST REPORT: TYPE WRITTEN SCHEDULES OF READINGS TAKEN DURING THE BALANCING OPERATIONS INDICATING THE REQUIRED OR SPECIFIED READING, AND THE FINAL BALANCED READING SHALL BE PROVIDED FOR THE AIR DEVICES.
 - THIS REPORT SHALL BE PREPARED BY AN AABC AND/OR NEBB CERTIFIED COMPANY.

SECTION 15C - AUTOMATIC FIRE SPRINKLER SYSTEM

- SCOPE: MODIFY EXIST WET PIPE FIRE SPRINKLER SYSTEM, INSTALLED COMPLETE AND READY TO OPERATE IN ACCORDANCE WITH THE SPECIFICATIONS AND AS SHOWN ON THE DRAWINGS.
- GENERAL REQUIREMENTS: IT IS THE INTENT OF THE PLANS AND SPECIFICATIONS TO PROVIDE A COMPLETE INSTALLATION. SHOULD THERE BE OMISSIONS OR DISCREPANCIES IN THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE ENGINEER TO SUCH OMISSIONS AND DISCREPANCIES IN ADVANCE OF CONSTRUCTION SO THAT THE NECESSARY CORRECTIONS CAN BE MADE. OTHERWISE THE CONTRACTOR SHALL FURNISH AND INSTALL THE OMISSIONS OR DISCREPANCIES AS IF THE SAME WERE SPECIFIED AND PROVIDED FOR.
 - STANDARDS:
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM PLUMBING CODE, INTERNATIONAL BUILDING CODE, UNIFORM FIRE CODE, INSURANCE, HONOLULU FIRE DEPARTMENT, LANDLORD REQUIREMENTS, AND APPLICABLE ORDINANCES AND CODES OF THE CITY AND COUNTY OF HONOLULU.
 - CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENSES AND CERTIFICATES AND PAY FOR ALL FEES.
 - ALL MATERIALS AND INSTALLATION SHALL MEET NFPA 13, CURRENT EDITION.
 - PRODUCTS: ALL FIRE SUPPRESSION EQUIPMENT SHALL BE SELECTED FROM "LIST OF INSPECTED FIRE PROTECTION EQUIPMENT AND MATERIALS", PUBLISHED ANNUALLY BY UL AND SHALL BEAR UL APPROVED STAMP OR LABEL.
 - PIPE AND FITTINGS:
 - PIPE: BLACK STEEL PIPE, SCHEDULE 40, ASTM A120.
 - FITTINGS: BLACK CAST IRON, SCREWED, SUITABLE FOR 175 PSI WWP OR GROOVED -PIPE FITTING WITH GROOVED -PIPE COUPLINGS, VICTAULIC OR APPROVED EQUAL.
 - SPRINKLER HEADS: SPRINKLER HEAD SHALL BE 1/2 INCH ORIFICE, AUTOMATIC 165 DEGREE UPRIGHT TYPE AS APPLICABLE FOR NEW CEILING CONDITION. SPRINKLER HEADS IN SPACES WITH UNFINISHED CEILINGS SHALL BE AUTOMATIC, QUICK RESPONSE, PENDENT TYPE. PROVIDE UL OR FM APPROVED SPRINKLER HEADS FOR THE APPLICATION DESCRIBED. PROVIDE UL OR FM APPROVED SPRINKLER HEADS FOR THE APPLICATION DESCRIBED.
- EXECUTION: THE INSTALLATION SHALL BE ACCOMPLISHED BY A QUALIFIED, LICENSED CONTRACTOR RECOGNIZED AS A FULLY EXPERIENCED SPECIALIST IN AUTOMATIC FIRE SPRINKLER SYSTEMS, AND IN CONFORMANCE WITH NFPA 13.
 - POWDER SHOTS SHALL NOT BE USED TO ANCHOR HANGERS TO SUPPORT FIRE SPRINKLER PIPING OR ELECTRICAL/COMMUNICATIONS WIRING.
 - FIRE SPRINKLER PIPING WILL NOT BE SUPPORTED FROM DUCTS, AND CONDUITS.
 - PIPING:
 - PROVIDE AND INSTALL HANGER AND SUPPORTS FOR ALL PIPE WORK TO PROVIDE FOR EXPANSION AND CONTRACTION, PREVENT VIBRATION AND MAINTAIN REQUIRED GRADING BY PROPER ADJUSTMENT.
 - SUPPORTS, HANGERS, BOLTS, NUTS, WASHERS, ETC., SHALL BE GALVANIZED UNLESS OTHERWISE SPECIFIED. SUPPORTS FOR COPPER PIPE SHALL BE IN ADDITION COATED WITH PLASTIC.
 - STERILIZE AND TEST ALL WASTE AND WATER LINES IN ACCORDANCE WITH RECOMMENDATIONS OF THE PLUMBING CODE.
 - PROVIDE ESCUTCHEON PLATES FOR ALL EXPOSED WALL, ROOF, AND FLOOR PENETRATIONS.



PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

AS PER ROH 18, SEC. 18-5.2 RETENTION OF PLANS ONE SET OF APPROVED PLANS, SPECIFICATIONS, AND COMPUTATIONS SHALL BE RETAINED BY THE BUILDING OFFICIAL FOR A PERIOD OF NOT LESS THAN 90 DAYS FROM DATE OF COMPLETION OF THE WORK COVERED THEREIN, AND ONE SET OF APPROVED PLANS SHALL BE RETURNED TO THE APPLICANT, AND SAID SET SHALL BE KEPT ON THE SITE OF THE BUILDING OR WORK AT ALL TIMES DURING WHICH THE WORK AUTHORIZED THEREBY IS IN PROGRESS. (SEC. 18-5.2 R.O. 1978 (1983 ED.); AM. ORD. 93-59)

FIRE SAFETY NOTES:

16.1.1 STRUCTURE UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND THIS CHAPTER, 2018 NFPA 1.

ALTERATION OF BUILDINGS

16.4.4.1 WHERE THE BUILDING IS PROTECTED BY FIRE PROTECTION SYSTEMS, SUCH SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING ALTERATION.

16.4.4.2 WHERE ALTERATION REQUIRES MODIFICATION OF A PORTION OF FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE AND THE FIRE DEPARTMENT SHALL BE NOTIFIED.

16.4.4.3 WHEN IT IS NECESSARY TO SHUT DOWN THE SYSTEM, THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE ALTERNATE MEASURES OF PROTECTION UNTIL THE SYSTEM IS RETURNED TO SERVICE.

16.4.4.4 THE FIRE DEPARTMENT SHALL BE NOTIFIED WHEN THE SYSTEM IS SHUT DOWN AND WHEN THE SYSTEM IS RETURNED TO SERVICE.

10.8.1.1 AS NECESSARY DURING EMERGENCIES, MAINTENANCE, DRILLS, PRESCRIBED TESTING, ALTERATIONS, OR RENOVATIONS, PORTABLE OR FIXED FIRE-EXTINGUISHING SYSTEMS OR DEVICES OR ANY FIRE-WARNING SYSTEM SHALL BE PERMITTED TO BE MADE INOPERATIVE OR INACCESSIBLE.

13.1.9 WHEN A FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR MORE THAN 4 HOURS IN A 24-HOUR PERIOD, THE AHJ SHALL BE PERMITTED TO REQUIRE THE BUILDING TO BE EVACUATED OR AN APPROVED FIRE WATCH TO BE PROVIDED FOR ALL PORTIONS LEFT UNPROTECTED BY THE FIRE PROTECTION SYSTEM SHUTDOWN UNTIL THE FIRE PROTECTION SYSTEM HAS BEEN RETURNED TO SERVICE.

APPROVAL AND ACCEPTANCE

13.7.3.2.1.3 BEFORE REQUESTING FINAL APPROVAL OF THE INSTALLATION, IF REQUIRED BY THE AHJ, THE INSTALLING CONTRACTOR SHALL FURNISH A WRITTEN STATEMENT STATING THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH APPROVED PLANS AND TESTED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS AND THE APPROPRIATE NFPA REQUIREMENTS.

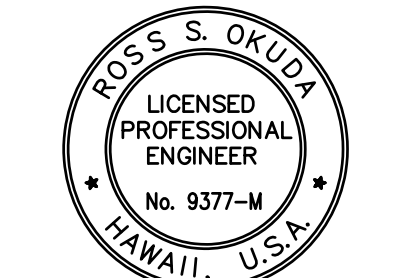
13.7.3.2.1.4* THE RECORD OF COMPLETION FORM, FIGURE 10.18.2.1.1 OF NFPA 72, SHALL BE PERMITTED TO BE A PART OF THE WRITTEN STATEMENT REQUIRED IN 13.7.3.2.1.3. WHEN MORE THAN ONE CONTRACTOR HAS BEEN RESPONSIBLE FOR THE INSTALLATION, EACH CONTRACTOR SHALL COMPLETE THE PORTIONS OF THE FORM FOR WHICH THAT CONTRACTOR HAD RESPONSIBILITY.

PROVIDE CONSTRUCTION DETAIL OR NOTE ON PLANS TO INDICATE THE USE OF APPROVED PENETRATION FIRESTOP WITH AN "F" RATING OF NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL PENETRATED, AS PER IBC SECTION 712.3.1.2

1.14 PLAN REVIEW

1.14.4 REVIEW AND APPROVAL BY AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.

1.3.6.3 REPAIRS, RENOVATIONS, ALTERATIONS, RECONSTRUCTION, CHANGE OF OCCUPANCY, AND ADDITIONS TO BUILDINGS SHALL CONFORM TO THIS CODE, NFPA 101, AND THE BUILDING CODE.



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION AS DEFINED IN CHAPTER 18-115 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS' ENTITLED PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS)

R. Okuda
LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE BEFORE PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.

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REVISION MARK	DATE	DESCRIPTION
07/01/22	TPR/FIRE COMMENTS	

PROPOSED PROJECT
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

MECHANICAL SPECIFICATIONS SHEET TITLE

JOB NO. 20007-0100	DRAWING NO.
DRAWN MEI	
CHECKED RSO	
DATE JUNE 2021	SHEET OF

ELECTRICAL SPECIFICATIONS

PART 1 - GENERAL

- 1.01 GENERAL CONDITIONS: AS SPECIFIED IN ARCHITECTURAL SECTIONS.
- 1.02 SCOPE: FURNISH ALL MATERIALS REQUIRED TO COMPLETE ALL ELECTRICAL WORK. "PROVIDE" SHALL MEAN "FURNISH AND INSTALL" WHEN USED HEREIN.
- A. IN GENERAL, THE FOLLOWING WORK IS INCLUDED:
- DEMOLITION WORK AS INDICATED OR REQUIRED.
 - PROVIDE SERVICE AND METERING EQUIPMENT.
 - PROVIDE POWER AND LIGHTING SYSTEMS INCLUDING LUMINAIRES, PANELBOARDS, WIRING DEVICES AND WIRING.
 - PROVIDE FIRE ALARM SYSTEM, INCLUDING BUT NOT LIMITED TO ALL EQUIPMENT, DEVICES, WIRING AND SYSTEM DESIGN DOCUMENTS AND SHOP DRAWINGS FOR A COMPLETE AND OPERATING SYSTEM COMPLYING WITH THE REQUIREMENTS OF THE CITY AND COUNTY OF HONOLULU AND THE STATE.
- B. THE TERM "WIRING" SHALL INCLUDE, BUT NOT BE LIMITED TO LUMINAIRES, OUTLETS, CONDUCTORS AND OTHER ELECTRICAL EQUIPMENT FOR A COMPLETE AND OPERATIONAL SYSTEM.
- C. COORDINATE UTILITY AND ELECTRICAL WORK WITH HECO, HAWAIIAN TELCOM AND THE OWNER.
- D. FURNISHING OF "CONTRACTOR SUBMITTALS" AND "PROJECT RECORD DRAWINGS".
- 1.03 RELATED WORK SPECIFIED IN OTHER SECTIONS:
- A. CONNECT ALL ELECTRICAL EQUIPMENT FURNISHED OR PROVIDED UNDER OTHER SECTIONS.
- B. ELECTRIC SERVICE EXISTING. VERIFY AND ARRANGE FOR ANY AND ALL SYSTEM CONNECTIONS AND MODIFICATIONS REQUIRED WITH NAVAL FACILITIES ENGINEERING COMMAND (NAVFAC HAWAII).
- C. CONTROL WIRING AND MOTOR STARTERS FURNISHED UNDER MECHANICAL SECTIONS.
- 1.04 QUALITY ASSURANCE:
- A. COMPLY WITH THE REQUIREMENTS OF CITY AND COUNTY OF HONOLULU, STATE AND THE OWNER.
- B. OBTAIN AND PAY FOR ALL FEES, PERMITS, LICENSES, ASSESSMENTS AND INSPECTIONS REQUIRED FOR THIS WORK.
- C. SPECIFICATIONS ARE ACCOMPANIED BY ARCHITECTURAL PLANS AND DIAGRAMMATIC ELECTRICAL PLANS SHOWING APPROXIMATE LOCATIONS OF LUMINAIRES, OUTLETS AND OTHER ELECTRICAL EQUIPMENT. CONTRACTOR SHALL CONTACT ARCHITECT IF CONFLICTS OCCUR IN THE LOCATIONS OF THE LUMINAIRES AND OUTLETS.
- D. PRIOR TO THE START OF ROUGH-IN WORK, VERIFY ALL DIMENSIONS AND SIZES OF EQUIPMENT AT THE JOB SITE. CIRCUITS AND RACEWAY ROUTE ARE DIAGRAMMATIC AND MAY BE ALTERED IN ANY LOGICAL MANNER. HOWEVER, ALL CHANGES FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ARCHITECT AND INDICATED ON THE PROJECT RECORD DRAWINGS.
- E. INSTALLATION SHALL BE COMPLETE IN EVERY DETAIL AND READY FOR USE. ANY ITEM SUPPLIED BY THE CONTRACTOR DEVELOPING DEFECTS WITHIN ONE (1) YEAR AFTER FINAL ACCEPTANCE SHALL BE REPLACED BY MATERIALS, APPARATUS OR PARTS, INCLUDING INSTALLATION LABOR TO MAKE SUCH DEFECTIVE PORTION OF COMPLETE SYSTEM CONFORM TO THE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS, WITHOUT ADDITIONAL COST TO THE OWNER.
- 1.05 SUBMITTALS:
- A. SUBMIT FOR REVIEW ELECTRONIC VERSION (.pdf) OF SHOP DRAWINGS OR CATALOG CUTS OF THE FOLLOWING EQUIPMENT PRIOR TO ORDERING OF EQUIPMENT: LUMINAIRES, ELECTRICAL APPARATUS AND DEVICES; FIRE ALARM SYSTEM EQUIPMENT, INCLUDING SYSTEM DESIGN DOCUMENTS AND SHOP DRAWINGS.
- B. "PROJECT RECORD DRAWINGS" SHALL INDICATE ALL CHANGES FROM THE CONTRACT DRAWINGS OF ALL CONCEALED WIRING. RECORD THIS INFORMATION ALONG WITH ANY REQUIRED CHANGES FROM THE CONTRACT DRAWINGS ON REPRODUCIBLE SEPIAS OR VELLUM. SUBMIT PROJECT RECORD DRAWINGS FOR REVIEW PRIOR TO THE FINAL SITE VISIT BY ARCHITECT.

PART 2 - PRODUCTS:

- 2.01 MATERIALS: MATERIALS AND EQUIPMENT SHALL BE NEW AND THOSE ITEMS LISTED BY UNDERWRITER'S LABORATORIES SHALL BEAR "UL" LABEL OF APPROVAL.
- A. ELECTRICAL METALLIC TUBING (EMT) AND GALVANIZED RIGID CONDUIT (GRC): HOT DIPPED GALVANIZED, 1/2", MINIMUM FOR POWER SYSTEMS; 3/4", MINIMUM FOR COMMUNICATION AND FIRE ALARM SYSTEMS.
- B. OUTLET BOXES: CONCEALED BOXES SHALL BE PRESSED DOWN NEC GAUGE STEEL, GALVANIZED 4" SQUARE X 1-1/2" DEEP, MINIMUM.
- C. DEVICE AND COVER PLATES: PLATES FOR FLUSH CONSTRUCTION SHALL BE ONE PIECE, SMOOTH, PLASTIC SUITABLE HOLE FOR DEVICE, WHITE.
- D. WIRES: CONDUCTORS SHALL BE COPPER, 600 VOLTS, NO. 12 AWG, MINIMUM. CONDUCTORS NO. 10 AND SMALLER SHALL BE SOLID. UNLESS SPECIFIED OR INDICATED OTHERWISE, OR REQUIRED TO BE OTHERWISE BY THE NFPA 70, ALL CONDUCTORS SHALL BE NEC TYPE THWN OR XHHW.
- E. MC CABLES: COMPLY WITH NEC 330. CONDUCTORS SHALL BE COPPER, 600 VOLTS, NO. 12 AWG, MINIMUM, WITH GROUND CONDUCTOR. MAXIMUM LENGTH 6-FT. MC CABLE SHALL NOT BE USED TO "DAISY-CHAIN" LUMINAIRES AND/OR OUTLETS.
- F. WIRING DEVICES:
- SWITCHES: SPECIFICATION GRADE, 20 AMPERE, 120/277 VOLTS, WHITE.
 - OCCUPANCY SENSOR SWITCHES: SINGLE POLE, WALL MOUNT. PASSIVE INFRARED TECHNOLOGY. ADJUSTABLE 30 SEC. - 30 MIN. TIME DELAY "OFF". 180° PATTERN. 120/277 VOLTS. WHITE.
 - DUPLEX CONVENIENCE OUTLETS: SPECIFICATION GRADE, DUPLEX NEMA 5-20R, GROUNDING TYPE, WHITE.
 - DUPLEX GROUND FAULT OUTLETS: SPECIFICATION GRADE, DUPLEX NEMA 5-20R, GROUNDING TYPE, "TRIP" AND "RESET" BUTTONS AND L.E.D. INDICATOR LIGHT, WHITE.
- G. LUMINAIRES: AS INDICATED ON "LUMINAIRE SCHEDULE", COMPLETE WITH ALL NECESSARY ACCESSORIES.
- H. PANELBOARD: TYPE AND RATING AS SCHEDULED. PROVIDE BREAKER COMPLEMENT AS INDICATED; PROVIDE TYPED CIRCUIT DIRECTORY.
- I. DISCONNECT SWITCH: HEAVY DUTY SAFETY SWITCH WITH RATING AS NOTED. NEMA 1 ENCLOSURE FOR INDOOR LOCATIONS AND NEMA 4X (STAINLESS STEEL) FOR WET AND OUTDOOR LOCATIONS.
- J. HARDWARE, SUPPORTS, BACKING, ETC.: PROVIDE ALL HARDWARE, SUPPORTS, BACKING AND OTHER ACCESSORIES NECESSARY TO INSTALL ELECTRICAL EQUIPMENT. WOOD MATERIALS SHALL BE TERMITE CHEMICAL TREATED, IRON AND STEEL MATERIALS SHALL BE GALVANIZED FOR CORROSION PROTECTION.
- K. FIRE ALARM SYSTEM: FIRE ALARM SYSTEM INDICATED ON THESE DRAWINGS ARE DIAGRAMMATIC ONLY TO INDICATE INTENT OF A COMPLETE AND OPERATIONAL SYSTEM COMPLYING WITH THE REQUIREMENTS OF THE CITY AND COUNTY OF HONOLULU AND THE STATE. CONTRACTOR SHALL PROVIDE COMPLETE AND OPERATING SYSTEM, INCLUDING SYSTEM DESIGN COMPLYING WITH THE CITY AND COUNTY OF HONOLULU AND THE STATE.

PART 3 - EXECUTION

- 3.01 CONSTRUCTION METHODS:
- A. WIRING SHALL CONFORM TO THE REQUIREMENTS OF THE CITY AND COUNTY OF HONOLULU, STATE AND THE OWNER.
- B. COMPLY WITH ALL LOCAL ORDINANCES AND REGULATIONS OF CITY AND COUNTY OF HONOLULU, HAWAIIAN ELECTRIC COMPANY AND VERIZON HAWAII AND WORKMANSHIP SHALL BE SUBJECT TO ARCHITECT'S REVIEW.
- C. RACEWAYS: EMT MAY BE USED IN DRY LOCATIONS AND WHERE NOT SUBJECT TO PHYSICAL DAMAGE. USE GRC IN DAMP OR WET LOCATIONS AND WHERE SUBJECT TO PHYSICAL DAMAGE. MOUNT RACEWAYS FREE FROM OTHER PIPING OR MECHANICAL EQUIPMENT AND DUCTWORK. RUN ALL EXPOSED RACEWAYS PARALLEL WITH OR AT RIGHT ANGLES TO STRUCTURAL OR ARCHITECTURAL ELEMENTS.
- D. OUTLET BOXES: PROVIDE OUTLET BOXES TO SUIT CONDITIONS ENCOUNTERED. WHEN TWO OR MORE DEVICES ARE INSTALLED AT A SINGLE LOCATION, MOUNT IN GANGED BOX UNDER SINGLE DEVICE PLATE.
- E. INSTALLATION OF LUMINAIRES: SUPPORT LUMINAIRES AND FANS SECURELY AND SAFELY BY APPROVED MEANS. PROVIDE ALL NECESSARY ACCESSORIES AND HARDWARE FOR PROPER INSTALLATION.
- F. MOTOR CONNECTIONS: MAKE POWER CONNECTIONS TO MOTORS ON EQUIPMENT WITH SHORT SECTION OF LIQUID-TIGHT FLEXIBLE RACEWAY.
- G. GROUNDING: METALLIC ENCLOSURES, RACEWAYS AND ELECTRICAL EQUIPMENT SHALL BE GROUNDED ACCORDING TO THE REQUIREMENTS OF THE NEC ARTICLE 250. GROUND CONNECTION TO EQUIPMENT, RACEWAYS, GROUNDING TYPE RECEPTACLES AND OTHER METALLIC PARTS BY CONTINUOUS NO. 14, MINIMUM, GREEN COPPER CONDUCTOR.
- H. FINISHING: PATCH, REPAIR AND RESTORE ALL ELEMENTS DAMAGED DURING THE INSTALLATION OF ELECTRICAL SYSTEM. PATCHING, REPAIRING AND RESTORING SHALL BE SUBJECT TO ARCHITECT'S REVIEW AND ACCEPTANCE.
- I. TESTING: TEST ALL WIRING AND CIRCUITS TO INSURE PROPER OPERATION OF ALL ELECTRICAL SYSTEMS. ALL TESTS SHALL BE MADE IN THE PRESENCE OF THE ARCHITECT. PROPER OPERATION OF ALL ELECTRICAL DEVICES SHALL BE DEMONSTRATED AT THE REQUEST OF THE ARCHITECT. ARRANGE AND PAY FOR TESTING OF FIRE ALARM SYSTEM WITH THE CITY AND COUNTY OF HONOLULU.

END OF SECTION

LUMINAIRE SCHEDULE

TYPE	LAMP	DESCRIPTION	MANUFACTURER
A	L.E.D. 40W 5,339LM 4000K	L.E.D. STRIPLIGHT. 48" LENGTH. CRS SHEET METAL (24-GAUGE) HOUSING. CONSTANT CURRENT ELECTRONIC DRIVER. 120/277 VOLTS. BRACKET PLATE FOR CONTINUOUS MOUNTING.	RAB STRP440-840-U-STP BACKPLATE
B	L.E.D. 40W 5,339LM 4000K	L.E.D. STRIPLIGHT. 48" LENGTH. CRS SHEET METAL (24-GAUGE) HOUSING. CONSTANT CURRENT ELECTRONIC DRIVER. 120/277 VOLTS. BRACKET PLATE FOR CONTINUOUS MOUNTING. INTEGRAL OCCUPANCY SENSOR. INTEGRAL BATTERY PACK.	RAB STRP440-840-U-MVS-E2-STP BACKPLATE
C	L.E.D. 40W 4,402LM 4000K	L.E.D. 1' X 4' SURFACE MOUNT. ALUMINUM HOUSING WITH STEEL PAN. FROSTED POLYSTYRENE LENS. CONSTANT CURRENT ELECTRONIC DRIVER. 120/277 VOLTS. CRS SURFACE MOUNTING KIT. WHITE FINISH. INTEGRAL BATTERY PACK.	RAB EZPAN1X4-40N/D10-E2-SMKEZPAN1X4
X	L.E.D. LAMPS	EXIT SIGN. WHITE THERMOPLASTIC HOUSING GREEN LETTER. NICAD BATTERY WITH INTEGRAL CHARGER. 120/277 VOLTS.	SURE-LITE LPX-7
PL	L.E.D. 149W 21,204LM 4000K	POLELIGHT WITH 20-FOOT POLE AND CONCRETE BASE. LUMINAIRE: DIE-CAST ALUMINUM HOUSING, LENS FRAME AND MOUNTING ARM. POLYCARBONATE LENS. TYPE IV DISTRIBUTION. 120-277 VOLTS. DIMMING DRIVER. ADJUSTABLE SLIPFITTER MOUNTING. PHOTOCCELL. BRONZE FINISH. UL LISTED WET. POLE: 20-FOOT, 5-INCH SQUARE STEEL (7-GAUGE) POLE WITH ANCHOR BOLTS, REINFORCED HAND HOLE WITH REMOVABLE COVER AND BASE COVER(S). BRONZE FINISH.	LUMINAIRE: RAB A17-4T150SFN/3PRS-HPCT-A17-SF-KIT POLE: RAB SP5-07-20WT
FL	105W 14,294LM 4000K	FLOODLIGHT; NEMA TYPE 6H x 6V. DIE-CAST ALUMINUM HOUSING AND DOOR FRAME. SPECULAR POLYCARBONATE REFLECTOR. TEMPERED GLASS LENS. SLIPFITTER MOUNTING. CONSTANT CURRENT ELECTRONIC DRIVERS. 120-277 VOLTS. ADJUSTABLE SLIPFITTER MOUNTING. TWISTLOCK PHOTOCCELL. BRONZE FINISH. UL LISTED WET.	RAB FXLED-105-SF-N-PCT

EXTERIOR LIGHTING NOTE:
ALL EXTERIOR LIGHT FIXTURES SHALL BE DESIGNED/SHIELDED TO PREVENT DIRECT ILLUMINATION ONTO ADJACENT RIGHT-OF-WAYS.

SYMBOLS

DEMOLISH REMOVE	EXISTING REMAIN	NEW	
			CEILING LIGHT, LED
			CEILING LIGHT, LED, BATTERY PACK
			EXIT SIGN, WITH BATTERY PACK
			POLE LIGHT WITH CONCRETE BASE
			SWITCH, 1P20A, +42" UNLESS NOTED
			SWITCH, 3-WAY, 20A, +42" UNLESS NOTED
			OCCUPANCY SENSOR, WALL MOUNTED TYPE, +42" UNLESS NOTED
			DUPLEX CONVENIENCE OUTLET, NEMA 5-20R, +24" UNLESS NOTED
			"FOURPLEX" CONVENIENCE OUTLET, NEMA 5-20R, +24" UNLESS NOTED
			GROUND FAULT DUPLEX OUTLET, NEMA 5-20R, +24" UNLESS NOTED
			TELEPHONE / DATA OUTLET, +24" UNLESS NOTED WITH TWO 3/4" STUBS ABOVE CEILING
			FIRE ALARM MANUAL STATION, +48" TO CENTER OF OPERATING HANDLE
			FIRE ALARM SMOKE DETECTOR, PHOTOELECTRIC TYPE
			FIRE ALARM AUDIBLE/VISUAL SIGNALING DEVICE, WALL MOUNT, +80" TO BOTTOM OF DEVICE
			FIRE ALARM VISUAL (ONLY) SIGNALING DEVICE, WALL MOUNT, +80" TO BOTTOM OF DEVICE
			EQUIPMENT CONNECTION
			MOTOR CONNECTION
			MOTOR CONTROLLER
			SAFETY SWITCH, FUSED OR NON-FUSED AS NOTED. ENCLOSURE TYPE AS INDICATED
			PANELBOARD
			FIRE ALARM CONTROL PANEL (FACP)
			WEATHER PROOF
			WIRING IN RACEWAY CONCEALED IN WALL OR CEILING
			WIRING IN RACEWAY CONCEALED BELOW GRADE OR SLAB
			WIRING IN EXPOSED RACEWAY
			WIRING IN FLEXIBLE METAL RACEWAY

NOTE:
VERIFY EXISTENCE AND CONTINUITY OF SERVICE GROUND TO THE PROJECT AREA. CARRY GREEN GROUND WIRE THROUGHOUT NEW WORK AND GROUND EQUIPMENT PER THE NEC.

PROVIDE SEPARATE NEUTRAL CONDUCTOR FOR EACH 120-VOLT CIRCUIT (DO NOT USE COMMON NEUTRAL CONDUCTOR).

WIRING SHALL CONFORM TO NEC ARTICLE 310.15(B)(2).

LIGHTING LOAD CALCULATIONS (EXTERIOR) [2015 IECC]

ACTIVITY (EXTERIOR)	AREA	ALLOWED WATTS	TOTAL	TOTAL WATTS ALLOWED
BASE SITE ALLOWANCE [ZONE 3]	-	750	750	750
PARKING AREAS	38,068 SF	0.10/SF	3,807	3,807
TOTAL				4,557

LUMINAIRE TYPE	QUANTITY	WATTS/LUMINAIRE	TOTAL	TOTAL CONNECTED
FL	4	105	420	420
TOTAL				420

LIGHTING LOAD CALCULATIONS (INTERIOR) [2015 IECC]

ACTIVITY	AREA	ALLOWED WATTS/SF	TOTAL	TOTAL WATTS ALLOWED
WAREHOUSE	14,454	0.58	8,383	8,383
TOTAL				8,383

LUMINAIRE TYPE	QUANTITY	WATTS/LUMINAIRE	TOTAL	TOTAL CONNECTED
A / B	142	40	5,680	5,680
C / D	14	40	560	560
TOTAL				6,240

NOTE:
CONTRACTOR SHALL PERFORM LIGHTING SYSTEM FUNCTIONAL TESTS PER SECTION C408.3 OF 2015 IECC AND PROVIDE WRITTEN RESULTS TO THE ARCHITECT PRIOR TO FINAL INSPECTION BY THE A.H.U.

CITY AND COUNTY OF HONOLULU
REVISED ORDINANCE, CHAPTER 32
HONOLULU COUNTY CODE, 1990, AS AMENDED

To the best of my knowledge, this project's design substantially conforms to the Building Energy code for:

Building Component Systems
 Electrical Component Systems
 Mechanical Component Systems

Signature: *Darrel Itano*
Name: Darrel Itano
Title: President, Itano & Associates, Inc.
License No.: 4367-E
Date: 10.11.2021

DRA Architecture LLC
ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287

DARREL T. ITANO
LICENSED PROFESSIONAL ENGINEER
No. 4367-E
HAWAII, U.S.A.

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION (OBSERVATION AS DEFINED IN CHAPTER 16-115 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS ENTITLED PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS)

Darrel Itano
LICENSE EXPIRES: 30 APRIL 2024

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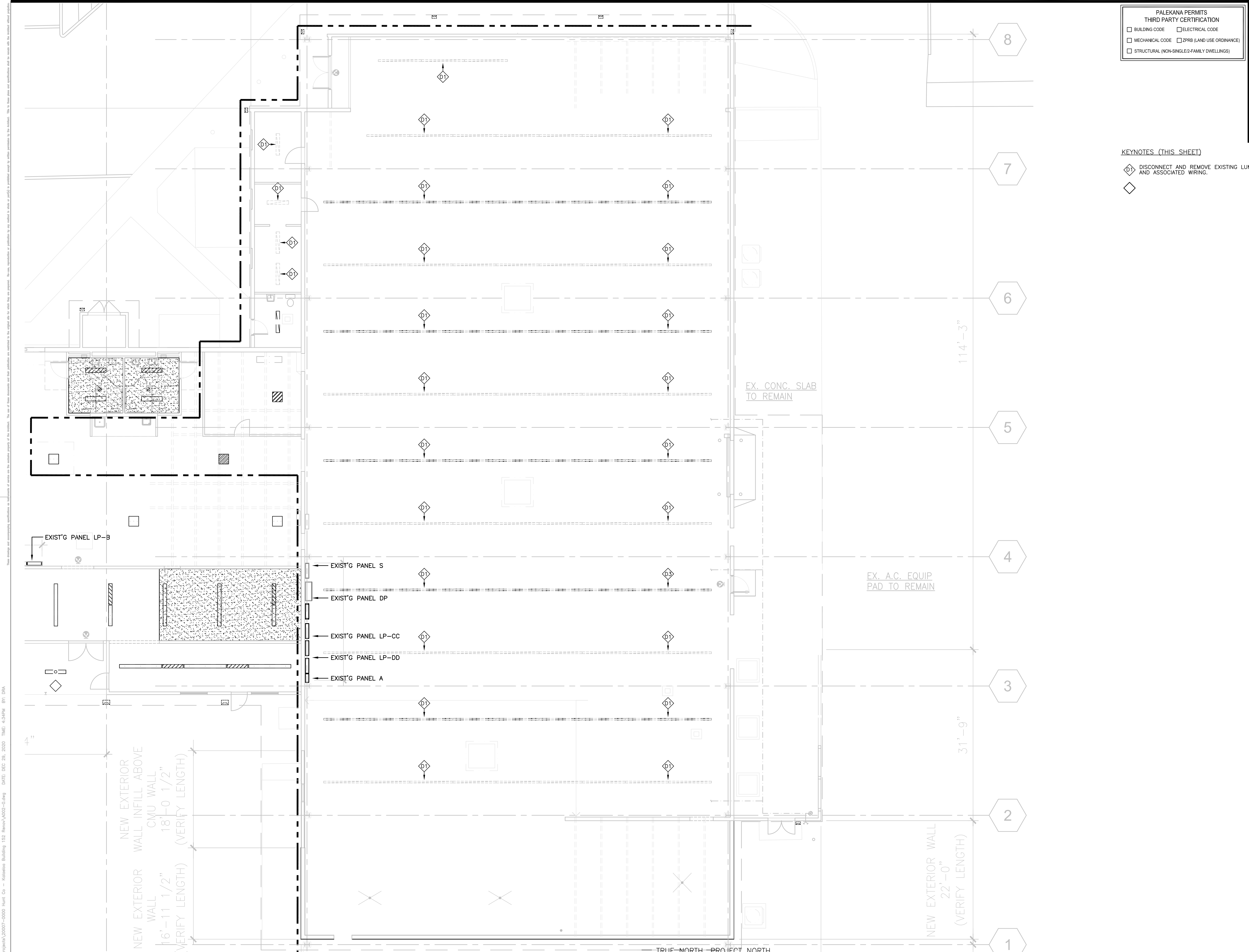
07/01/2022 RFI COORD/OWNER REVS
REVISION MARK • DATE • DESCRIPTION

PROPOSED
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

ELECTRICAL SYMBOLS
LUMINAIRE SCHEDULE
ELECTRICAL SPECIFICATIONS
ENERGY BUDGET

SHEET TITLE

JOB NO. 20007-0100 DRAWING NO.
DRAWN MS
CHECKED DRA
DATE JUNE 2021 SHEET OF



PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

KEYNOTES (THIS SHEET)

◇ DISCONNECT AND REMOVE EXISTING LUMINAIRE AND ASSOCIATED WIRING.
◇

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Dorel T. Itano
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REVISION MARK • DATE • DESCRIPTION

PROJECT

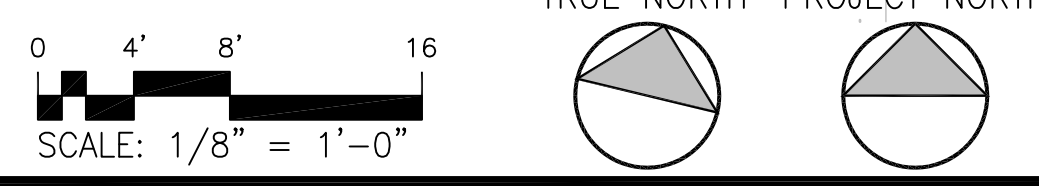
PROPOSED
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
91-1049 ENTERPRISE AVENUE
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T.M.K.: 9-1-013: 097

SHEET TITLE

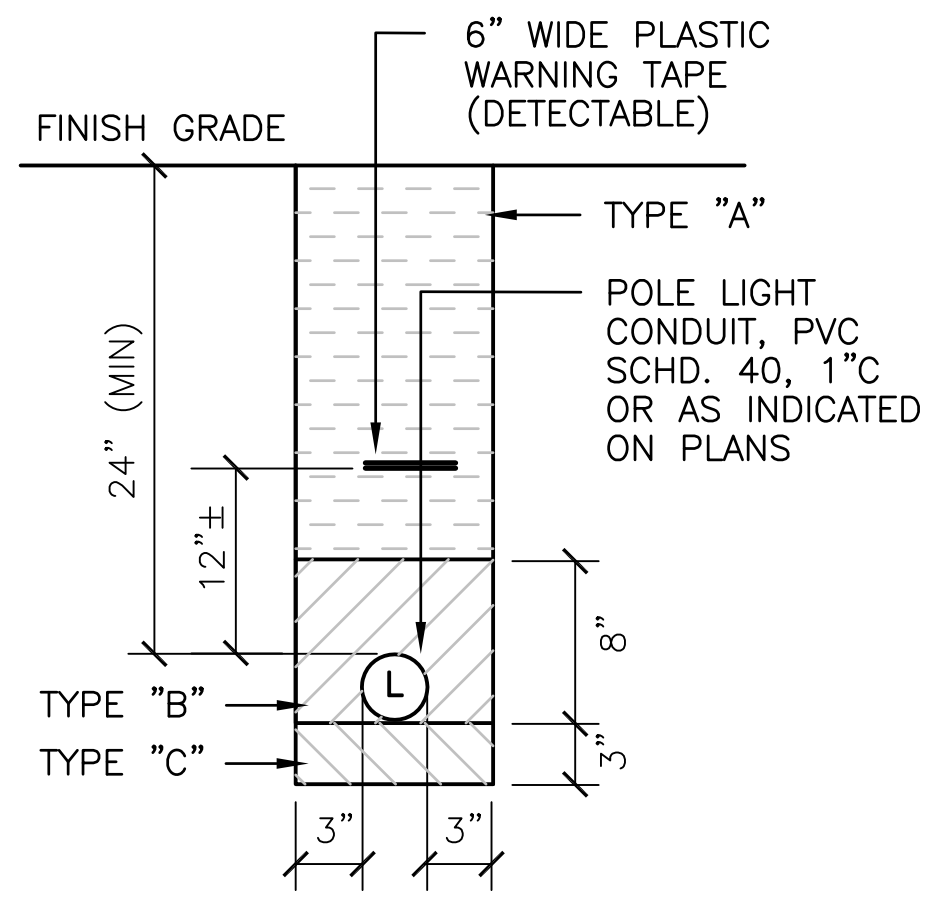
PARTIAL LIGHTING PLAN - EXISTING/DEMOLITION

JOB NO. 20007-0100 DRAWING NO.
DRAWN MS
CHECKED DRA
DATE JUNE 2021 SHEET OF

A PARTIAL LIGHTING PLAN - EXISTING/DEMOLITION
SCALE: 1/8" = 1'-0"



NAME: R:\DRA Projects\20007-0100 Hunt Co - Kaloeeas Building 152 Revise\A002-01.dwg DATE: DEC 29, 2020 TIME: 4:24PM BY: DRA



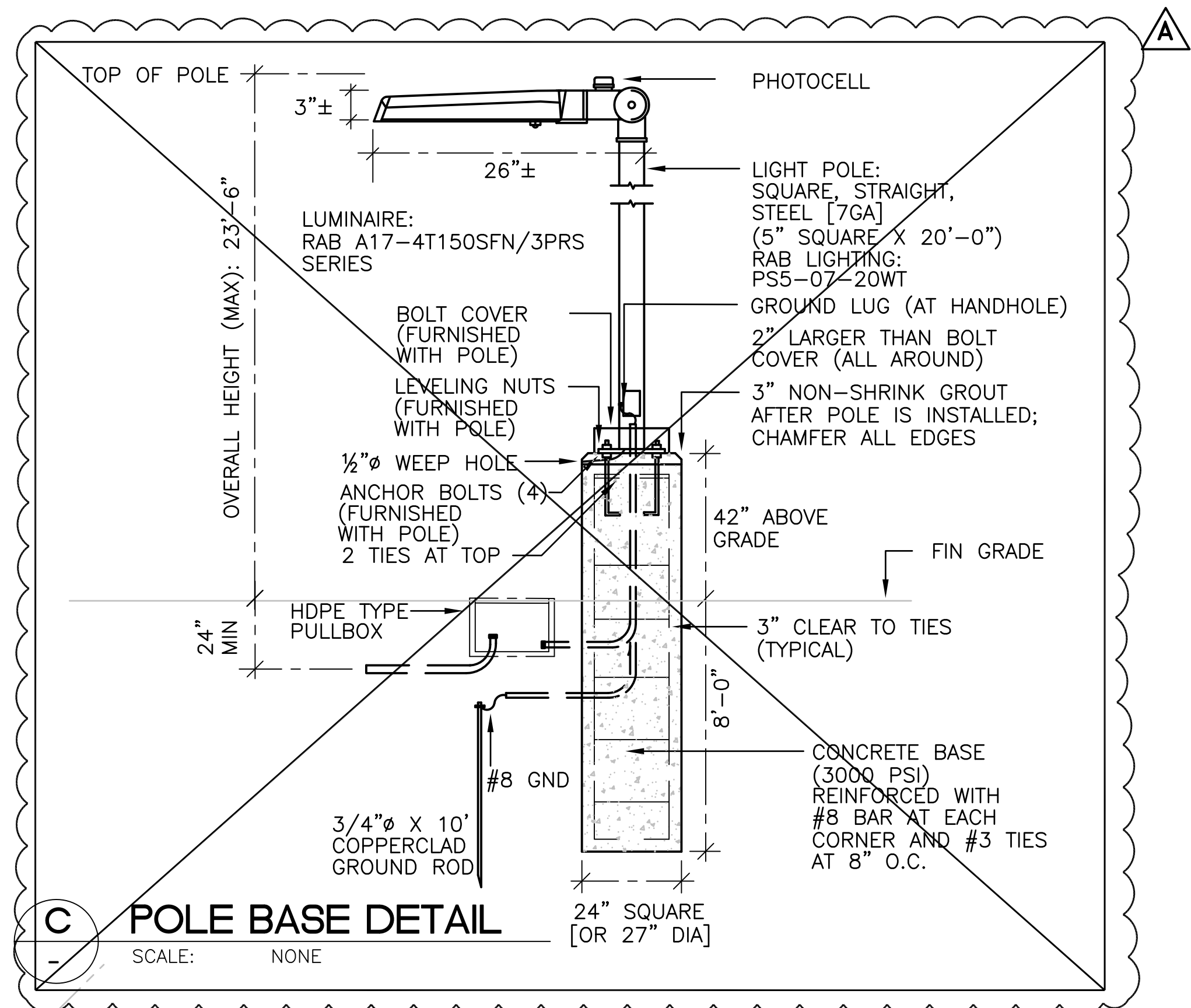
BACKFILL NOTES

TYPE "A"
 BEACH SAND, EARTH OR EARTH AND GRAVEL. THE MAXIMUM ROCK SIZE SHALL BE 1" AND THE MIXTURE SHALL CONTAIN NO MORE THAN 50 PERCENT BY VOLUME OF ROCK PARTICLES.

TYPE "B"
 BEACH SAND, EARTH OR EARTH AND GRAVEL. IF EARTH AND GRAVEL, MIXTURE MUST PASS A 1/2" MESH SCREEN AND CONTAIN NO MORE THAN 20 PERCENT BY VOLUME OF ROCK PARTICLES.

TYPE "C"
 IF THE NORMAL MATERIAL IN THE BOTTOM OF THE TRENCH IS NOT TYPE "B", AN ADDITIONAL 3" SHALL BE EXCAVATED AND TYPE "B" BACKFILL SHALL BE PROVIDED.

CONCRETE
 3" ENCASMENT. 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS

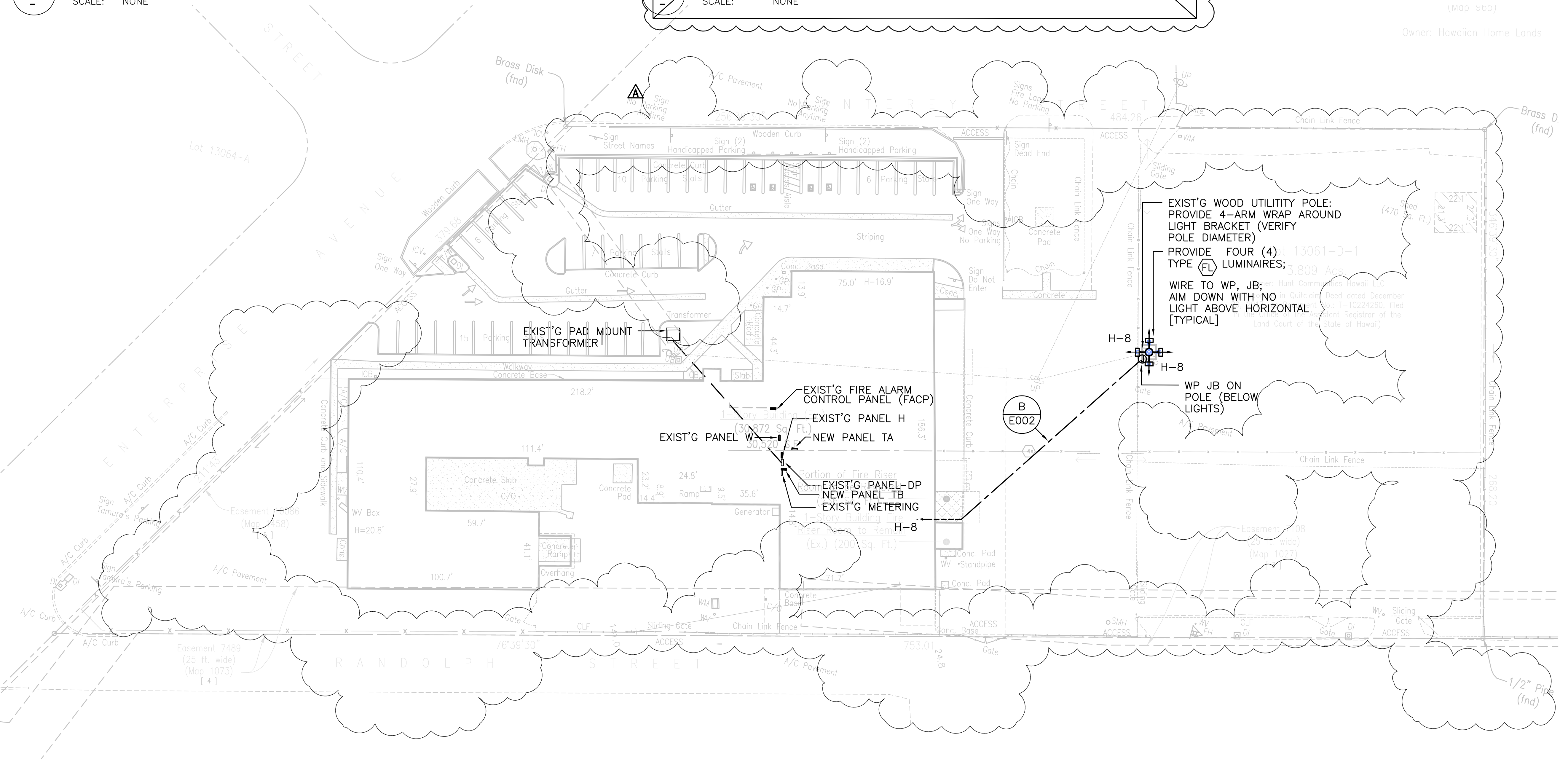


PALEKANA PERMITS
 THIRD PARTY CERTIFICATION

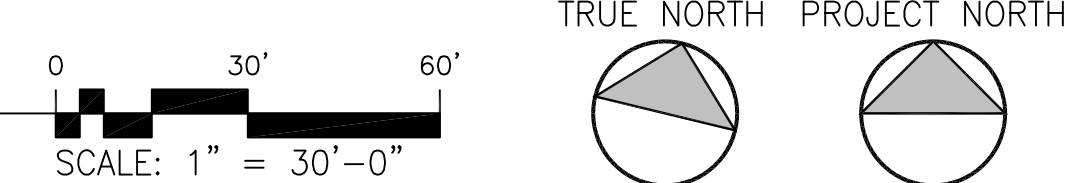
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<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

B DUCT SECTION
 SCALE: NONE

C POLE BASE DETAIL
 SCALE: NONE



A PARTIAL ELECTRICAL SITE PLAN
 SCALE: 1" = 30'-0"



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Direl T. Itano
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07/01/22 RFI COORD/OWNER REVS
 REVISION MARK • DATE • DESCRIPTION

PROJECT
**PROPOSED
 PARCEL 10 BUILDING
 IMPROVEMENTS FOR:
 HUNT
 COMMUNITIES
 HAWAII
 [PHASE 2]**
 91-1049 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

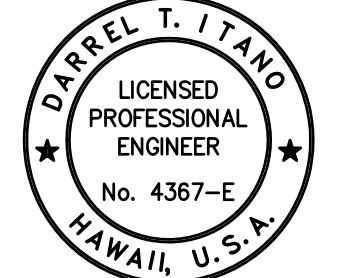
SHEET TITLE
 PARTIAL ELECTRICAL SITE PLAN

JOB NO. 20007-0100 DRAWING NO.
 DRAWN MS
 CHECKED DRA
 DATE JUNE 2021 SHEET OF

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

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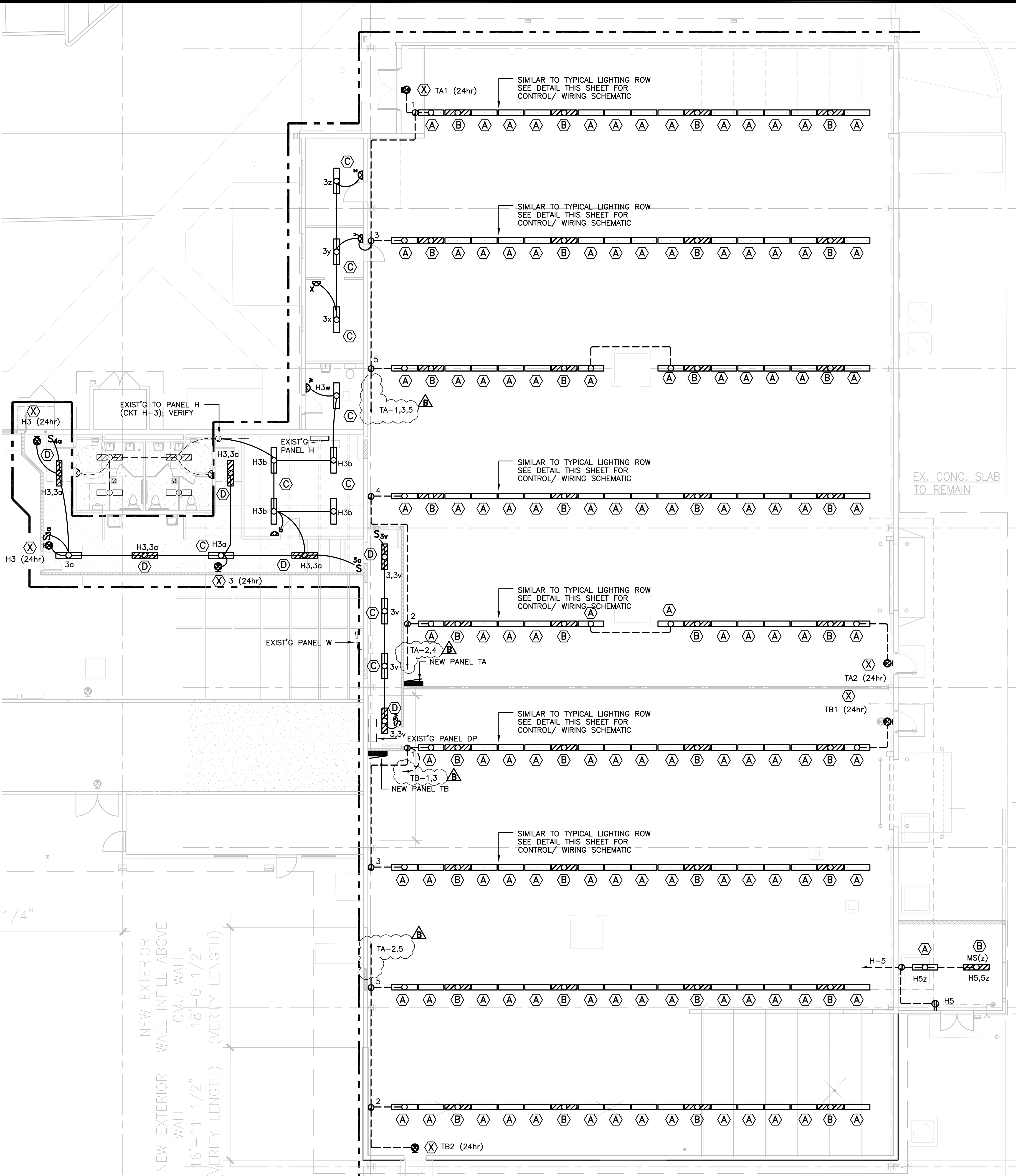
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07/07/22 TPR/FIRE COMMENTS
REVISION MARK DATE DESCRIPTION

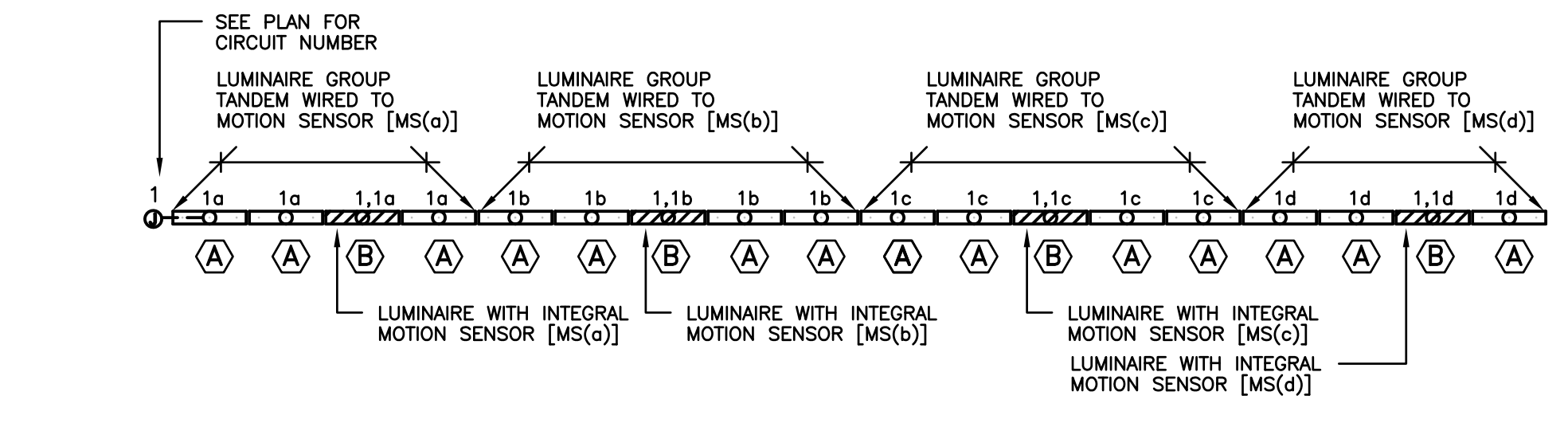
PROPOSED
PARCEL 10 BUILDING
IMPROVEMENTS FOR:
HUNT
COMMUNITIES
HAWAII
[PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

PARTIAL LIGHTING PLAN - NEW

JOB NO. 20007-0100 DRAWING NO. 1003.0
DRAWN MS
CHECKED DRA
DATE JUNE 2021 SHEET OF

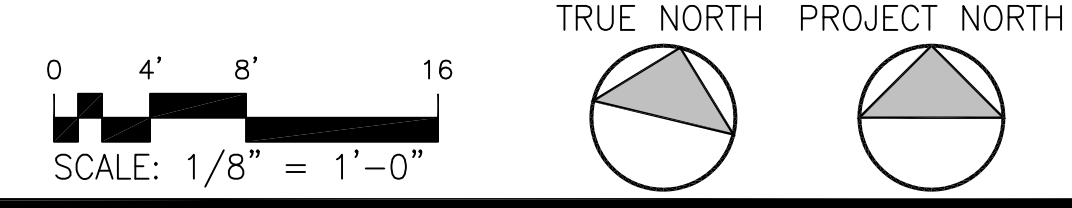


EX. CONC. SLAB TO REMAIN



B TYPICAL LIGHTING CONTROL/WIRING SCHEMATIC
SCALE: NONE"

A PARTIAL LIGHTING PLAN - NEW
SCALE: 1/8" = 1'-0"

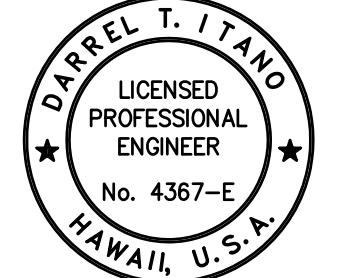


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PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

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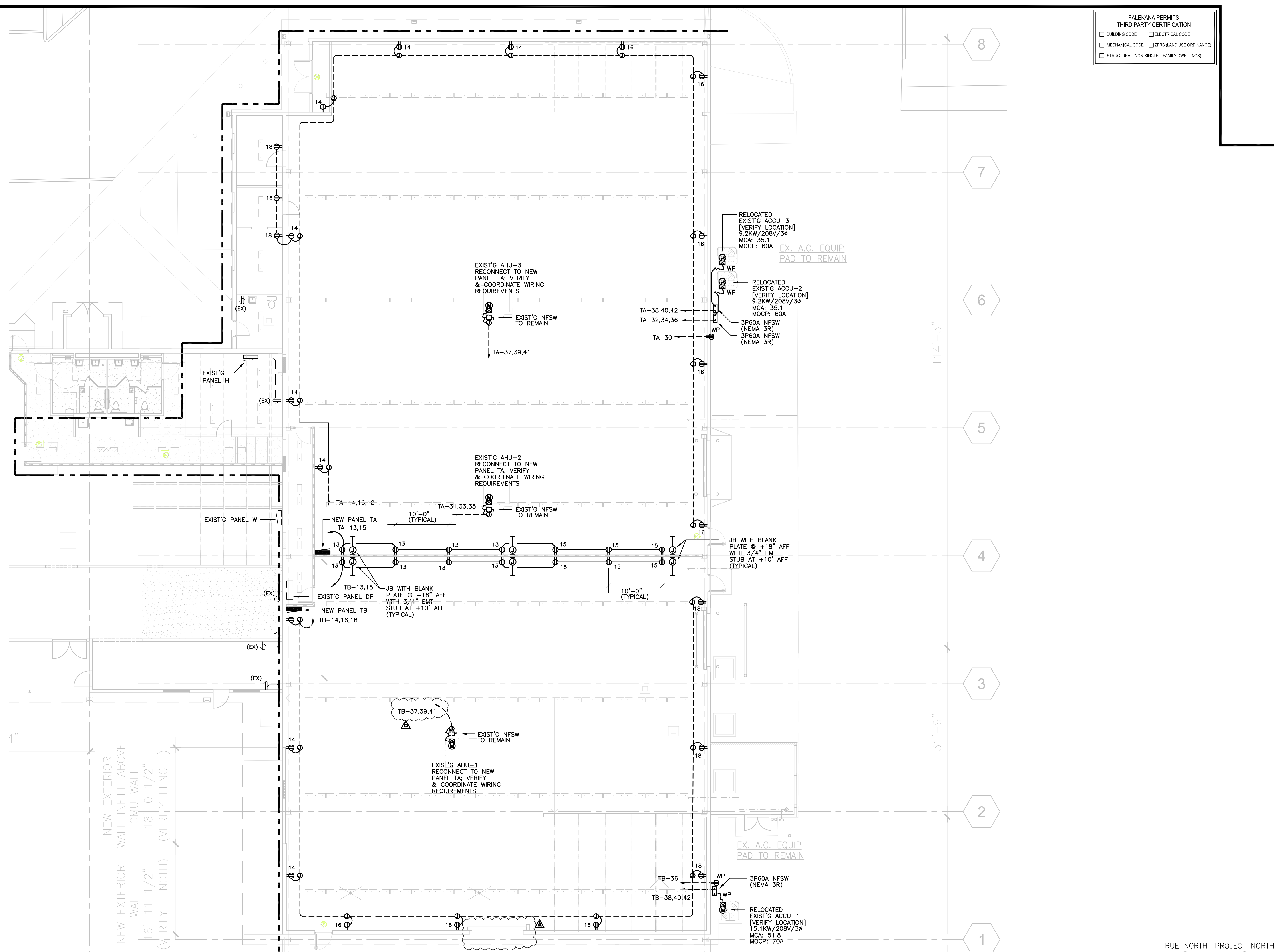
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07/01/2022 FRI COORD/OWNER REVS
REVISION MARK DATE DESCRIPTION

PROPOSED
PARCEL 10 BUILDING
IMPROVEMENTS FOR:
HUNT
COMMUNITIES
HAWAII
[PHASE 2]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
PARTIAL POWER & SIGNAL PLAN -
NEW

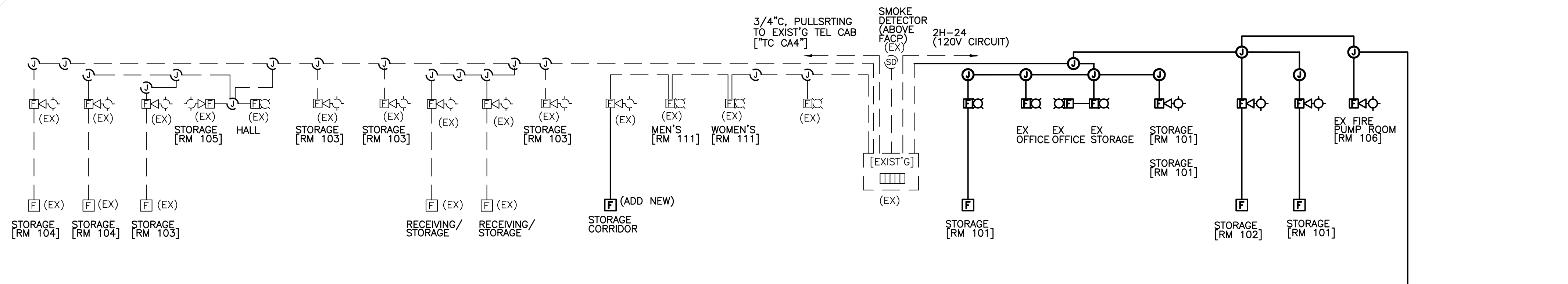
JOB NO. 20007-0100 DRAWING NO.
DRAWN MS
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DATE JUNE 2021 SHEET OF



A PARTIAL LIGHTING PLAN - NEW
SCALE: 1/8" = 1'-0"



NAME: R:\DRA Projects\20007-0100 Hunt Co - Kaloalea Building 152 - Revise\A002-01.dwg DATE: DEC 29, 2020 TIME: 4:24PM BY: DRA



PALEKANA PERMITS THIRD PARTY CERTIFICATION	
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<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> PRFB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

FIRE ALARM NOTES NOTES

AHJ APPROVAL
 13.1.1 THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE THAT CONSTRUCTION DOCUMENTS FOR ALL FIRE PROTECTION SYSTEMS BE SUBMITTED FOR REVIEW AND APPROVAL AND A PERMIT BE ISSUED PRIOR TO THE INSTALLATION, REHABILITATION, OR MODIFICATION. FURTHER, THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE THAT FULL ACCEPTANCE TESTS OF THE SYSTEMS BE PERFORMED IN THE AHJ'S PRESENCE PRIOR TO FINAL SYSTEM CERTIFICATION.

FIRE ALARM SYSTEMS, FIRE HYDRANT SYSTEMS, FIRE EXTINGUISHING SYSTEMS, STANDPIPES AND OTHER FIRE-PROTECTION SYSTEMS AND APPURTENANCES REQUIRED BY THIS CODE SHALL BE APPROVED BY THE AHJ AS TO INSTALLATION AND LOCATION AND SHALL BE SUBJECT TO ACCEPTANCE TESTS REQUIRED BY THE APPROPRIATE COUNTY AGENCY. 2012 NFPA 1, CHAPTER 13, AS AMENDED.

DETECTION, ALARM AND COMMUNICATION SYSTEMS
 13.7.1.1 WHERE BUILDING FIRE ALARM SYSTEMS OR AUTOMATIC DETECTORS ARE REQUIRED BY OTHER SECTIONS OF THIS CODE, THEY SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH NFPA 70, NFPA 72, NATIONAL FIRE ALARM CODE AND SECTION 13.7. 2012 NFPA 1.

72:10.15* PROTECTION OF FIRE ALARM SYSTEM
 IN AREAS THAT ARE NOT CONTINUOUSLY OCCUPIED, AUTOMATIC SMOKE DETECTION SHALL BE PROVIDED AT THE LOCATION OF EACH FIRE ALARM CONTROL UNIT(S). NOTIFICATION APPLIANCE CIRCUIT POWER EXTENDERS AND SUPERVISING STATION TRANSMITTING EQUIPMENT TO PROVIDE NOTIFICATION OF FIRE AT THAT LOCATION. EXCEPTION: WHERE AMBIENT CONDITIONS PROHIBIT INSTALLATION OF AUTOMATIC SMOKE DETECTION, AUTOMATIC HEAT DETECTION SHALL BE PERMITTED.

A.10.15...
 (1) WHERE CEILING IS 15 FT IN HEIGHT OR LESS THE SMOKE DETECTOR SHOULD BE LOCATED ON THE CEILING OR THE WALL WITHIN 21 FT OF THE CENTERLINE OF THE FIRE ALARM CONTROL UNIT BEING PROTECTED BY THE DETECTOR IN ACCORDANCE WITH 17.1.3.2.1.
 (2) WHERE THE CEILING EXCEEDS 15 FT IN HEIGHT, THE AUTOMATIC SMOKE DETECTOR SHOULD BE INSTALLED ON THE WALL ABOVE AND WITHIN 6 FT FROM THE TOP OF THE CONTROL UNIT.

13.7.1.4.10.5 UNLESS OTHERWISE PROVIDED IN 13.7.1.4.10.5.8, NOTIFICATION SIGNALS FOR OCCUPANTS TO EVACUATE SHALL BE AUDIBLE AND VISUAL SIGNALS IN ACCORDANCE WITH NFPA 72 AND ICC/ANSI A117.1, AMERICAN NATIONAL STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, OR OTHER MEANS OF NOTIFICATION ACCEPTABLE TO THE AHJ SHALL BE PROVIDED.

13.7.1.4.8.6* FOR FIRE ALARM SYSTEMS USING AUTOMATIC FIRE DETECTION OR WATERFLOW DETECTION DEVICES TO INITIATE THE FIRE ALARM SYSTEM IN ACCORDANCE WITH CHAPTERS 11 THROUGH 43 OF NFPA 101, NOT LESS THAN ONE MANUAL FIRE ALARM BOX SHALL BE PROVIDED TO INITIATE A FIRE ALARM SIGNAL. THE MANUAL FIRE ALARM BOX SHALL BE LOCATED WHERE REQUIRED BY THE AHJ.

13.7.1.4.8.6 THE MANUAL FIRE ALARM BOX REQUIRED BY 13.7.1.4.8.6 IS INTENDED TO PROVIDE A MEANS TO MANUALLY ACTIVATE THE FIRE ALARM SYSTEM WHEN THE AUTOMATIC FIRE DETECTION SYSTEM OR WATERFLOW DEVICES ARE OUT OF SERVICE DUE TO TESTING OR MAINTENANCE, OR WHERE HUMAN DISCOVERY OF THE FIRE PRECEDES AUTOMATIC FIRE SPRINKLER OR AUTOMATIC DETECTION SYSTEM ACTIVATION. WHERE THE FIRE ALARM SYSTEM IS CONNECTED TO A MONITORING FACILITY, THE MANUAL FIRE ALARM BOX REQUIRED BY 13.7.1.4.8.6 SHOULD BE CONNECTED TO A SEPARATE CIRCUIT THAT IS NOT PLACED ON "TEST" WHEN THE DETECTION OR SPRINKLER SYSTEM IS PLACED ON "TEST". THE MANUAL FIRE ALARM BOX SHOULD BE LOCATED IN AN AREA THAT IS ACCESSIBLE TO OCCUPANTS OF THE BUILDING AND SHOULD NOT BE LOCKED. (USUALLY FOR 20+ HEADS MINIMUM FOR REQUIRED MONITORING PER BUILDING CODE).

13.7.1.4.8.3 A MANUAL FIRE ALARM BOX SHALL BE PROVIDED QS FOLLOWS, UNLESS MODIFIED BY ANOTHER SECTION OF THIS CODE:
 (1) FOR NEW ALARM INSTALLATIONS, THE MANUAL FIRE ALARM BOX SHALL BE LOCATED WITHIN 5 FT OF EXIT DOORWAYS.
 (2) FOR EXISTING ALARM SYSTEM INSTALLATIONS, THE MANUAL FIRE ALARM BOX EITHER SHALL BE PROVIDED IN THE NATURAL EXIT PATH NEAR EACH REQUIRED EXIT OR WITHIN 5 FT OF EXIT DOORWAYS.

13.7.1.4.8.5* ADDITIONAL MANUAL FIRE ALARM BOXES SHALL BE LOCATED SO THAT, ON ANY GIVEN FLOOR IN ANY PART OF THE BUILDING, NO HORIZONTAL DISTANCE ON THAT FLOOR EXCEEDING 200 FEET (60 M) SHALL BE NEEDED TO BE TRAVERSED TO REACH A MANUAL FIRE ALARM BOX.

13.7.3.3.4 THE OPERABLE PART OF EACH MANUAL FIRE ALARM BOX SHALL BE ACCESSIBLE, UNOBSTRUCTED, AND VISIBLE.
 13.7.3.3.4 THE OPERABLE PART OF EACH MANUAL FIRE ALARM BOX SHALL BE NOT LESS THAN 42IN. AND NOT MORE THAN 48 IN. ABOVE FLOOR LEVEL.

13.7.3.3.6 MANUAL FIRE ALARM BOXES SHALL BE LOCATED WITHIN 60IN. OF THE EXIT DOORWAY OPENING AT EACH EXIT ON EACH FLOOR. THE LOCATION OF THE MANUAL FIRE ALARM BOX MAY BE MODIFIED BY THE AHJ.

13.7.3.2.1 APPROVAL AND ACCEPTANCE.
 13.7.3.2.1.2 BEFORE REQUESTING FINAL APPROVAL OF THE INSTALLATION, IF REQUIRED BY THE AHJ, THE INSTALLING CONTRACTOR SHALL FURNISH A WRITTEN STATEMENT STATING THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH APPROVED PLANS AND TESTED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS AND THE APPROPRIATE NFPA REQUIREMENTS.
 13.7.3.2.1.3* THE RECORD COMPLETION FORM, FIGURE 10.18.2.1.1 OF NFPA 72, SHALL BE PERMITTED TO BE PART OF THE WRITTEN STATEMENT REQUIRED IN 13.7.3.2.1.3. WHEN MORE THAN ONE CONTRACTOR HAS BEEN RESPONSIBLE FOR THE INSTALLATION, EACH CONTRACTOR SHALL COMPLETE THE PORTION OF THE FORM FOR WHICH THAT CONTRACTOR HAD RESPONSIBILITY.

FIRE ALARM AUDIBILITY/VISIBILITY
 FIRE ALARM AUDIBILITY/VISIBILITY REQUIREMENTS WILL BE TESTED IN ALL OCCUPIABLE SPACES WITH DOORS IN THE CLOSED POSITION. ENSURE THAT SUFFICIENT DEVICES ARE PROVIDED TO MEET REQUIREMENT. VISIBLE DEVICES SHOULD ALSO BE LOCATED IN ALL OCCUPIABLE AREAS, UNLESS THE EFFECTS OF DIAGRAMMED VISUAL DEVICES CAN BE SEEN FROM THE OCCUPIABLE SPACE. IN SUCH CASES, NO VISIBLE DEVICES NEED TO BE INSTALLED. SEE 13.7.1.4.10.5.

RETENTION OF PLANS
 18-5.2 RETENTION OF PLANS
 ONE SET OF APPROVED PLANS, SPECIFICATIONS, AND COMPUTATIONS SHALL BE RETAINED BY THE BUILDING OFFICIAL FOR A PERIOD OF NOT LESS THAN 90 DAYS FROM DATE OF COMPLETION OF THE WORK COVERED THEREIN, AND ONE SET OF APPROVED PLANS SHALL BE RETURNED TO THE APPLICANT, AND SAID SET SHALL BE KEPT ON THE SITE OF THE BUILDING OR WORK AT ALL TIMES DURING WHICH THE WORK AUTHORIZED THEREBY IS IN PROGRESS. (SEC 18-5.2 R.O. 1978 (1983 ED.); AM. ORD. 93-50).

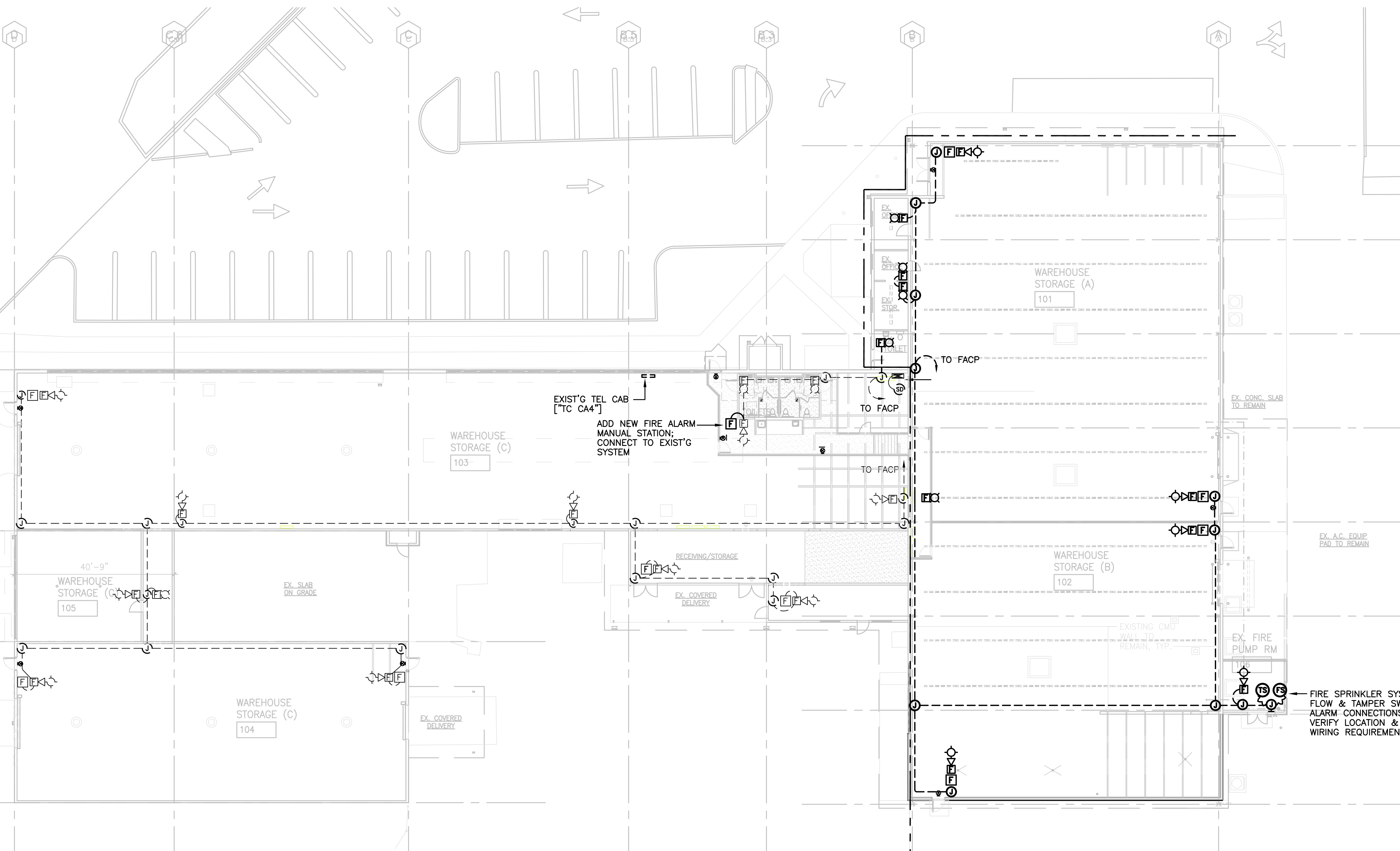
FIRE SAFETY NOTE
 STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND THIS CHAPTER. 2012 NFPA 1.

FIRE SAFETY DURING ALTERATIONS
 16.4.4.1 WHERE THE BUILDING IS PROTECTED BY FIRE PROTECTION SYSTEMS, SUCH SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING ALTERATIONS.
 16.4.4.2 WHERE ALTERATION REQUIRES MODIFICATION OF A PORTION OF THE FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE AND THE FIRE DEPARTMENT SHALL BE NOTIFIED.
 16.4.4.3 WHEN IT IS NECESSARY TO SHUT DOWN THE SYSTEM, THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE ALTERNATE MEASURES OF PROTECTION UNTIL THE SYSTEM IS RETURNED TO SERVICE.
 10.8.1.1 AS NECESSARY DURING EMERGENCIES, MAINTENANCE, DRILLS, PRESCRIBED TESTING, ALTERATIONS, OR RENOVATIONS, PORTABLE OR FIXED FIRE EXTINGUISHING SYSTEMS OR DEVICES OR ANY FIRE-WARNING SYSTEM SHALL BE PERMITTED TO BE MADE INOPERATIVE OR INACCESSIBLE. A FIRE WATCH SHALL BE REQUIRED AS SPECIFIED IN SECTIONS 13.3.4.3.5.2(3), 13.7.1.4.4, 16.5.4.20.2.3.6, 34.6.3.3, 41.2.2.5, 41.2.2.6, 41.2.4, 41.3.4, 41.4.1, 34.5.4.3, AND 25.1.8 AND AT NO COST TO THE AHJ. NFPA 1 2006, AS AMENDED.
 13.1.9 WHEN A FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR MORE THAN 4 HOURS IN A 24-HOUR PERIOD, THE AHJ SHALL BE PERMITTED TO REQUIRE THE BUILDING TO BE EVACUATED OR AN APPROVED FIRE WATCH TO BE PROVIDED FOR ALL PORTIONS LEFT UNPROTECTED BY THE FIRE PROTECTION SYSTEM SHUT-DOWN UNTIL THE FIRE PROTECTION SYSTEM HAS BEEN RETURNED TO SERVICE.

- LEGEND**
- AUDIBLE/VISUAL ALARM +80" TO BOTTOM OF DEVICE
 - VISUAL ALARM (STROBE) +80" TO BOTTOM OF DEVICE
 - FIRE SPRINKLER FLOW SWITCH CONNECTION
 - FIRE SPRINKLER TAMPER SWITCH CONNECTION
 - SMOKE DETECTOR (PHOTOELECTRIC) (ABOVE FACP)
 - MANUAL (PULL) STATION, + 48" TO TOP OF OPERATING HANDLE
 - (EX) = EXISTING

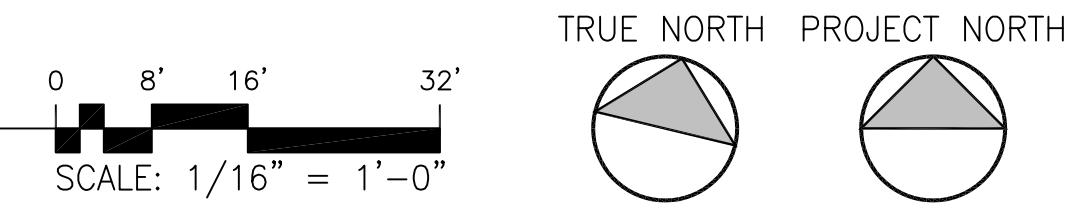
B FIRE ALARM DIAGRAM - NEW

SCALE: NONE



A FIRE ALARM PLAN - NEW

SCALE: 1/16" = 1'-0"



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Daniel D...
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REVISION MARK	DATE	DESCRIPTION

PROPOSED
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
 91-1049 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

SHEET TITLE
 FIRE ALARM PLAN - NEW
 FIRE ALARM DIAGRAM
 FIRE ALARM NOTES

JOB NO. 20007-0100	DRAWING NO.
DRAWN MS	
CHECKED DRA	
DATE JUNE 2021	SHEET OF

PANEL TA		208Y/120 VOLTS 3 PHASE 4 WIRE			
TYPE INDUSTRIAL BOLTED		10 KAIC, MIN. BREAKERS			
400A BUS		NOTE:			
3P300A MAIN BREAKER		<input checked="" type="checkbox"/> GROUND KIT <input type="checkbox"/> FLUSH MOUNTING <input type="checkbox"/> SURFACE			
CKT	LOAD	BKR	WIRE SIZE	LOAD	CKT
1	LIGHTS	20A	10	LIGHTS	2
3	LIGHTS	20A	10	LIGHTS	4
5	LIGHTS	20A	10	SPARE	6
7	SPARE	20A	10	SPARE	8
9	SPARE	20A	10	SPARE	10
11	SPARE	20A	10	SPARE	12
13	OUTLETS	20A	12	OUTLETS	14
15	OUTLETS	20A	12	OUTLETS	16
17	P F B	1 P	12	OUTLETS - STORAGE	18
19	P F B	1 P		P F B	20
21	P F B	1 P		P F B	22
23	P F B	1 P		P F B	24
25	P F B	1 P		P F B	26
27	P F B	1 P		P F B	28
29	P F B	1 P		OUTLET @ ACCU	30
31	AHU - 2 (EXISTING)	3 P	1.0	8	32
33	VERIFY EXIST CONDITIONS & WIRING REQUIREMENTS	20A	3.0	3 P 60A ACCU - 2	34
35		20A	3.0	8	36
37	AHU - 3 (EXISTING)	3 P	1.0	8	38
39	VERIFY EXIST CONDITIONS & WIRING REQUIREMENTS	20A	3.0	3 P 60A ACCU - 3	40
41		20A	3.0	8	42
TOTAL KVA/PHASE		9.3		CONN LOAD DEM FAC DEM LOAD	27.9 0.9 25.1

(*) = VERIFY EXISTING CONDITIONS & WIRING REQUIREMENTS

NEW PANEL NOTE:
 PROVIDE ARC FLASH HAZARD WARNING SIGN ON PANEL COVER PER NEC 110.16. SEE EXAMPLE BELOW:

WARNING
 Arc Flash Hazard. Appropriate PPE Required. Failure To Comply Can Result in Death or Injury. Refer to NFPA 70.

PANEL TB		208Y/120 VOLTS 3 PHASE 4 WIRE			
TYPE INDUSTRIAL BOLTED		10 KAIC, MIN. BREAKERS			
400A BUS		NOTE:			
3P300A MAIN BREAKER		<input checked="" type="checkbox"/> GROUND KIT <input type="checkbox"/> FLUSH MOUNTING <input checked="" type="checkbox"/> SURFACE			
CKT	LOAD	BKR	WIRE SIZE	LOAD	CKT
1	LIGHTS	20A	10	LIGHTS	2
3	LIGHTS	20A	10	SPARE	4
5	LIGHTS	20A	10	SPARE	6
7	SPARE	20A		SPARE	8
9	SPARE	20A		SPARE	10
11	SPARE	20A		SPARE	12
13	OUTLETS	20A	12	OUTLETS	14
15	OUTLETS	20A	12	OUTLETS	16
17	P F B	1 P	12	OUTLETS	18
19	P F B	1 P		P F B	20
21	P F B	1 P		P F B	22
23	P F B	1 P		P F B	24
25	P F B	1 P		P F B	26
27	P F B	1 P		P F B	28
29	P F B	1 P		P F B	30
31	P F B	1 P		P F B	32
33	P F B	1 P		P F B	34
35	P F B	1 P	0.5	12 20A OUTLET @ ACCU	36
37			1.0	6	38
39	AHU - 1 (EXISTING)	3 P	1.0	3 P 70A ACCU - 1	40
41	VERIFY EXIST CONDITIONS & WIRING REQUIREMENTS	20A	5.0	6	42
TOTAL KVA/PHASE		7.4		CONN LOAD DEM FAC DEM LOAD	21.3 0.9 19.2

(*) = VERIFY EXISTING CONDITIONS & WIRING REQUIREMENTS

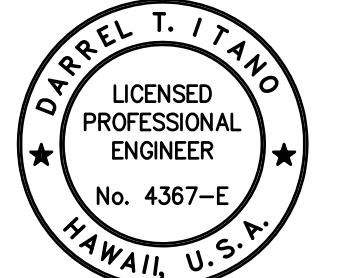
PANEL H [EXISTING]		208Y/120 VOLTS 3 PHASE 4 WIRE			
TYPE INDUSTRIAL BOLTED		10 KAIC, MIN. BREAKERS			
225A BUS		NOTE: ALL BREAKER EXISTING UNLESS NOTED			
225A MAIN LUGS ONLY		<input checked="" type="checkbox"/> GROUND KIT <input type="checkbox"/> FLUSH MOUNTING <input checked="" type="checkbox"/> SURFACE			
CKT	LOAD	BKR	WIRE SIZE	LOAD	CKT
1	FIRE ALARM [FACP]	20A	E	LIGHTS - NL	2
3	LIGHTS - RESTROOM	20A	E	LIGHTS - CL	4
5	LIGHTS - MECH RM.	20A	12	SPARE	6
7	P F B	1 P	0.8	P F B	8
9	P F B	1 P		P F B	10
11	P F B	1 P		P F B	12
13	P F B	1 P		P F B	14
15	P F B	1 P		P F B	16
17	P F B	1 P		P F B	18
19	P F B	1 P		P F B	20
21	P F B	1 P		P F B	22
23	P F B	1 P		P F B	24
TOTAL KVA/PHASE		3.5		CONN LOAD DEM FAC DEM LOAD	9.8 1.0 9.8

E = EXISTING LOAD (WIRING)
 (1) = PROVIDE NEW BREAKER IN EXISTING SPACE

PALEKANA PERMITS
 THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

DRA Architecture LLC
 ARCHITECTURE DESIGN INTERIORS
 905 MAKAAHIKI WAY, MAUKA SUITE
 HONOLULU, HAWAII 96826
 (808) 292-6287

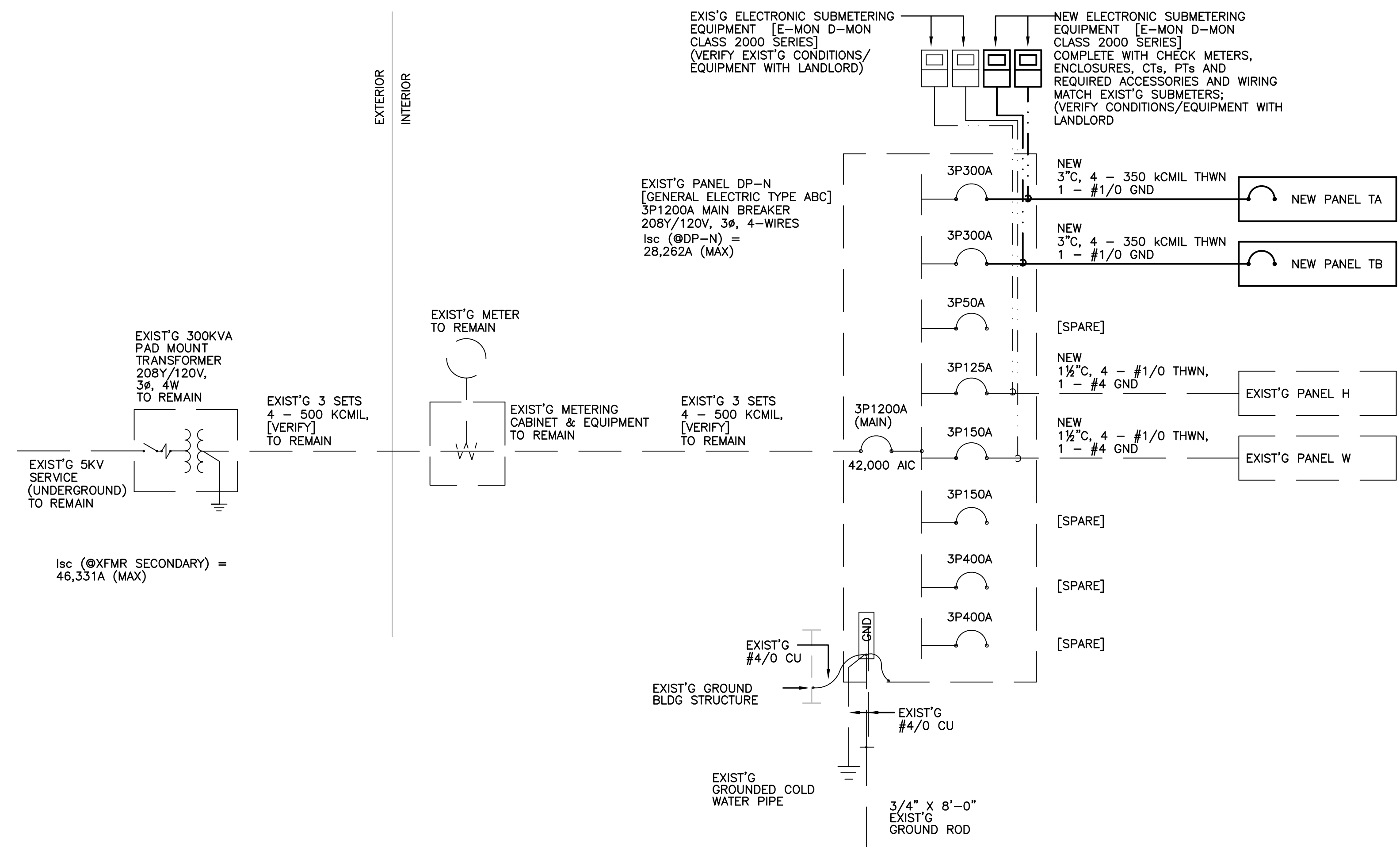


THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION AS DEFINED IN CHAPTER 16-115 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS. ENTITLED PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS.

LICENSE EXPIRES: 30 APRIL 2024

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SHORT CIRCUIT CALCULATION (Point-to-Point Method)

POINT #1 (EXIST'G HECO TRANSFORMER)
 Transformer:
 KVA: 300.0
 Primary Volts: 4,160.0
 Secondary Volts: 208.0
 Phase: 3.0
 %Z: 2.0

$I[FLA] = (KVA * 1000) / (E[L-L] * 1.732)$ $I[FLA] = 833.3$
 $MULTIPLIER = 100 / \sqrt{2} * .9$ multiplier = 50.0 note: 0.9 [safety factor, if used]
 $M = 100 / (2 * 0.9) = 55.6$
 $I[sc] = I[FLA] * M$
 $I[sc] = 46,331.5A$ at XFMR <=

POINT #2 (MAIN BREAKER)
 L = Feeder Length (ft) 260
 C = Conductor Constant 500 MCM [C=22185]
 n = Conductors per Phase 3 SET 500 MCM
 I [L-L-L] = Available SC at Start of Circuit At XFMR

T FACTOR = $(1.732 * L * I[L-L-L]) / (C * n * E[L-L])$ $[F = 0.638 C = 22185]$
 $F = 1.51$
 $M = 1 / (1+F)$
 $M = 0.398$
 $I[FLA] = I[sc] * M$
 $I[sc] = 18,440.0A$ at 3P1200A MAIN BREAKER <=

POINT #3 (EXIST'G PANEL H & EXIST'G PANEL W)
 L = Feeder Length (ft) 80
 C = Conductor Constant #1/0 AWG [C=8,925]
 n = Conductors per Phase 1 SET
 I [L-L-L] = Available SC at Start of Circuit POINT #2 (18,440.0A)

T FACTOR = $(1.732 * L * I[L-L-L]) / (C * n * E[L-L])$
 $F = 1.38$
 $M = 1 / (1+F)$
 $M = 0.418$
 $I[FLA] = I[sc] * M$
 $I[sc] = 7,709.0$ at PANEL W (PANEL H SIMILAR) <=

POINT #4 (NEW PANEL TA & NEW PANEL TB)
 L = Feeder Length (ft) 80
 C = Conductor Constant 350 MCM [C=18,177]
 n = Conductors per Phase 1 SET
 I [L-L-L] = Available SC at Start of Circuit POINT #3 (18,440.0A)

T FACTOR = $(1.732 * L * I[L-L-L]) / (C * n * E[L-L])$
 $F = 0.675$
 $M = 1 / (1+F)$
 $M = 0.587$
 $I[FLA] = I[sc] * M$
 $I[sc] = 10,456.0A$ at NEW PANEL TA AND NEW PANEL TB <=

A SINGLE LINE DIAGRAM
 SCALE: NONE

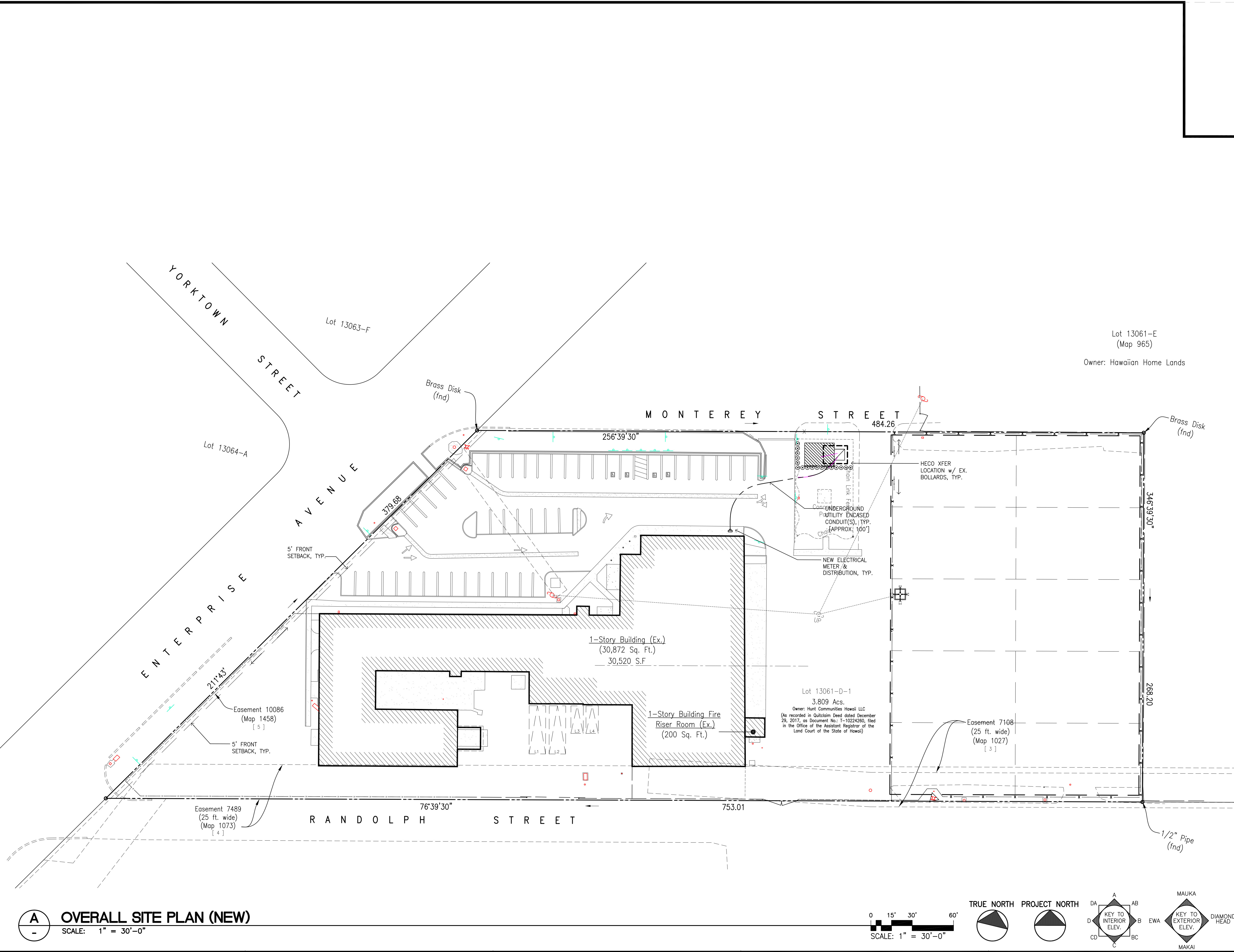
07/01/2022 TPR/FIRE COMMENTS
07/01/2022 RFI COORD/OWNER REV'S
 REVISION MARK DATE DESCRIPTION

PROPOSED
PARCEL 10 BUILDING IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2]
 91-1049 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

SHEET TITLE
 SINGLE LINE DIAGRAM
 PANEL SCHEDULES
 FAULT CURRENT CALCULATIONS

JOB NO. 20007-0100 DRAWING NO. _____
 DRAWN MS _____
 CHECKED DI _____
 DATE JUNE 2021 SHEET OF _____

NAME: C:\Users\jvan\OneDrive - Seeds & Associates, Inc\Projects\DRAs\Projects\23005-0000\Hunt Co - Kaloana Parcel 10 Additional Services-SHPD-HCD\A001-0.dwg DATE: JUN 06, 2023 TIME: 11:36AM BY: DRA
 THIS DRAWING AND ANY INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. NO PART OF THIS DRAWING OR INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



DRA Architecture LLC
 ARCHITECTURE DESIGN INTERIORS
 905 MAKAHIKI WAY, MAUKA SUITE
 HONOLULU, HAWAII 96826
 (808) 292-6287

LICENSE EXPIRES: 30 APRIL 2024

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REVISION MARK	DATE	DESCRIPTION

PROJECT

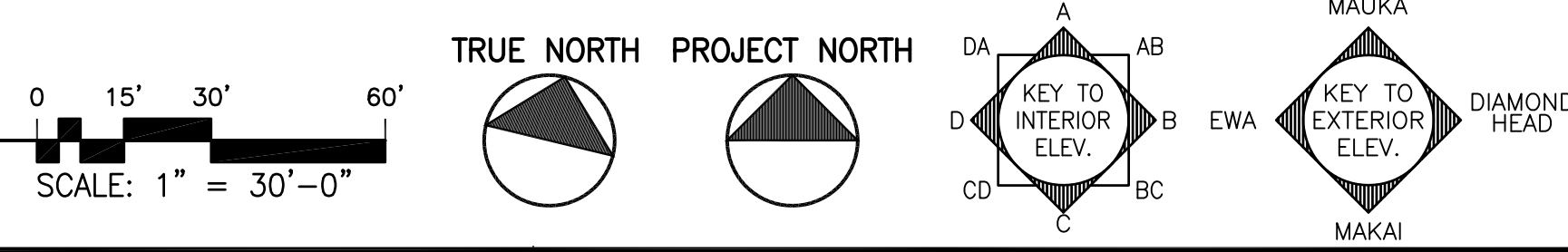
**SITE IMPROVEMENTS
 HUNT COMMUNITIES HAWAII**

91-1049 ENTERPRISE AVENUE
 KAPOLEI, OAHU, HAWAII 96707
 T.M.K.: 9-1-013: 097

OVERALL SITE PLAN NOTES

JOB NO. 23005-0000 DRAWING NO. _____
 DRAWN DRA
 CHECKED DRA
 DATE FEB 2023 SHEET OF _____

A OVERALL SITE PLAN (NEW)
 SCALE: 1" = 30'-0"



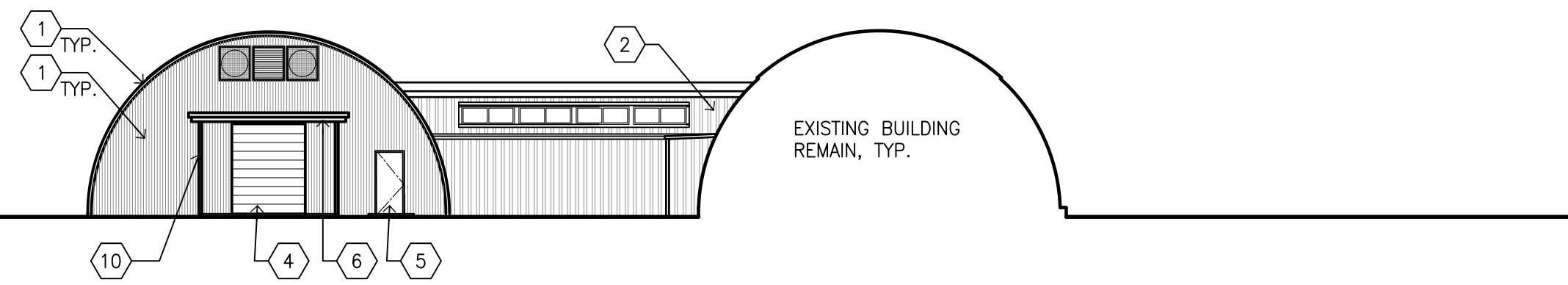
GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY AND NOTIFY ARCHITECT OF EXISTING DIMENSIONS OF PORTION OF BUILDING TO REMAIN. (I.E. - PLATE HEIGHT, ROOF PITCH, ETC.)
2. SEE CIVIL, MECH., ELEC. DWGS. FOR RESPECTIVE SCOPE OF WORK.
3. ALL UNDERGROUND UTILITIES (I.E. WATER, SEWER, ETC.) ARE EXISTING UNLESS NOTED OTHERWISE. SEE CIVIL DWGS. FOR COORDINATION.
4. ASBESTOS ABATEMENT WILL BE REQUIRED. CONTRACTOR SHALL PROVIDE WRITTEN PLAN FOR ABATEMENT WORK TO OWNER'S ENVIRONMENTAL CONSULTANT OR ITS CERTIFIED INDUSTRIAL HYGIENIST PRIOR TO COMMENCEMENT OF WORK.
5. LEAD PAINT ABATEMENT MAY BE REQUIRED. COORDINATE WITH LANDLORD. CONTRACTOR SHALL PROVIDE WRITTEN PLAN FOR ABATEMENT WORK TO OWNER'S ENVIRONMENTAL CONSULTANT OR ITS CERTIFIED INDUSTRIAL HYGIENIST PRIOR TO COMMENCEMENT OF WORK.
6. POWERWASH/PREP ENTIRE EXTERIOR OF BUILDING FOR NEW PAINT FINISH THROUGHOUT, TYP.

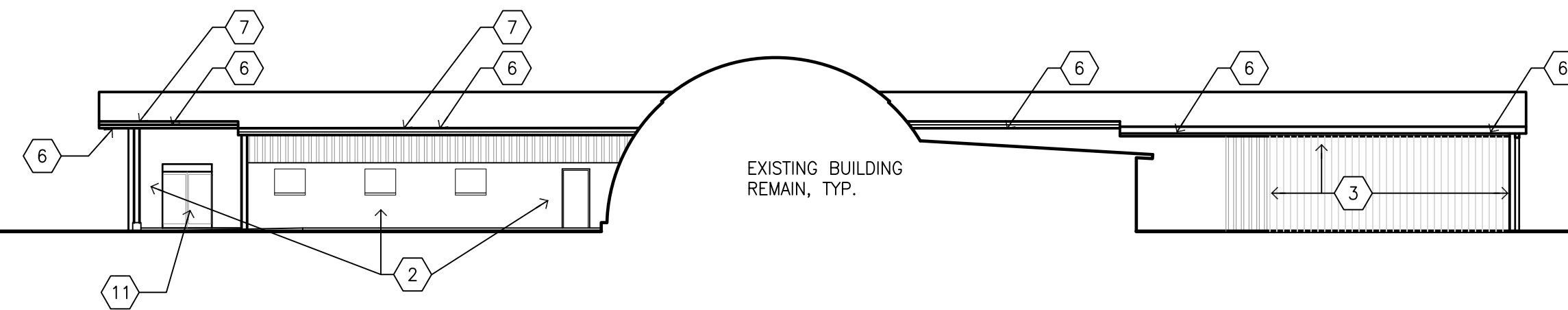
SHEET KEYNOTES: ①

GENERAL: ALL EXTERIOR SURFACES SHALL RECEIVE NEW PAINT FINISH, TYP.

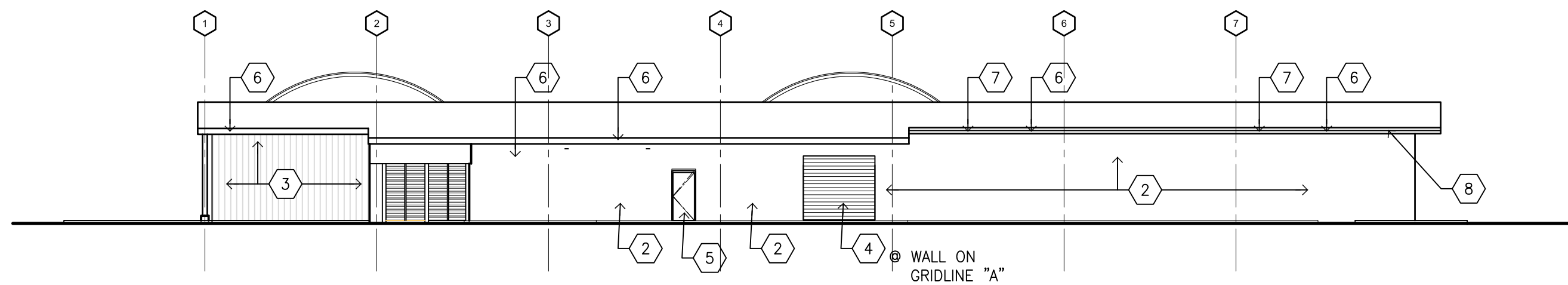
1. EXISTING BARREL-SHAPE BUILDING TO BE CLEANED/PREPARED FOR NEW PAINT FINISH, TYP.
2. EXISTING BUILDING WALL (SIDING/CMU/WOOD) TO BE CLEANED/PREPARED FOR NEW PAINTING FINISH, TYP.
3. NEW EXTERIOR BUILDING WALL (SIDING TO MATCH EXISTING BUILDING) w/ PAINT FINISH, TYP.
4. NEW ROLL-UP DOOR w/ PAINT FINISH, TYP.
5. NEW DOOR w/ PAINT FINISH, TYP.
6. EXISTING FASCIA AND UNDERSIDE OF EAVES TO BE CLEANED/PREPARED FOR NEW PAINTING FINISH. (PATCH/REPAIR AREAS w/ +80% DETERIORATED MEMBERS AFTER CONSULTING w/ LANDLORD/OWNER), TYP.
7. EXISTING GUTTER SYSTEM TO BE CLEANED/PREPARED FOR NEW PAINT FINISH. (REPAIR/REPLACE AREAS w/ +80% DETERIORATED MEMBERS AFTER CONSULTING w/ LANDLORD/OWNER)
8. ADD/REPLACE MISSING GUTTER AND TIE-IN TO EXISTING. MATCH NEW PAINT COLOR. (VERIFY LENGTH)
9. EXISTING METAL LOUVERS - PATCH/REPAIR/REPLACE DAMAGED LOUVERS TO MATCH EXISTING. PROVIDE NEW PAINT FINISH, TYP.
10. EXISTING BUILDING COLUMNS/FRAMING TO RECEIVE NEW PAINT FINISH, TYP.
11. EXISTING EXTERIOR DOORS TO RECEIVE NEW PAINT FINISH, TYP.
12. EXISTING LIGHT FIXTURES TO BE REPLACED, TYP.



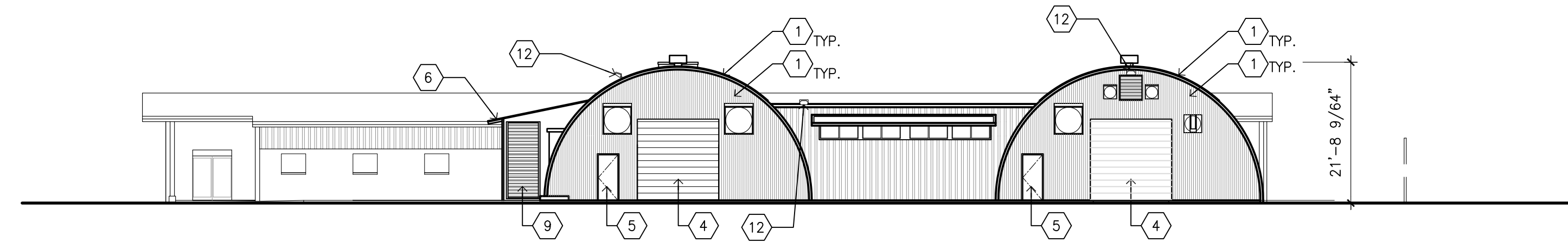
DIAMOND HEAD ELEVATION (FROM INTERIOR YARD)



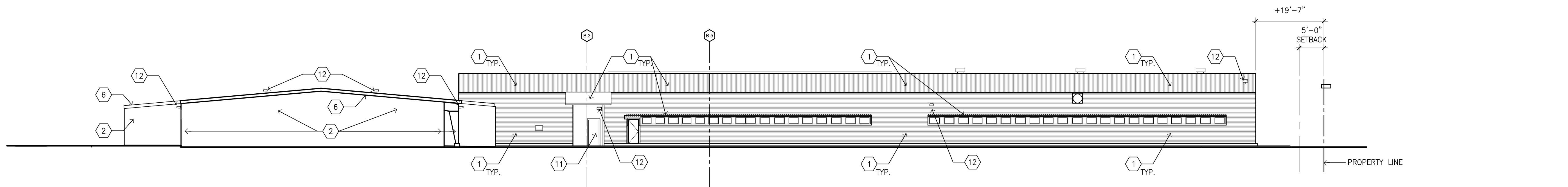
EWA ELEVATION (FROM INTERIOR YARD)



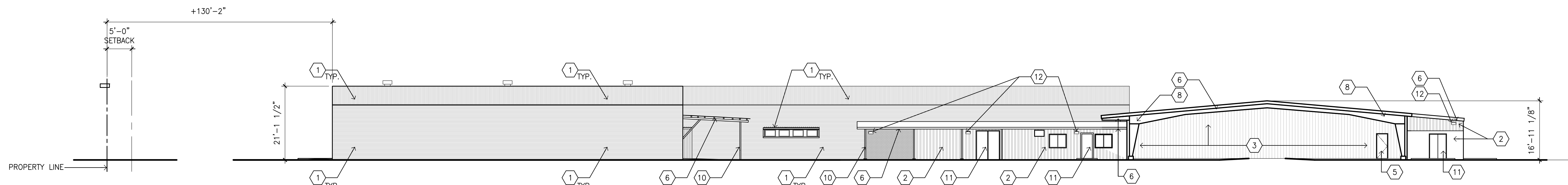
DIAMOND HEAD ELEVATION



EWA ELEVATION (FROM ENTERPRISE STREET)



MAUKA ELEVATION (FROM MONTEREY STREET)



MAKAI ELEVATION (FROM RANDOLPH STREET)

DRA
Architecture LLC
ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287



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LICENSE EXPIRES: 30 APRIL 2024

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REVISION MARK • DATE • DESCRIPTION

PROJECT

**SITE IMPROVEMENTS
HUNT COMMUNITIES
HAWAII**

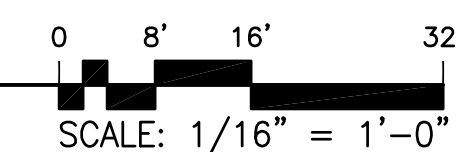
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE

EXTERIOR ELEVATIONS

JOB NO. 23005-0000 DRAWING NO.
DRAWN DRA
CHECKED DRA
DATE FEB 2023 SHEET OF

A EXISTING/DEMO EXTERIOR ELEVATIONS
SCALE: 1/16" = 1'-0"



NAME: C:\Users\jvan\OneDrive - Seeds & Associates, Inc\Projects\DRA\Projects\20205-0000 Hunt Co - Kaloanua Parcel 10 Additional Services-SHPD-HCD\A004-0.dwg DATE: JUN 06, 2023 TIME: 11:37AM BY: DRA

INDEX OF DRAWINGS	
SHT. NO.	DESCRIPTION
EA-01	TITLE SHEET
EA-02	ELECTRICAL SYMBOL LIST, NOTES & EQUIPMENT SCHEDULE
EA-03	ELECTRICAL SITE PLAN
EA-04	HECO NOTES 1
EA-05	HECO NOTES 2 & HTCO NOTES
EA-06	CONSTRUCTION NOTES
EB-01	ELECTRICAL SITE PLAN
ED-01	GENERAL DUCT SECTION NOTES, CONDUIT SCHD & BACKFILL DETAILS
ED-02	TYPICAL DUCT SECTION DETAILS
ED-03	ELECTRICAL EQUIPMENT PLAN, TRANSFORMER PAD & BOLLARD DETAILS
ED-04	HECO & HTCO MANHOLE BUTTERFLY DIAGRAMS I

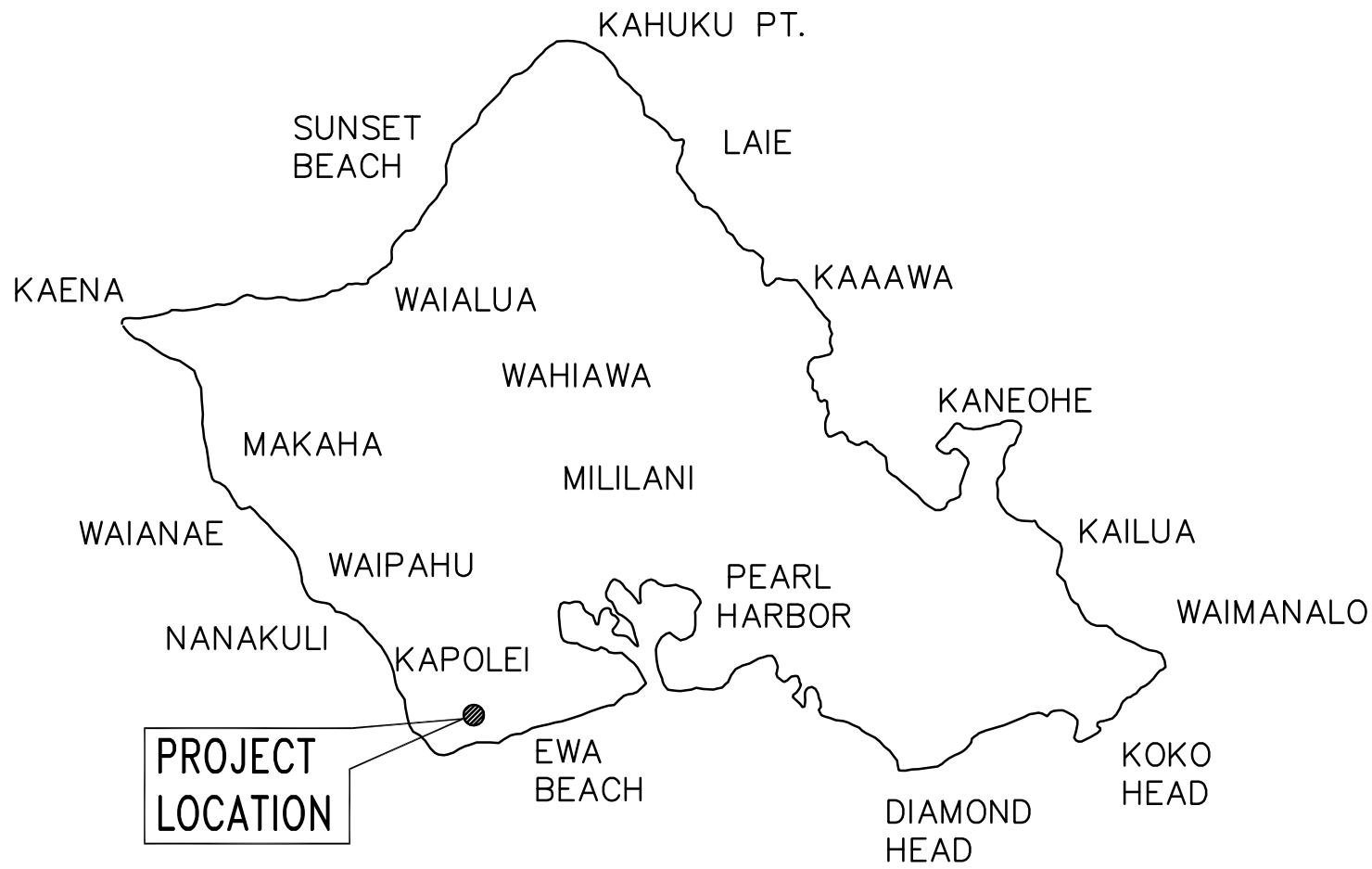
PARCEL 10 BUILDING IMPROVEMENTS

91-1049 ENTERPRISE STREET
 KAPOLEI, OAHU, HAWAII, 96707
 KALAELOA, BARBER'S POINT
 TMK NO.: 9-1-013: 097

PREPARED BY:
 RONALD N.S. HO & ASSOCIATES, INC. ELECTRICAL ENGINEERS
 R.M. TOWILL CORPORATION CIVIL ENGINEERS
 PREPARED FOR:
 HUNT COMMUNITIES HAWAII, LLC



NORTH
LOCATION MAP
 NOT TO SCALE



NORTH
ISLAND MAP
 NOT TO SCALE

LIST OF ABBREVIATIONS			
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRAFFIC OFFICIALS	MIN	MINIMUM
AC	ASPHALT CONCRETE	MTD	MOUNTED
APPROX	APPROXIMATE OR APPROXIMATELY	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NIC	NOT IN CONTRACT
BMP	BEST MANAGEMENT PRACTICES	NTS	NOT TO SCALE
C	CONDUCTOR OR CONDUIT	O.C.	ON CENTER
C&C	CITY AND COUNTY	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
CAB	CABINET	PAVT	PAVEMENT
CATV	CABLE TELEVISION	PB	PULLBOX
COMM	COMMUNICATIONS	PL	PLACE
CONC	CONCRETE	PNL	PANEL
CONT	CONTINUED OR CONTINUOUS	PVC	POLYVINYL CHLORIDE
D	DRAIN	PVMT	PAVEMENT
DIA	DIAMETER	RD	ROAD
DIST	DISTRIBUTION OR DISTRICT	RENIF	REINFORCING
DOT	DEPARTMENT OF TRANSPORTATION	REQD	REQUIRED
DR	DRIVE	R.O.W.	RIGHT-OF-WAY
DTS	DEPARTMENT OF TRANSPORTATION SERVICES	S	SEWER
ELEC	ELECTRICAL	SCH	SCHEDULE
ENCL	ENCLOSURE	SHT	SHEET
EQ	EQUAL	SIG	SIGNAL
EQUIPT	EQUIPMENT	SL	STREET LIGHT
EXST	EXISTING	ST	STREET
FIN	FINISHED	STA	STATION
GALV	GALVANIZED	SPEC	SPECIFICATIONS
GND	GROUND	SS	STAINLESS STEEL
GRS	GALVANIZED RIGID STEEL	SW	SWITCH
HECO	HAWAIIAN ELECTRIC COMPANY	THK	THICK
HWY	HIGHWAY	TS	TRAFFIC SIGNAL
ID	IDENTIFICATION	TYP	TYPICAL
JB	JUNCTION BOX	UL	UNDERWRITERS LABORATORY
LT	LIGHT	V	VOLT
MAX	MAXIMUM	W	WATER OR WATT
		W/	WITH

REVISION	DATE	BRIEF	BY

RONALD N. S. HO & ASSOC., INC.
 Electrical Engineers

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THE PROJECT WILL BE UNDER MY OBSERVATION.

04/30/24
 EXPIRATION DATE OF THE LICENSE

KALAELOA PARCEL 10
 BUILDING 152

TITLE SHEET

ENGINEER: DN CHECKED BY: SS
 DRAFTSMAN: CAD DATE: 3/9/23

EQUIPMENT SCHEDULE

THE HAWAIIAN ELECTRIC Co. (HECO), HAWAIIAN TELCOM (HTCO) & PRIVATE AREA PULLBOXES, HANDHOLES, MANHOLES AND TRANSFORMER PAD LOTS SHALL BE CONSTRUCTED BY THE CONTRACTOR AS SHOWN IN THESE DRAWINGS & IN ACCORDANCE WITH THE FOLLOWING STANDARD DRAWINGS:

TYPE	DESCRIPTION
6' X 11' HECO MANHOLE LRFD	6' X 11' REINFORCED CONCRETE MANHOLE WITH TRAFFIC RATED COVER, PROVIDED IN ACCORDANCE WITH HECO STANDARD DRAWING NO. <u>734373</u> .
HECO TRANSFORMER PAD LOT 3 PHASE, 75-300 KVA	8'-0" X 7'-6" REINFORCED CONCRETE TRANSFORMER PAD, GROUND RODS, AND NECESSARY CLEAR SPACE, PER HECO STANDARD DRAWING NO. <u>30-5011</u> .
16'-10" X 21'-7" HECO AUTOMATIC SWITCHING EQUIPMENT PAD LOT	16'-10" X 21'-7" AUTOMATIC TRANSFER SWITCHING EQUIPMENT ENCLOSURE PAD LOT WITH REINFORCED CONCRETE PAD AND GROUND RODS, PER HECO STANDARD DRAWING NO. <u>30-5053</u> .
5' X 10'-6" HTCO MANHOLE LRFD	5' X 10'-6" X 6'-6" D PRECAST REINFORCED CONCRETE MANHOLE WITH TRAFFIC RATED FRAME AND COVER, AND GROUND ROD, PROVIDED IN ACCORDANCE WITH HTCO STANDARD DRAWING NO. <u>180016</u> .

NOTE:

IF DUCTS ENTER HANDHOLE/MANHOLE OUTSIDE OF THE APPROVED HANDHOLE/MANHOLE WINDOW, SUBMIT THE HANDHOLE/MANHOLE SHOP DRAWING TO THE RESPECTIVE UTILITY COMPANY FOR APPROVAL.

HECO HANDHOLES & MANHOLES SIZED 3'X5' AND LAGER SHALL BE REVIEWED BY HECO PRIOR TO ORDERING AND FABRICATION.

GENERAL ELECTRICAL NOTES

- ALL WORK SHALL BE NEW UNLESS INDICATED OTHERWISE.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS ARE FROM EXISTING RECORDS AND ARE APPROXIMATIONS ONLY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CONSTRUCTION CROSSES OR IS IN CLOSE PROXIMITY TO EXISTING UNDERGROUND UTILITIES. DAMAGES TO UTILITY COMPANIES' EXISTING FACILITIES SHALL BE REPAIRED BY THE RESPECTIVE UTILITY COMPANY AND REPAIR COSTS SHALL BE PAID BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL EXST CONDITIONS. CONTRACTOR SHALL VERIFY EXST CIRCUIT WIRING PRIOR TO ANY DEMOLITION WORK.
- SAWCUTTING AND REPAIRING OF EXISTING A.C. AND CONCRETE PAVEMENT, A.C., CONCRETE, AND LAVA ROCK CURB, AND CONCRETE GUTTER WILL NOT BE PAID FOR SEPARATELY, BUT CONSIDERED INCIDENTAL TO THE VARIOUS CONTRACT ITEMS. REPAIRING OF A.C. PAVEMENT SHALL INCLUDE RESTORING PAVEMENT MARKINGS AND STRIPING. PAVEMENT MARKINGS AND STRIPING WILL NOT BE PAID FOR SEPARATELY, BUT CONSIDERED INCIDENTAL TO THE VARIOUS CONTRACT ITEMS.
- REPLANTING GRASS AND PROVIDING TOPSOIL THAT WAS DISTURBED BY TRENCH EXCAVATION WILL NOT BE PAID FOR SEPARATELY, BUT CONSIDERED INCIDENTAL TO THE VARIOUS CONTRACT ITEMS.
- IRRIGATION THAT WAS DISTURBED BY TRENCH EXCAVATION WILL NOT BE PAID FOR SEPARATELY, BUT CONSIDERED INCIDENTAL TO THE VARIOUS CONTRACT ITEMS.

ELECTRICAL SYMBOL LIST

SYMBOL	DESCRIPTION
	HECO 6' X 14' MANHOLE
	HECO SWITCHPAD, PME-9 AUTO SEE DETAIL A/ED-03
	HECO 3-PHASE PADMOUNT TRANSFORMER, UNLESS OTHERWISE STATED SEE DETAIL B/ED-03
	HTCO 5' X 10' MANHOLE
	EXIST NAVY 4' X 6' MANHOLE
	EXIST UTILITY POLE
	EXIST ANCHOR
	EXIST OVERHEAD NAVY CONDUCTORS
	EXIST UNDERGROUND HECO LINE
	EXIST UNDERGROUND HTCO LINE
	EXIST UNDERGROUND CATV LINE
	EXIST UNDERGROUND NAVY LINE
	EXIST UNDERGROUND SERVICE LINE
	ELECTRIC/SIGNAL DUCTLINE WITH DESIGNATORS; INDICATES TYPE "A" DUCT SECTION WITH "2-5E" DUCTS. SEE SHEET ED-01 & ED-02 FOR DUCT SECTIONS AND ED-01 CONDUIT SCHEDULES. DASH LINES INDICATE EXISTING.
	STUB, CAP, & MARK CONDUIT(S) WITH CONCRETE MARKER, SEE SHEET ED.01
	SAWCUT EXST. A.C. PAVEMENT, CONC. SIDEWALK, CURB & GUTTER PRIOR TO TRENCH EXCAVATION. RESTORE SUBBASE, BASECOURSE, PAVEMENT, CONC. SIDEWALK, CURB & GUTTER PER CITY REQUIREMENTS, THICKNESS SHALL MATCH EXST ROAD DESIGN
	NOTE SYMBOL, SEE PLAN FOR NOTES
	EXIST METERING EQUIPMENT
	CONCRETE STUB OUT MARKER, SEE SHEET ED.01
<p>NOTE(S):</p> <ol style="list-style-type: none"> SOLID ITEM DENOTES "NEW"; DASHED ITEM DENOTES "EXISTING". "X" THRU DASHED ITEM DENOTES "EXISTING ITEM TO BE REMOVED". 	

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DRAWING REVIEW

Reviewed for Hawaiian Electric Company Facilities Only
Req# _____ By _____ Date _____
Customer Installations Department
Hawaiian Electric

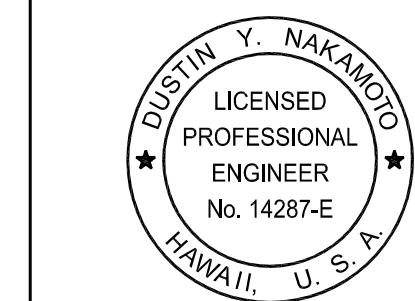
Hawaiian Electric's review of these drawings shall in no way relieve the Customer, its Consultant, its Contractor or anyone acting on the Customer's behalf from the responsibility for engineering, design, materials and any other liability associated with this project including revisions made beyond the reviewed date.

APPROVED BY

HAWAIIAN TELCOM _____ DATE _____

CHIEF, CIVIL ENGINEERING BRANCH
DEPT. OF PLANNING & PERMITTING
CITY & COUNTY OF HONOLULU _____ DATE _____

RONALD N. S. HO & ASSOC., INC.
Electrical Engineers



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THE PROJECT WILL BE UNDER MY OBSERVATION.

04/30/24
EXPIRATION DATE OF THE LICENSE

REVISION	DATE	BRIEF	BY

KALELOA PARCEL 10
BUILDING 152

ELECTRIC SYMBOLS, GENERAL NOTES
AND EQUIPMENT SCHEDULE

ENGINEER: DN CHECKED BY: SS
DRAFTSMAN: CAD DATE: 3/9/23

1. LOCATION OF HAWAIIAN ELECTRIC FACILITIES

THE LOCATION OF HAWAIIAN ELECTRIC'S OVERHEAD AND UNDERGROUND FACILITIES SHOWN ON THE PLANS ARE FROM EXISTING RECORDS WITH VARYING DEGREES OF ACCURACY AND ARE NOT GUARANTEED AS SHOWN. THE CONTRACTOR SHALL VERIFY IN THE FIELD THE LOCATIONS OF THE FACILITIES AND SHALL EXERCISE PROPER CARE IN EXCAVATING AND WORKING IN THE AREA. WHEREVER CONNECTIONS OF NEW UTILITIES TO EXISTING UTILITIES AND UTILITY CROSSINGS ARE SHOWN, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS AND CROSSINGS TO VERIFY THE DEPTHS PRIOR TO EXCAVATION FOR THE NEW LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO HAWAIIAN ELECTRIC'S FACILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.

2. COMPLIANCE WITH HAWAII OCCUPATIONAL SAFETY AND HEALTH LAWS

THE CONTRACTOR SHALL COMPLY WITH THE STATE OF HAWAII'S OCCUPATIONAL SAFETY AND HEALTH LAWS AND REGULATIONS, INCLUDING WITHOUT LIMITATION, THOSE RELATED TO WORKING ON OR NEAR EXPOSED OR ENERGIZED ELECTRICAL LINES AND EQUIPMENT.

3. EXCAVATION CLEARANCE

THE CONTRACTOR SHALL OBTAIN AN EXCAVATION CLEARANCE FROM HAWAIIAN ELECTRIC'S PLANNING AND DESIGN SECTION OF THE TRANSMISSION & DISTRIBUTION ENGINEERING DEPARTMENT (543-5654) LOCATED AT 820 WARD AVENUE, 4TH FLOOR, A MINIMUM OF TEN (10) WORKING DAYS PRIOR TO STARTING CONSTRUCTION.

4. CAUTION!!! ELECTRICAL HAZARD!!!

EXISTING HAWAIIAN ELECTRIC OVERHEAD AND UNDERGROUND LINES ARE ENERGIZED AND WILL REMAIN ENERGIZED DURING CONSTRUCTION UNLESS PRIOR SPECIAL ARRANGEMENTS HAVE BEEN MADE WITH HAWAIIAN ELECTRIC. ONLY HAWAIIAN ELECTRIC PERSONNEL ARE TO HANDLE THESE ENERGIZED LINES AND ERECT TEMPORARY GUARDS TO PROTECT THESE LINES FROM DAMAGE. THE CONTRACTOR SHALL WORK CAUTIOUSLY AT ALL TIMES TO AVOID ACCIDENTS AND DAMAGE TO EXISTING HAWAIIAN ELECTRIC FACILITIES, WHICH CAN RESULT IN ELECTROCUTION.

5. OVERHEAD LINES

STATE LAW (OSHA) REQUIRES THAT A WORKER AND THE LONGEST OBJECT HE OR SHE MAY CONTACT CANNOT COME CLOSER THAN A SPECIFIED MINIMUM RADIAL CLEARANCE WHEN WORKING CLOSE TO OR UNDER ANY OVERHEAD LINES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE INFORMED OF AND COMPLY WITH THE LAW.

AT ANY TIME SHOULD THE CONTRACTOR ANTICIPATE THAT HIS WORK WILL RESULT IN THE NEED TO ENCR OACH WITHIN THE MINIMUM REQUIRED CLEARANCE AS STATED IN THE LAW, THE CONTRACTOR SHALL NOTIFY HAWAIIAN ELECTRIC AT LEAST THREE (3) MONTHS PRIOR TO THE PLANNED ENCR OACHMENT SO THAT, IF FEASIBLE, THE NECESSARY PROTECTIONS (E.G. RELOCATE OR DE-ENERGIZE HAWAIIAN ELECTRIC LINES) CAN BE INVESTIGATED. HAWAIIAN ELECTRIC MAY ALSO BE ABLE TO BLANKET ITS DISTRIBUTION (12KV AND BELOW) LINES TO PROVIDE A VISUAL AID IN PREVENTING ACCIDENTAL CONTACT. HAWAIIAN ELECTRIC'S COST OF SAFEGUARDING OR IDENTIFYING ITS LINES WILL BE CHARGED TO THE CONTRACTOR.

CONTACT HAWAIIAN ELECTRIC'S CUSTOMER RELATIONS AT 543-7070 FOR ASSISTANCE IN IDENTIFYING AND SAFEGUARDING OVERHEAD POWER LINES.

6. POLE BRACING

a) CONTRACTOR SHALL NOT EXCAVATE WITHIN 10 FEET OF HAWAIIAN ELECTRIC'S UTILITY POLES OR ANY ANCHOR SYSTEM SUPPORTING THE UTILITY POLE. IF CONTRACTOR MUST EXCAVATE AN AREA MORE THAN 12 INCHES DEEP BY 12 INCHES WIDE, AND CLOSER THAN 10 FEET FROM A UTILITY POLE OR ITS ANCHOR SYSTEM, EXCEPT WHEN EXCAVATING FOR RISERS IN A SINGLE TRENCH NOT WIDER THAN 12 INCHES AND NOT DEEPER THAN 3 FEET, CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING, SUPPORTING, SECURING AND TAKING ALL PRECAUTIONS TO PREVENT DAMAGE TO OR LEANING OF EXISTING POLES. BEFORE COMMENCING SUCH EXCAVATION, CONTRACTOR MUST NOTIFY HAWAIIAN ELECTRIC WHICH MAY LEAD TO IMPLEMENTING POLE BRACING REQUIREMENTS. HAWAIIAN ELECTRIC REQUIRES A MINIMUM OF TEN (10) WORKING DAYS TO CONDUCT THE REVIEW OF CONTRACTOR'S SUBMITTAL. CONTRACTOR SHALL SUBMIT ITS BRACING CALCULATIONS AND DRAWINGS, PREPARED AND STAMPED BY A LICENSED STRUCTURAL ENGINEER, TO HAWAIIAN ELECTRIC'S CUSTOMER RELATIONS (543-7070) FOR REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND REMOVAL OF THE TEMPORARY POLE BRACING SYSTEM, AS WELL AS ALL COSTS INCURRED BY HAWAIIAN ELECTRIC TO REVIEW CONTRACTOR'S DRAWINGS AND TO REPAIR OR STRAIGHTEN POLES IMPACTED BY CONTRACTOR'S ACTIVITIES, INCLUDING RESPONSE AND RESTORATION COSTS INCURRED BY HAWAIIAN ELECTRIC ARISING OUT OF OR RELATED TO OUTAGES CAUSED BY CONTRACTOR'S FAILURE TO MEET THE FOREGOING REQUIREMENTS. HAWAIIAN ELECTRIC'S RECEIPT OF POLE BRACING CALCULATION OR DRAWING SUBMITTALS OF ANY CONTRACTOR, INCLUDING WORK PROCEDURE, SHALL NOT RELIEVE CONTRACTOR FROM ANY LIABILITY RESULTING FROM CONTRACTOR'S EXCAVATION NEAR OR AROUND HAWAIIAN ELECTRIC'S UTILITY POLES.

b) HAWAIIAN ELECTRIC MAY PROVIDE TO THE CUSTOMER INFORMATION RELATED TO POLE BRACING, INCLUDING CALCULATIONS AND OTHER BASIC ENGINEERING. HOWEVER, HAWAIIAN ELECTRIC PROVIDES THIS INFORMATION FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT WARRANT ANY OF THE INFORMATION PROVIDED TO CUSTOMER. HAWAIIAN ELECTRIC HEREBY DISCLAIMS ANY LIABILITY ASSOCIATED WITH THE

CUSTOMER'S USE OF INFORMATION PROVIDED TO THE CUSTOMER FROM HAWAIIAN ELECTRIC. IT IS THE CUSTOMER'S DUTY TO OBTAIN ENGINEERING FROM ITS OWN ENGINEER OR CONTRACTOR IN ORDER TO BRACE POLES AND THE USE OF HAWAIIAN ELECTRIC'S INFORMATION DOES NOT EXCUSE THE CUSTOMER FROM PERFORMING ITS OWN EVALUATION OF THE BRACING NEEDS. SHOULD THE CUSTOMER INSTALL BRACING AT ANY POLE LOCATION, CUSTOMER SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS HAWAIIAN ELECTRIC FROM ANY THIRD PARTY CLAIMS ASSOCIATED WITH THE CUSTOMER'S BRACING OF A POLE. SHOULD THE WORK CUSTOMER PERFORM AT OR NEAR THE POLE LOCATION COMPROMISE THE POLE OR ITS SURROUNDINGS IN ANY WAY, CUSTOMER SHALL RESTORE OR REPLACE THE POLE SO THAT IT IS NO LONGER COMPROMISED.

7. UNDERGROUND LINES

THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHENEVER CONSTRUCTION CROSSES OR IS IN CLOSE PROXIMITY OF UNDERGROUND LINES. HAWAIIAN ELECTRIC'S EXISTING ELECTRICAL CABLES ARE ENERGIZED AND WILL REMAIN ENERGIZED DURING CONSTRUCTION. ONLY HAWAIIAN ELECTRIC PERSONNEL ARE TO BREAK INTO EXISTING HAWAIIAN ELECTRIC FACILITIES, HANDLE THESE CABLES, AND ERECT TEMPORARY GUARDS TO PROTECT THESE CABLES FROM DAMAGE. THE COST OF HAWAIIAN ELECTRIC'S ASSISTANCE IN PROVIDING PROPER SUPPORT AND PROTECTION OF ITS UNDERGROUND LINES WILL BE CHARGED TO THE CONTRACTOR. FOR ASSISTANCE/COORDINATION IN PROVIDING PROPER SUPPORT AND PROTECTION OF THESE LINES, THE CONTRACTOR SHALL CALL HAWAIIAN ELECTRIC'S CUSTOMER RELATIONS AT 543-7070 A MINIMUM OF TEN (10) WORKING DAYS IN ADVANCE.

SPECIAL PRECAUTIONS ARE REQUIRED WHEN EXCAVATING NEAR HAWAIIAN ELECTRIC'S 138KV OR 46KV UNDERGROUND LINES (SEE HAWAIIAN ELECTRIC INSTRUCTIONS TO CONSULTANTS/CONTRACTORS ON "EXCAVATION NEAR HAWAIIAN ELECTRIC'S UNDERGROUND 138KV AND/OR 46KV LINES" FOR DETAILED REQUIREMENTS).

FOR VERIFICATION OF UNDERGROUND LINES, THE CONTRACTOR SHALL CALL THE HAWAII ONE CALL CENTER AT 866-423-7287 MINIMUM OF FIVE (5) WORKING DAYS IN ADVANCE.

8. UNDERGROUND FUEL PIPELINES

THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHENEVER CONSTRUCTION CROSSES OR IS IN CLOSE PROXIMITY OF HAWAIIAN ELECTRIC'S UNDERGROUND FUEL OIL PIPELINES. SPECIAL PRECAUTIONS ARE REQUIRED WHEN EXCAVATING NEAR HAWAIIAN ELECTRIC'S UNDERGROUND FUEL OIL PIPELINES (SEE HAWAIIAN ELECTRIC'S SPECIFIC FUEL PIPELINE "GUIDELINES" TO CONSULTANTS/CONTRACTORS ON EXCAVATION NEAR HAWAIIAN ELECTRIC'S UNDERGROUND FUEL PIPELINES FOR DETAILED REQUIREMENTS).

9. EXCAVATIONS

WHEN TRENCH EXCAVATION IS ADJACENT TO OR BENEATH HAWAIIAN ELECTRIC'S EXISTING STRUCTURES OR FACILITIES, THE CONTRACTOR IS RESPONSIBLE FOR:

- a) ARRANGING FOR HAWAIIAN ELECTRIC STANDBY PERSONNEL TO OBSERVE WORK AT CONTRACTOR'S COST.
- b) SHEETING, BRACING, OR OTHERWISE SUPPORTING THE EXCAVATION AND STABILIZING THE EXISTING GROUND TO RENDER IT SAFE AND SECURE AND TO PREVENT POSSIBLE SLIDES, CAVE-INS, AND SETTLEMENTS.
- c) PROPERLY SUPPORTING EXISTING STRUCTURES OR FACILITIES WITH BEAMS, STRUTS, UNDER-PINNINGS, OR OTHER NECESSARY METHODS TO FULLY PROTECT IT FROM DAMAGE.
- d) BACKFILLING WITH PROPER BACKFILL MATERIAL INCLUDING SPECIAL THERMAL BACKFILL WHERE EXISTING (REFER TO ENGINEERING DIVISION FOR THERMAL BACKFILL SPECIFICATIONS).

10. RELOCATION OF HAWAIIAN ELECTRIC FACILITIES

ANY WORK REQUIRED TO RELOCATE OR MODIFY HAWAIIAN ELECTRIC FACILITIES SHALL BE DONE BY HAWAIIAN ELECTRIC, OR BY THE CONTRACTOR UNDER HAWAIIAN ELECTRIC'S SUPERVISION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, AND SHALL PROVIDE NECESSARY SUPPORT FOR HAWAIIAN ELECTRIC'S WORK, WHICH MAY INCLUDE, BUT NOT BE LIMITED TO, STAKING OF POLE/ANCHOR LOCATIONS, IDENTIFYING RIGHT OF WAY AND PROPERTY LINES, EXCAVATION AND BACKFILL, PERMITS AND TRAFFIC CONTROL, BARRICADING, AND RESTORATION OF PAVEMENT, SIDEWALKS, AND OTHER FACILITIES.

ALL COSTS ASSOCIATED WITH ANY RELOCATION OR MODIFICATION (EITHER TEMPORARY OR PERMANENT) FOR THE CONVENIENCE OF THE CONTRACTOR, OR TO ENABLE THE CONTRACTOR TO PERFORM HIS WORK IN A SAFE AND EXPEDITIOUS MANNER IN FULFILLING HIS CONTRACT OBLIGATIONS SHALL BE BORNE BY THE CONTRACTOR.

11. CONFLICTS

ANY REDESIGN OR RELOCATION OF HAWAIIAN ELECTRIC'S FACILITIES NOT SHOWN ON THE PLANS MAY BE CAUSE FOR LENGTHY DELAYS. THE CONTRACTOR ACKNOWLEDGES THAT HAWAIIAN ELECTRIC IS NOT RESPONSIBLE FOR ANY DELAY OR DAMAGE THAT MAY ARISE AS A RESULT OF ANY CONFLICTS DISCOVERED OR IDENTIFIED WITH RESPECT TO THE LOCATION OR CONSTRUCTION OF HAWAIIAN ELECTRIC'S ELECTRICAL FACILITIES IN THE FIELD, REGARDLESS OF WHETHER THE CONTRACTOR HAS MET THE REQUESTED MINIMUM ADVANCE NOTICES. IN ORDER TO MINIMIZE ANY DELAY OR IMPACT ARISING FROM SUCH CONFLICTS, HAWAIIAN ELECTRIC SHOULD BE NOTIFIED IMMEDIATELY UPON DISCOVERY OR IDENTIFICATION OF SUCH CONFLICT.

GUIDELINES FOR MINIMUM VERTICAL (CROSSING) CLEARANCES HAWAIIAN ELECTRIC AND OTHER UNDERGROUND UTILITIES				
UNDERGROUND UTILITY	HAWAIIAN ELECTRIC DIRECT BURIED CABLE	HAWAIIAN ELECTRIC DIRECT BURIED IN CONDUIT (NO CONCRETE ENCASUREMENT)	HAWAIIAN ELECTRIC 3' (MINIMUM) CONCRETE ENCASUREMENT	APPLICABLE NOTES:
HAWAIIAN ELECTRIC DB CONDUITS	6"	3"	0"	
HAWAIIAN ELECTRIC 3" ENCASUREMENT	0"	0"	0"	
TELEPHONE/CATV DB	12"	12"	6"	
TELEPHONE/CATV DB DUCTS	12"	12"	6"	
TELEPHONE/CATV 3" ENCASUREMENT	0"	0"	0"	3
TRAFFIC SIGNAL	12"	12"	6"	
WATER DB (BWS OWNED)	12"	12"	12"	5
CUSTOMER OWNED WATER SERVICE LATERALS	6"	6"	6"	
WATER (CONCRETE JACKETED) (BWS OWNED)	12"	12"	12"	5
GAS DB	12"	12"	12"	
GAS (CONCRETE JACKETED)	12"	12"	12"	
SEWER DB	24"	24"	24"	1
SEWER (CONCRETE JACKETED)	24"	24"	24"	1
DRAIN	12"	12"	6"	
FUEL PIPELINES				2

NOTES:

- IF CLEARANCE CANNOT BE MET:
 - IF CLEARANCE IS LESS THAN 12", JACKET SEWER LINE WITH REINFORCED CONCRETE (PER HAWAIIAN ELECTRIC'S STD. 30-1030) FOR A DISTANCE OF 5' PLUS PIPE DIAMETER.
 - IF CLEARANCE IS BETWEEN 12" AND 24", JACKET SEWER LINE WITH PLAIN CONCRETE.
- ALL FUEL PIPELINE CROSSINGS SHALL BE REVIEWED AND APPROVED BY THE COMPANY THAT OWNS AND MAINTAINS IT.
- FOR SITUATIONS WITH 0" MINIMUM SEPARATION, A 6" SEPARATION IS RECOMMENDED.
- CLEARANCES MEASURED FROM OUTER EDGES OR DIAMETERS OF UTILITIES. WHENEVER CONCRETE JACKETS ARE INVOLVED, CLEARANCES SHALL BE TOTAL CLEAR DISTANCE BETWEEN THE CONCRETE JACKET AND UTILITY CONCERNED.
- 36" CLEARANCE IS REQUIRED FOR TRENCHLESS INSTALLATION WORK.

12. DAMAGE TO HAWAIIAN ELECTRIC FACILITIES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL HAWAIIAN ELECTRIC SURFACE AND SUBSURFACE UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGES TO HAWAIIAN ELECTRIC'S FACILITIES AS A RESULT OF HIS OPERATIONS. THE CONTRACTOR SHALL IMMEDIATELY REPORT SUCH DAMAGES OR ANY HAZARDOUS CONDITIONS RELATED TO HAWAIIAN ELECTRIC'S LINES TO HAWAIIAN ELECTRIC'S TROUBLE DISPATCHER AT 548-7961. REPAIR WORK SHALL BE DONE BY HAWAIIAN ELECTRIC OR BY THE CONTRACTOR UNDER HAWAIIAN ELECTRIC'S SUPERVISION. COSTS FOR DAMAGES TO HAWAIIAN ELECTRIC'S FACILITIES SHALL BE BORNE BY THE CONTRACTOR.

IN CASE OF DAMAGE OR SUSPECTED DAMAGE TO HAWAIIAN ELECTRIC'S FUEL PIPELINE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY HAWAIIAN ELECTRIC'S SECURITY COMMAND CENTER AT 543-7685 (A 24-HOUR NUMBER) SO HAWAIIAN ELECTRIC PERSONNEL CAN SECURE THE DAMAGED SECTION AND REPORT ANY OIL SPILLS TO THE PROPER AUTHORITIES. ALL COSTS ASSOCIATED WITH THE DAMAGE, REPAIR, AND OIL SPILL CLEANUP SHALL BE BORNE BY THE CONTRACTOR.

13. HAWAIIAN ELECTRIC STAND-BY PERSONNEL

THE CONTRACTOR MAY REQUEST HAWAIIAN ELECTRIC TO PROVIDE AN INSPECTOR TO STAND-BY DURING CONSTRUCTION NEAR HAWAIIAN ELECTRIC'S FACILITIES. THE COST OF SUCH INSPECTION WILL BE CHARGED TO THE CONTRACTOR.

THE CONTRACTOR SHALL CALL HAWAIIAN ELECTRIC'S CUSTOMER RELATIONS AT 543-7070 A MINIMUM OF THREE (3) MONTHS IN ADVANCE TO ARRANGE FOR HAWAIIAN ELECTRIC STAND-BY PERSONNEL.

14. CLEARANCES

THE FOLLOWING CLEARANCES SHALL BE MAINTAINED BETWEEN HAWAIIAN ELECTRIC'S DUCTLINE AND ALL ADJACENT STRUCTURES (CHARTED AND UNCHARTED) IN THE TRENCH: (SEE TABLE)

THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER & HAWAIIAN ELECTRIC OF ANY HEAT SOURCES (POWER CABLE DUCT BANK, STEAMLINE, ETC.) ENCOUNTERED THAT ARE NOT PROPERLY IDENTIFIED ON THE DRAWING.

15. INDEMNITY

THE CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS HAWAIIAN ELECTRIC FROM AND AGAINST ALL LOSSES, DAMAGES, CLAIMS, AND ACTIONS, INCLUDING BUT NOT LIMITED TO REASONABLE ATTORNEY'S FEES AND COSTS BASED UPON OR ARISING OUT OF DAMAGE TO PROPERTY OR INJURIES TO PERSONS, OR OTHER TORTIOUS ACTS CAUSED OR CONTRIBUTED TO BY CONTRACTOR OR ANYONE ACTING UNDER ITS DIRECTION OR CONTROL OR ON ITS BEHALF; PROVIDED CONTRACTOR'S INDEMNITY SHALL NOT BE APPLICABLE TO ANY LIABILITY BASED UPON THE SOLE NEGLIGENCE OF HAWAIIAN ELECTRIC.

GUIDELINES FOR MINIMUM HORIZONTAL (PARALLEL) CLEARANCES BETWEEN HAWAIIAN ELECTRIC AND OTHER UNDERGROUND UTILITIES				
UNDERGROUND UTILITY	HAWAIIAN ELECTRIC DIRECT BURIED CABLE	HAWAIIAN ELECTRIC DIRECT BURIED IN CONDUIT (NO CONCRETE ENCASEMENT)	HAWAIIAN ELECTRIC 3' (MINIMUM) CONCRETE ENCASUREMENT	APPLICABLE NOTES:
HAWAIIAN ELECTRIC DB CONDUITS	12"	3"	0"	
HAWAIIAN ELECTRIC 3" ENCASUREMENT	0"	0"	0"	
TELEPHONE/CATV DB	12"	12"	6"	
TELEPHONE/CATV DB DUCTS	12"	12"	6"	
TELEPHONE/CATV 3" ENCASUREMENT	0"	0"	0"	5
TRAFFIC SIGNAL	12"	12"	12"	
WATER DB (BWS OWNED)	36"	36"	36"	1, 4
CUSTOMER OWNED WATER SERVICE LATERALS	12"	12"	12"	
WATER (CONCRETE JACKETED) (BWS OWNED)	36"	36"	36"	1, 4
GAS DB	12"	12"	12"	1
GAS (CONCRETE JACKETED)	12"	12"	12"	1
SEWER DB	36"	36"	36"	1, 2
SEWER (CONCRETE JACKETED)	36"	36"	36"	1, 2
DRAIN	12"	12"	12"	1
FUEL PIPELINES				3

NOTES:

- WHERE SPACE IS AVAILABLE, PARALLEL CLEARANCE TO OTHER UTILITIES, OR FOREIGN STRUCTURES OTHER THAN COMMUNICATION OR TRAFFIC SIGNAL SHALL BE 36"
- IF 36" CLEARANCE CANNOT BE MET:
 - IF CLEARANCE IS LESS THAN 12", JACKET SEWER LINE WITH REINFORCED CONCRETE (PER HAWAIIAN ELECTRIC'S STD. 30-1030) FOR A DISTANCE OF 5' PLUS PIPE DIAMETER.
 - IF CLEARANCE IS BETWEEN 12" AND 36", JACKET SEWER LINE WITH PLAIN CONCRETE.
- ALL FUEL PIPELINE CROSSINGS SHALL BE REVIEWED AND APPROVED BY THE COMPANY THAT OWNS AND MAINTAINS IT.
- 5 FEET CLEAR TO WATER MAINS 16" OR LARGER.
- FOR SITUATIONS WITH 0" MINIMUM SEPARATION, A 6" SEPARATION IS RECOMMENDED.
- CLEARANCES MEASURED FROM OUTER EDGES OR DIAMETERS OF UTILITIES. WHENEVER CONCRETE JACKETS ARE INVOLVED, CLEARANCES SHALL BE TOTAL CLEAR DISTANCE BETWEEN THE CONCRETE JACKET AND UTILITY CONCERNED.

DRAWING REVIEW

Reviewed for Hawaiian Electric Company Facilities Only

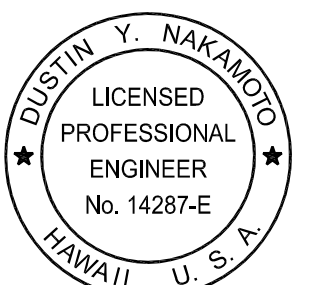
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Transmission & Distribution Engineering
Hawaiian Electric

Hawaiian Electric's review of these drawings shall in no way relieve the Customer, its Consultant, its Contractor or anyone acting on the Customer's behalf from the responsibility for engineering, design, materials and any other liability associated with this project including revisions made beyond the reviewed date.

REVISION	DATE	BRIEF	BY

RONALD N. S. HO & ASSOC., INC.
Electrical Engineers



KALELOA PARCEL 10
BUILDING 152

HAWAIIAN ELECTRIC (HECO) NOTES 1

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THE PROJECT WILL BE UNDER MY OBSERVATION.

ENGINEER: DN CHECKED BY: SS
DRAFTSMAN: CAD DATE: 3/9/23

04/30/24

EXPIRATION DATE OF THE LICENSE

15. INDEMNITY

THE CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS HAWAIIAN ELECTRIC FROM AND AGAINST ALL LOSSES, DAMAGES, CLAIMS, AND ACTIONS, INCLUDING BUT NOT LIMITED TO REASONABLE ATTORNEY'S FEES AND COSTS BASED UPON OR ARISING OUT OF DAMAGE TO PROPERTY OR INJURIES TO PERSONS, OR OTHER TORTIOUS ACTS CAUSED OR CONTRIBUTED TO BY CONTRACTOR OR ANYONE ACTING UNDER ITS DIRECTION OR CONTROL OR ON ITS BEHALF; PROVIDED CONTRACTOR'S INDEMNITY SHALL NOT BE APPLICABLE TO ANY LIABILITY BASED UPON THE SOLE NEGLIGENCE OF HAWAIIAN ELECTRIC.

ADDITIONAL NOTES WHEN WORK INVOLVES CONSTRUCTION OF HAWAIIAN ELECTRIC FACILITIES

16. SCHEDULE

CONTRACTOR SHALL FURNISH HIS CONSTRUCTION SCHEDULE SIX (6) MONTHS PRIOR TO STARTING WORK ON HAWAIIAN ELECTRIC FACILITIES. CONTRACTOR SHALL GIVE HAWAIIAN ELECTRIC, IN WRITING, THREE (3) MONTHS NOTICE TO PROCEED WITH HAWAIIAN ELECTRIC'S PORTION OF WORK.

17. AUTHORITY

ALL CONSTRUCTION, RESTORATION WORK, AND INSPECTION SHALL BE SUBJECT TO WHICHEVER GOVERNMENTAL AGENCY HAS AUTHORITY OVER THE WORK.

18. SPECIFICATIONS

CONSTRUCTION OF HAWAIIAN ELECTRIC'S UNDERGROUND FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISIONS OF HAWAIIAN ELECTRIC SPECIFICATIONS CS7001, CS7003, CS7202, CS9301, AND CS9401 AND APPLICABLE HAWAIIAN ELECTRIC STANDARDS.

19. CONSTRUCTION

CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES TO PROPERLY PERFORM AND FULLY COMPLETE ALL WORK SHOWN ON THE CONTRACT, DRAWINGS, AND SPECIFICATIONS. ALL MATERIALS SHALL BE NEW AND MANUFACTURED IN THE UNITED STATES OF AMERICA. ALL MANHOLE, HANDHOLE, AND DUCTLINE INSTALLATIONS SHALL BE INSPECTED AND APPROVED BY HAWAIIAN ELECTRIC PRIOR TO EXCAVATION AND PRIOR TO PLACING CONCRETE. CONTRACTOR SHALL NOTIFY HAWAIIAN ELECTRIC'S INSPECTION GROUP AT 543-2567 AT LEAST FIVE (5) WORKING DAYS PRIOR TO INSTALLING FACILITIES OR PLACING CONCRETE.

CONTRACTOR TO COORDINATE WORK TO BREAK INTO HAWAIIAN ELECTRIC'S EXISTING ELECTRICAL FACILITIES WITH HAWAIIAN ELECTRIC'S INSPECTION GROUP AT 543-2567 AT LEAST TEN (10) WORKING DAYS IN ADVANCE.

20. STAKEOUT

THE CONTRACTOR SHALL ARRANGE FOR TONEOUTS OF ALL UNDERGROUND FACILITIES AND SHALL STAKEOUT ALL PROPOSED HAWAIIAN ELECTRIC FACILITIES WITHIN THE PROJECT AREA SO AS TO NOT CONFLICT WITH ANY UTILITY (EXISTING OR PROPOSED) AND ANY PROPOSED CONSTRUCTION OR IMPROVEMENT WORK FOR VERIFICATION BY HAWAIIAN ELECTRIC BEFORE PROCEEDING WITH HAWAIIAN ELECTRIC WORK.

21. DUCTLINES

ALL DUCTLINE INSTALLATIONS SHALL BE PVC SCHEDULE 40 ENCASED IN CONCRETE, UNLESS OTHERWISE NOTED. ALL COMPLETED DUCTLINES SHALL BE MANDREL TESTED BY THE CONTRACTOR IN THE PRESENCE OF HAWAIIAN ELECTRIC'S INSPECTOR USING HAWAIIAN ELECTRIC'S STANDARD PRACTICE. THE CONTRACTOR SHALL INSTALL 1800# TENSILE STRENGTH MULETAPE PULL LINE IN ALL COMPLETED DUCTLINES AFTER MANDREL TESTING IS COMPLETE.

22. JOINT POLE REMOVAL

THE LAST JOINT POLE OCCUPANT OFF THE POLES SHALL REMOVE THE POLES.

23. AS-BUILT PLANS

THE CONTRACTOR SHALL PROVIDE HAWAIIAN ELECTRIC WITH A SET OF ELECTRONIC AND HARD COPY PLANS OF EACH SHEET SHOWING THE OFFSETS, STATIONING, AND VERTICAL ELEVATION OF THE DUCT LINE(S) CONSTRUCTED.

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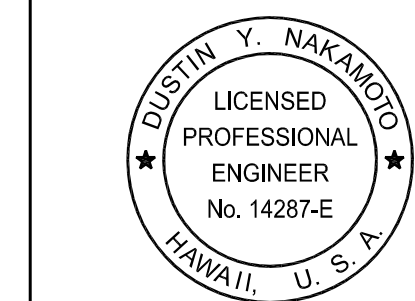
HAWAIIAN TELCOM (HTCO) NOTES:

1. THE CONTRACTOR SHALL PROCURE AND PAY FOR ALL LICENSES AND PERMITS AND SHALL GIVE ALL NOTICES NECESSARY AND INCIDENT TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.
2. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT AND TONING REQUEST FROM HAWAIIAN TELCOM'S EXCAVATION PERMIT SECTION, LOCATED AT 1177 BISHOP STREET, TWO WEEKS PRIOR TO THE START OF CONSTRUCTION. HOURS OF BUSINESS ARE 8:00 A.M. TO 11:00 A.M. AND 12:00 P.M. TO 3:00 P.M. MONDAY THROUGH FRIDAY, EXCEPT HOLIDAYS.
3. PRIOR TO THE EXCAVATION OF THE DUCTLINE, THE CONTRACTOR SHALL REQUEST HAWAIIAN TELCOM TO LOCATE EXISTING DUCTLINE WHEREVER REQUIRED. FOR UNDERGROUND CABLE LOCATING AND MARKING, FIVE (5) WORKING DAYS ADVANCE NOTICE IS REQUIRED. THREE (3) WORKING DAYS ADVANCE NOTICE IS REQUIRED FOR ANY INSPECTION BY A DESIGNATED REPRESENTATIVE.
4. THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND SHALL MAINTAIN PROPER CLEARANCES WHENEVER CONSTRUCTION CROSSES OR IS IN CLOSE PROXIMITY OF HAWAIIAN TELCOM FACILITIES. THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND SHALL BE LIABLE FOR ANY DAMAGES TO HAWAIIAN TELCOM FACILITIES. ANY DAMAGES SHALL BE REPORTED IMMEDIATELY TO HAWAIIAN TELCOM'S REPAIR SECTION AT #611 (24 HOURS) OR TO THE EXCAVATION PERMIT SECTION AT 546-7746 (NORMAL WORKING HOURS, MONDAY THROUGH FRIDAY, EXCEPT HOLIDAYS). AS A RESULT OF HIS OPERATIONS, ADJUSTMENTS TO THE NEW DUCTLINE ALIGNMENT, IF REQUIRED, SHALL BE MADE TO PROVIDE THE REQUIRED CLEARANCES.
5. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTION NOT TO DAMAGE EXISTING CABLES OR DUCTS. A HAWAIIAN TELCOM INSPECTOR OR DESIGNATED REPRESENTATIVE IS REQUIRED TO BE AT ANY JOB SITE WHENEVER THERE WILL BE A BREAKAGE INTO OR ENTRY INTO ANY STRUCTURE THAT CONTAIN HAWAIIAN TELCOM FACILITIES. TEMPORARY CABLE AND DUCT SUPPORTS SHALL BE PROVIDED WHEREVER NECESSARY.
6. THE CONTRACTOR SHALL NOTIFY HAWAIIAN TELCOM'S INSPECTOR OR DESIGNATED REPRESENTATIVE A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION, BRACING, OR BACKFILLING OF HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.
7. ALL APPLICABLE CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE "HAWAIIAN TELCOM STANDARD SPECIFICATIONS FOR PLACING TELEPHONE SYSTEMS" DATED JANUARY 2007, ALL SUBSEQUENT AMENDMENTS AND ADDITIONS, AND ALL OTHER PERTINENT STANDARDS FOR TELEPHONE CONSTRUCTION. CONTRACTOR SHALL FAMILIARIZE HIS PERSONNEL BY OBTAINING APPLICABLE SPECIFICATIONS.
8. WHEN EXCAVATION IS ADJACENT TO OR BENEATH HAWAIIAN TELCOM'S EXISTING STRUCTURES OR FACILITIES, THE CONTRACTOR SHALL:
 - a. SHEET AND/OR BRACE THE EXCAVATION TO PREVENT SLIDES, CAVE-INS, OR SETTLEMENTS TO ENSURE NO MOVEMENT TO HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.
 - b. PROTECT EXISTING STRUCTURES AND/OR FACILITIES WITH BEAMS, STRUTS, OR UNDERPINNING WHILE EXCAVATING BENEATH THEM TO ENSURE NO MOVEMENT TO HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.
9. THE CONTRACTOR SHALL BRACE ALL POLES OR LIGHT STANDARDS NEAR THE NEW DUCTLINE, MANHOLE, OR HANDHOLE DURING HIS OPERATIONS.

10. THE CONTRACTOR SHALL SAW-CUT AC. PAVEMENT AND CONCRETE GUTTER WHEREVER NEW MANHOLES, HANDHOLES, OR DUCTLINES ARE TO BE PLACED AND SHALL RESTORE TO EXISTING CONDITION OR BETTER.
11. THE CONTRACTOR SHALL COMPLY WITH THE POLICY ADOPTED BY THE DEPARTMENT OF PLANNING AND PERMITTING, CITY AND COUNTY OF HONOLULU, CONCERNING THE REPLACEMENT OF CONCRETE SIDEWALKS AFTER EXCAVATION WORK.
12. THE UNDERGROUND PIPES, CABLES, OR DUCTLINES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. WHEREVER CONNECTIONS OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR THE NEW LINES.
13. WHEREVER CONNECTIONS TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES PRIOR TO EXCAVATION OF THE MAIN TRENCHES TO VERIFY THEIR LOCATIONS AND DEPTHS.
14. THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE COST FOR SUPPLEMENTARY MEASURES, WHICH WILL BE REQUIRED BY THE CITY AND COUNTY, SHALL BE BORNE BY THE CONTRACTOR.
15. THE CONTRACTOR SHALL PUMP ALL MANHOLES DRY DURING FINAL INSPECTION.
16. THE CONTRACTOR SHALL NOTIFY HAWAIIAN TELCOM INSPECTOR 24 HOURS PRIOR TO THE POURING OF CONCRETE OR BACKFILLING.
17. WHEN CONNECTING TO MANHOLE WALLS, ALL EXISTING REINFORCING BARS SHALL BE LEFT INTACT. DUCTS SHALL BE ADJUSTED IN THE FIELD IN ORDER TO CLEAR REINFORCING
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT ALL REQUIRED LINES AND GRADES AND SHALL PRESERVE ALL BENCH MARKS AND WORKING POINTS NECESSARY TO LAY OUT THE WORK CORRECTLY. THE NEW DUCTLINE SHALL BE ADJUSTED BY THE CONTRACTOR TO SUIT THE EXISTING CONDITIONS AND THE DETAILS AS DESCRIBED IN THE PLANS.
19. MINIMUM CONCRETE STRENGTH SHALL BE:
 - FOR DUCTLINE 2500 PSI AT 28 DAYS
 - FOR MANHOLE 3000 PSI AT 28 DAYS OR AS SPECIFIED IN DESIGN NOTES
20. BENDS IN THE DUCT ALIGNMENT, DUE TO CHANGES IN GRADE SHALL HAVE A MINIMUM RADIUS OF 25 FEET. ALL 90 DEGREE C-BENDS AT A POLE OR AT THE BUILDING FLOOR SLAB PENETRATION, SHALL HAVE A BEND RADIUS OF TEN TIMES THE DIAMETER OF THE DUCT OR GREATER.
21. AFTER DUCTLINE HAS BEEN COMPLETED, A MANDREL WITH A SQUARE FRONT NOT LESS THAN 12" LONG AND HAVING A DIAMETER OF 1/4" LESS THAN THE INSIDE DIAMETER OF THE DUCT, SHALL BE PULLED THROUGH EACH DUCT AFTER WHICH A BRUSH WITH STIFF BRISTLES SHALL BE PULLED THROUGH TO MAKE CERTAIN THAT NO PARTICLES OF EARTH, SAND, OR GRAVEL HAVE BEEN LEFT INSIDE. DUCTS SHALL BE COMPLETELY DRY AND CLEAN.
22. ALL DUCTS AND CONDUITS SHALL HAVE AN 1800# POLYESTER MULE-TAPE (NEPTCO, WP1800P, HAWAIIAN TELCOM MATERIAL CODE NO. 571154) INSTALLED THROUGHOUT ITS ENTIRE LENGTH. ALL DUCTS SHALL BE CAPPED TO PREVENT ENTRY OF FOREIGN MATERIAL DURING CONSTRUCTION AND AT THE COMPLETION OF INSTALLATION.

REVISION	DATE	BRIEF	BY

RONALD N. S. HO & ASSOC., INC.
Electrical Engineers



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KALELOA PARCEL 10
BUILDING 152

HAWAIIAN ELECTRIC (HECO) NOTES 2
AND HAWAIIAN TELCOM (HTCO) NOTES

APPROVED BY

HAWAIIAN TELCOM _____ DATE _____

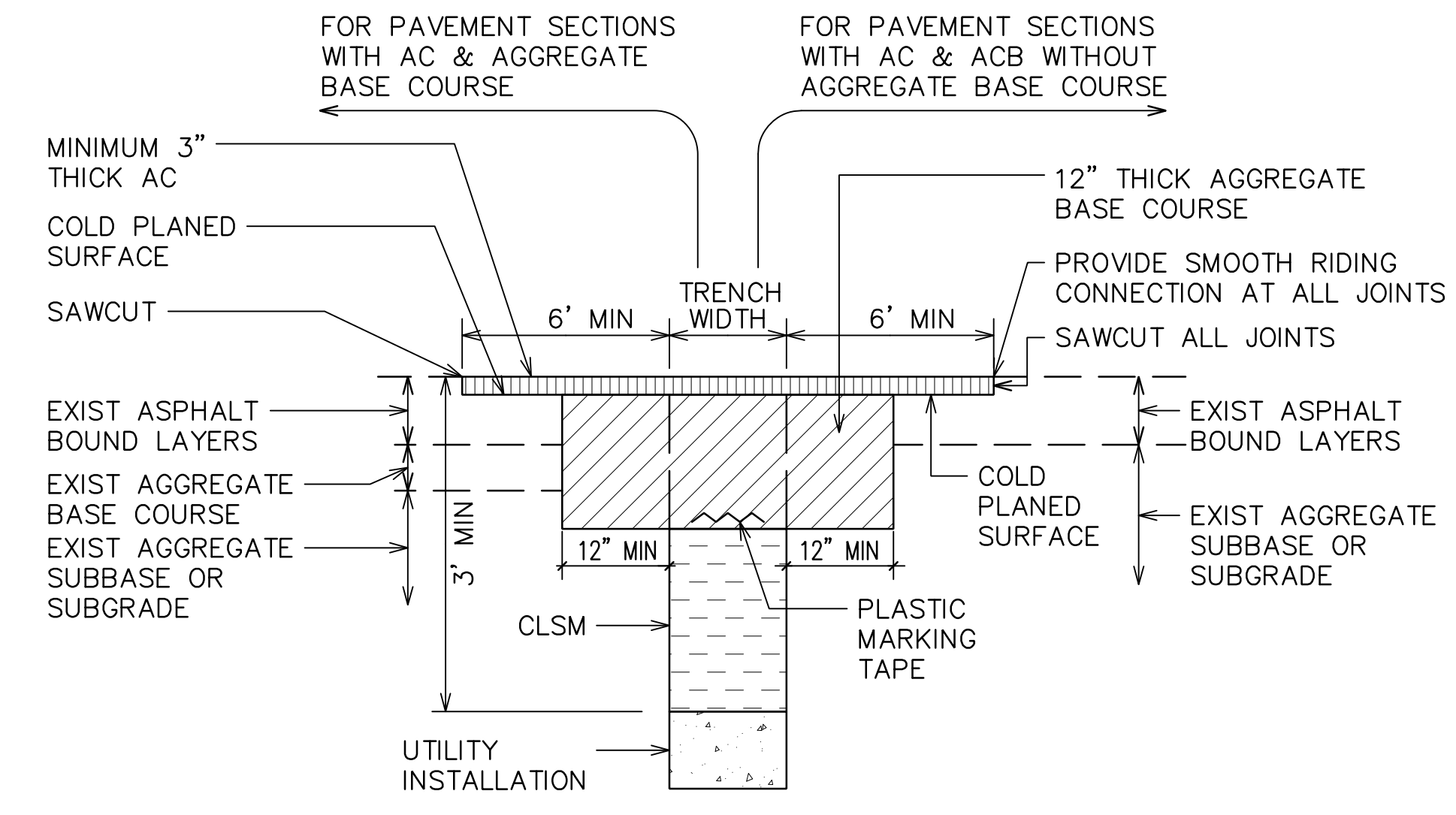
ENGINEER: DN CHECKED BY: SS
DRAFTSMAN: CAD DATE: 3/9/23

GENERAL DUCT SECTION NOTES:

1. FOR TRENCH RESTORATION DETAIL REQUIREMENTS, SEE CIVIL SHEETS.
 THE METAL DETECTABLE RED PLASTIC WARNING TAPE SHALL BE A MINIMUM 5 MILS THICK AND 4" WIDE WITH A CONTINUOUS METALLIC BACKING AND CORROSION RESISTANT .35 MIL MIN THICK FOIL CORE.
 - A. FOR THE RESPECTIVE UTILITY COMPANY DUCTS, PROVIDE METAL DETECTABLE WARNING TAPE OVER RESPECTIVE UTILITY COMPANY DUCTS PER RESPECTIVE UTILITY COMPANY REQUIREMENTS AND APPROVAL.
 - B. FOR HECO, PROVIDE WARNING TAPE PER HECO SPECIFICATION M0302-0.
 - C. FOR HTCO:
 - 1) CONTRACTOR SHALL PLACE MULETAPE (SP 1800P) IN EACH DUCT THROUGHOUT ITS ENTIRE LENGTH WITH PROTRUSIONS OF 2 FEET IN MANHOLES AND HANDHOLES AT EACH END, AND 1 FOOT IN PULLBOXES. MULETAPE IS RATED FOR 1800 LB PULL AND HAS FOOTAGE MARKINGS FOR MEASURING DUCT LENGTHS.
 - 2) CONTRACTOR SHALL PLACE 8-MIL ORANGE COLORED PLASTIC WARNING TAPE, NOT LESS THAN 4" WIDE, ENTIRE LENGTH OF TRENCH FOR ALL UNDERGROUND INSTALLATIONS. TAPE SHOULD READ "WARNING-STOP DIGGING-CALL HTCO, COMMUNICATIONS ABLE BURIED BELOW, FAILURE TO COMPLY COULD RESULT IN LEGAL ACTION".
2. THE CONTRACTOR MAY BEGIN BACKFILLING THE CONDUIT TRENCH WHEN THE CONCRETE REACHES 2800 PSI COMPRESSIVE STRENGTH OR AFTER 3 DAYS, WHICHEVER IS LATER.
3. CLEARANCES: REFER TO HECO NOTE NO. 14 FOR CLEARANCE REQUIREMENTS BETWEEN ALL DUCTLINES AND ALL ADJACENT STRUCTURES (CHARTED AND UNCHARTED) NEAR THE TRENCH.
4. FOR TRENCHES IN NON-PAVED AREAS, PROVIDE 4" OF TOP SOIL AND GRASS TO MATCH EXISTING.

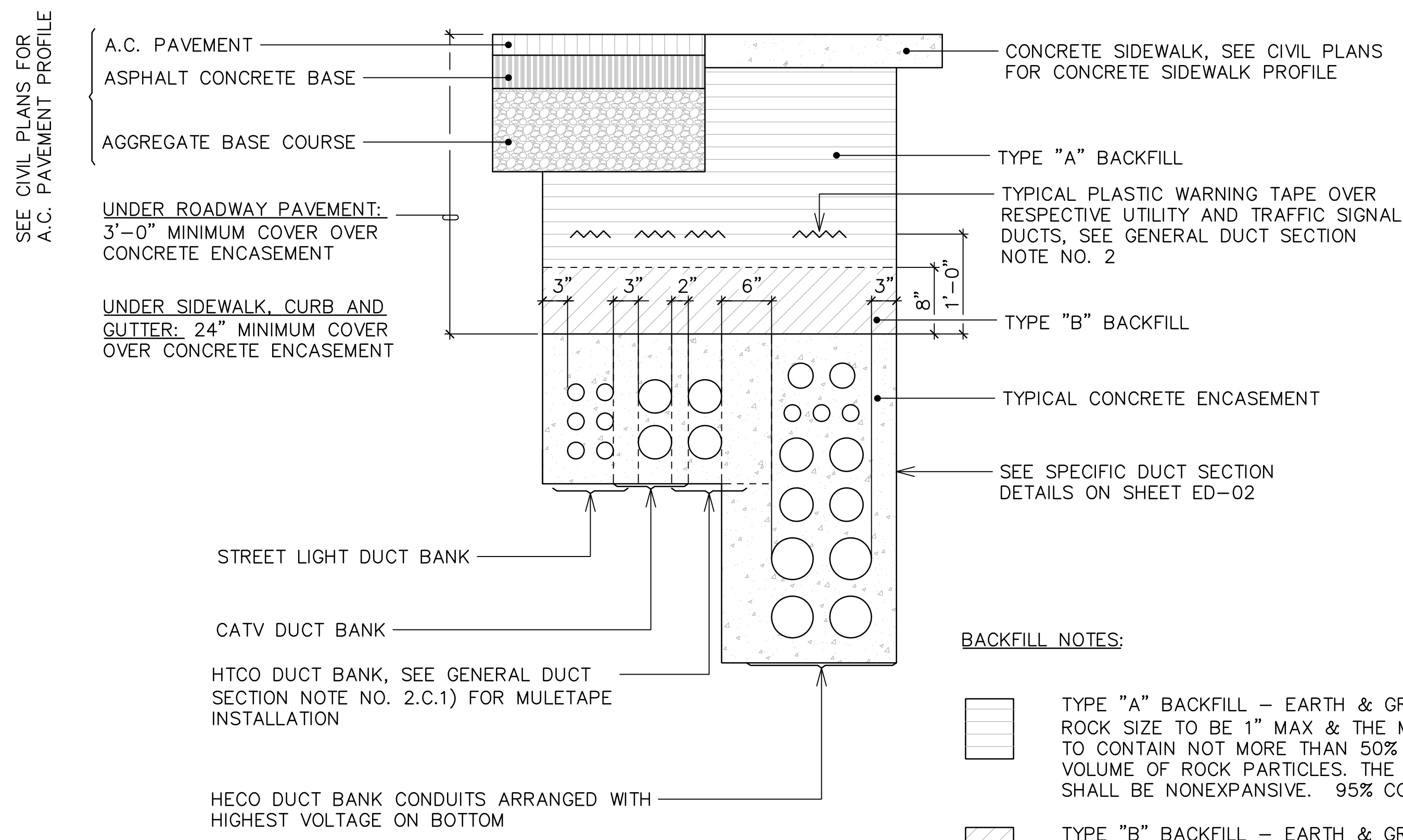
CONDUIT SCHEDULE	
ITEM	DESCRIPTION
2-45	HECO 2-4" CONDUITS
3-45	HECO 3-4" CONDUITS
2-50	HECO 2-5" CONDUITS
41	HTCO 1-4" CONDUIT
2-41	HTCO 2-4" CONDUITS

- NOTES:**
1. TACK COAT FACES OF EXISTING ASPHALT BOUND OF ALL MATERIALS PRIOR TO FILLING EXCAVATION WITH NEW ASPHALT BOUND MATERIALS.
 2. TRENCHING SHALL COMPLY WITH STATE DEPARTMENT OF TRANSPORTATION "REQUIREMENTS FOR ASPHALT PAVEMENT RESTORATION OVER TRENCH EXCAVATIONS FOR EXISTING PAVEMENTS WITHOUT PERMEABLE BASE" DATED 11/08/01.
 3. PAVEMENT STRUCTURE SHALL BE EQUAL OR BETTER THAN EXISTING IN THICKNESS AND QUALITY.

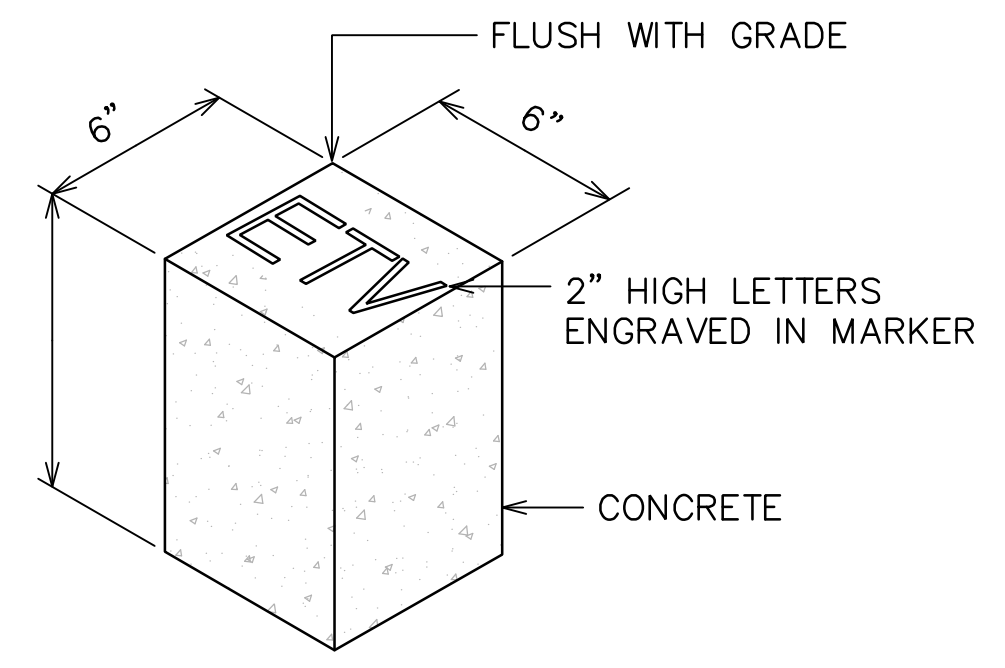


TRENCH/PAVEMENT RESTORATION DETAILS (STATE)

NOT TO SCALE



- BACKFILL NOTES:**
- TYPE "A" BACKFILL - EARTH & GRAVEL. ROCK SIZE TO BE 1" MAX & THE MIXTURE TO CONTAIN NOT MORE THAN 50% BY VOLUME OF ROCK PARTICLES. THE MATERIAL SHALL BE NONEXPANSIVE. 95% COMPACTION.
 - TYPE "B" BACKFILL - EARTH & GRAVEL. MIXTURE MUST PASS A 1/2" MESH SCREEN & CONTAIN NOT MORE THAN 20% BY VOLUME OF ROCK PARTICLES. 95% COMPACTION.
 - NO. 67 GRAVEL - OPEN-GRADED GRAVEL. AASHTO M43. NO. 67 GRADATION MATERIALS 95% COMPACTION.
 - NOTE - IF NORMAL MATERIAL AT BOTTOM OF TRENCH IS NOT TYPE "B", AN ADDITIONAL 3" SHALL BE EXCAVATED & TYPE "B" BACKFILL PROVIDED.
 - CONCRETE - 3" ENCASEMENT, 2500 PSI COMPRESSIVE STRENGTH @ 28 DAYS. WITH A MAXIMUM AGGREGATE SIZE OF 3/4".



CONCRETE CONDUIT STUB-OUT MARKER

NOT TO SCALE

- "E" = ELECTRIC
- "T" = TELEPHONE
- "V" = CATV
- "L" = STREET LIGHTING
- "S" = TRAFFIC SIGNAL

TYPICAL CONCRETE ENCASED DUCT SECTION DETAILS

NOT TO SCALE

MINIMUM DUCT SEPARATION DIMENSION BETWEEN DUCT SYSTEMS (CONCRETE ENCASED):

ELEC - ELEC:	1.5"
ELEC - OTHER SYSTEMS:	6"
TEL - TEL:	1.5"
TEL - ELEC:	6"
TEL - CATV:	2"
CATV - CATV:	1.5"
CATV - ELEC:	6"
CATV - TEL:	2"

MINIMUM OF 3" CONCRETE ENCASEMENT SHALL BE PROVIDED AROUND DUCTBANK

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APPROVED BY
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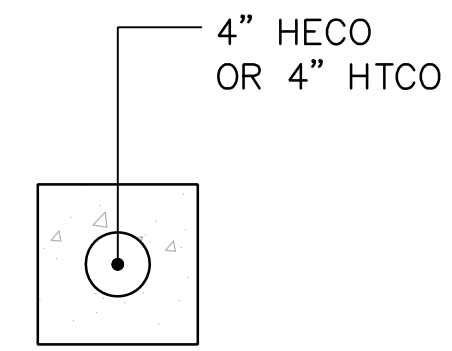
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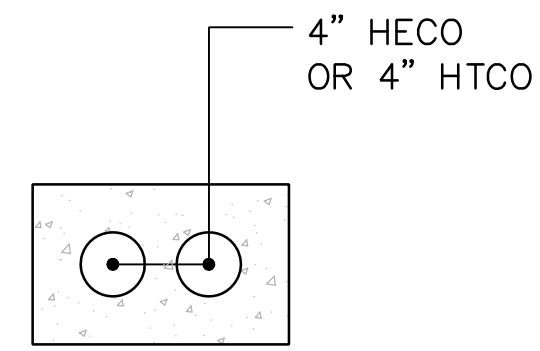
REVISION	DATE	BRIEF	BY

KALELOA PARCEL 10
 BUILDING 152
 GENERAL DUCT SECTION NOTES, CONDUIT SCHEDULE AND BACKFILL DETAILS

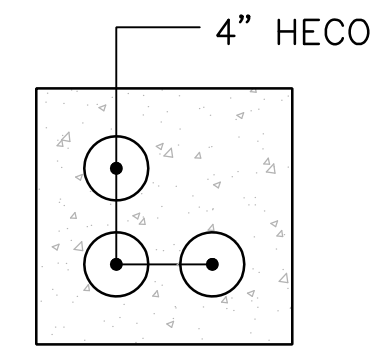
ENGINEER: DN CHECKED BY: SS
 DRAFTSMAN: CAD DATE: 3/9/23



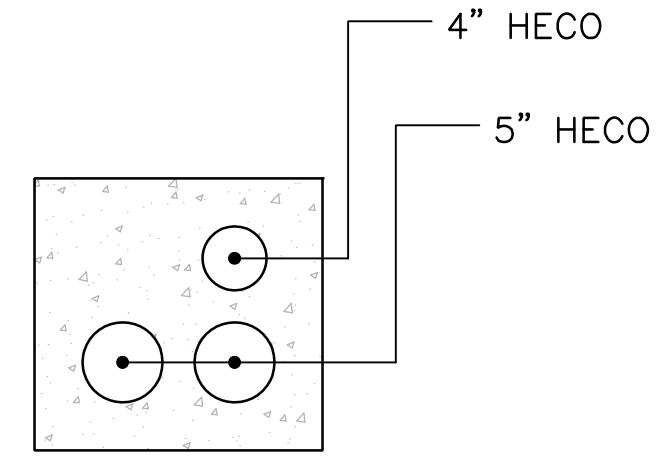
SECTION (A)



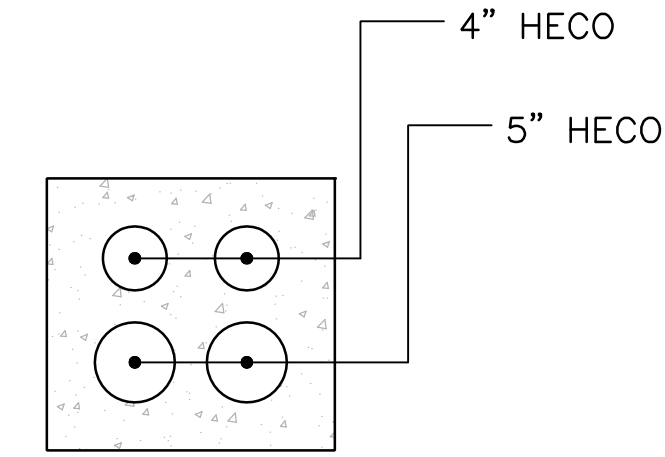
SECTION (B)



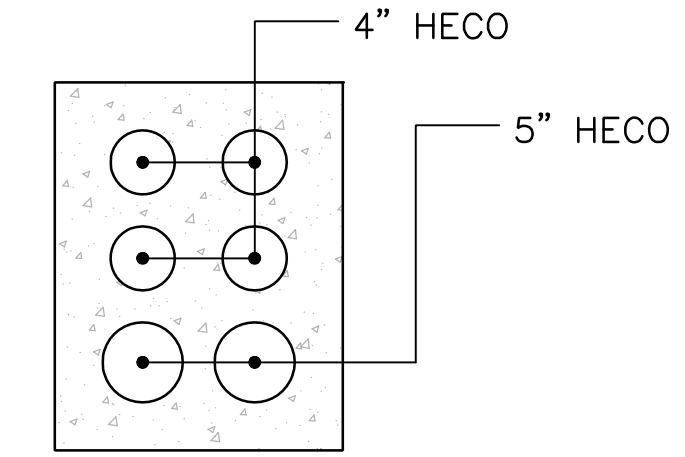
SECTION (C)



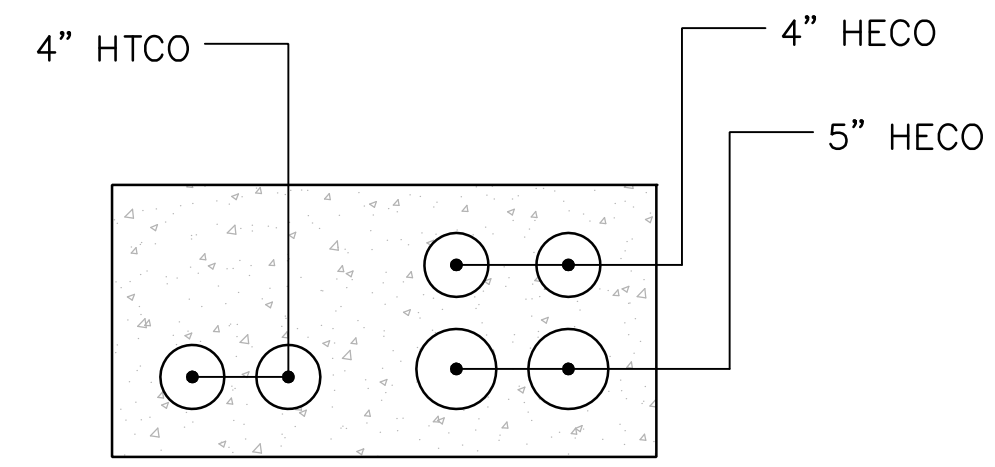
SECTION (D)



SECTION (E)



SECTION (F)

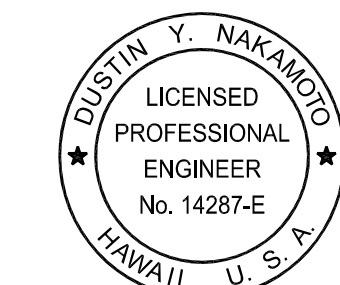


SECTION (G)

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KALELOA PARCEL 10
 BUILDING 152

TYPICAL DUCT SECTION DETAILS

ENGINEER: DN CHECKED BY: SS
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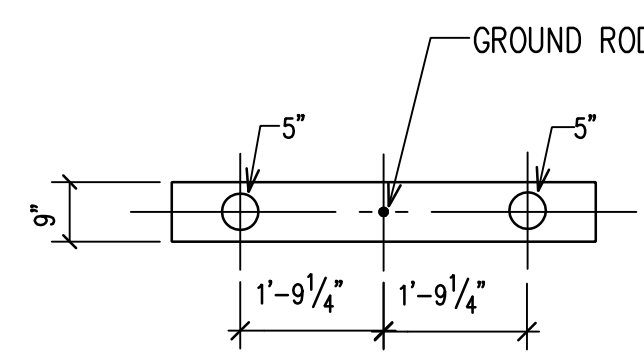
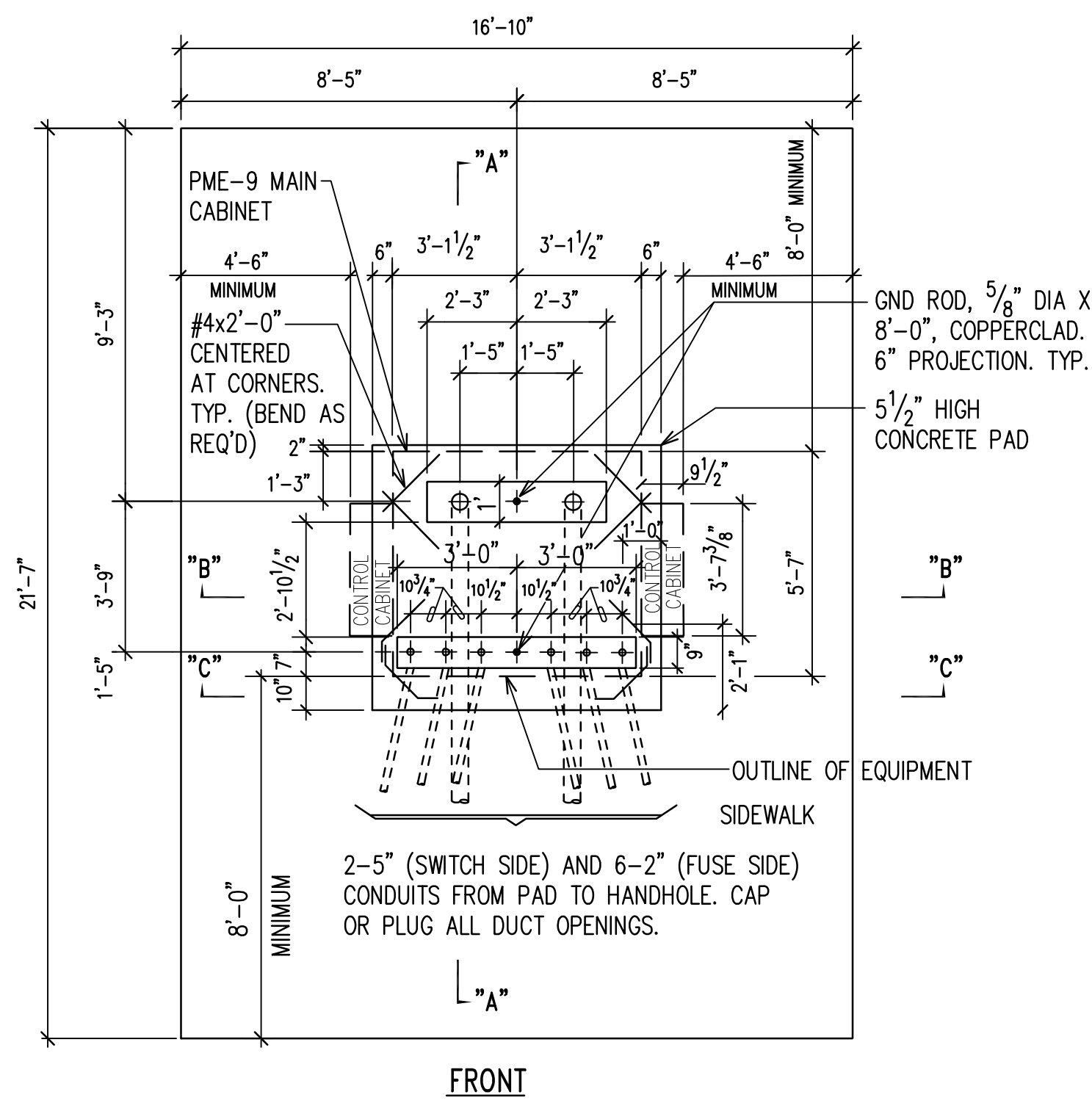
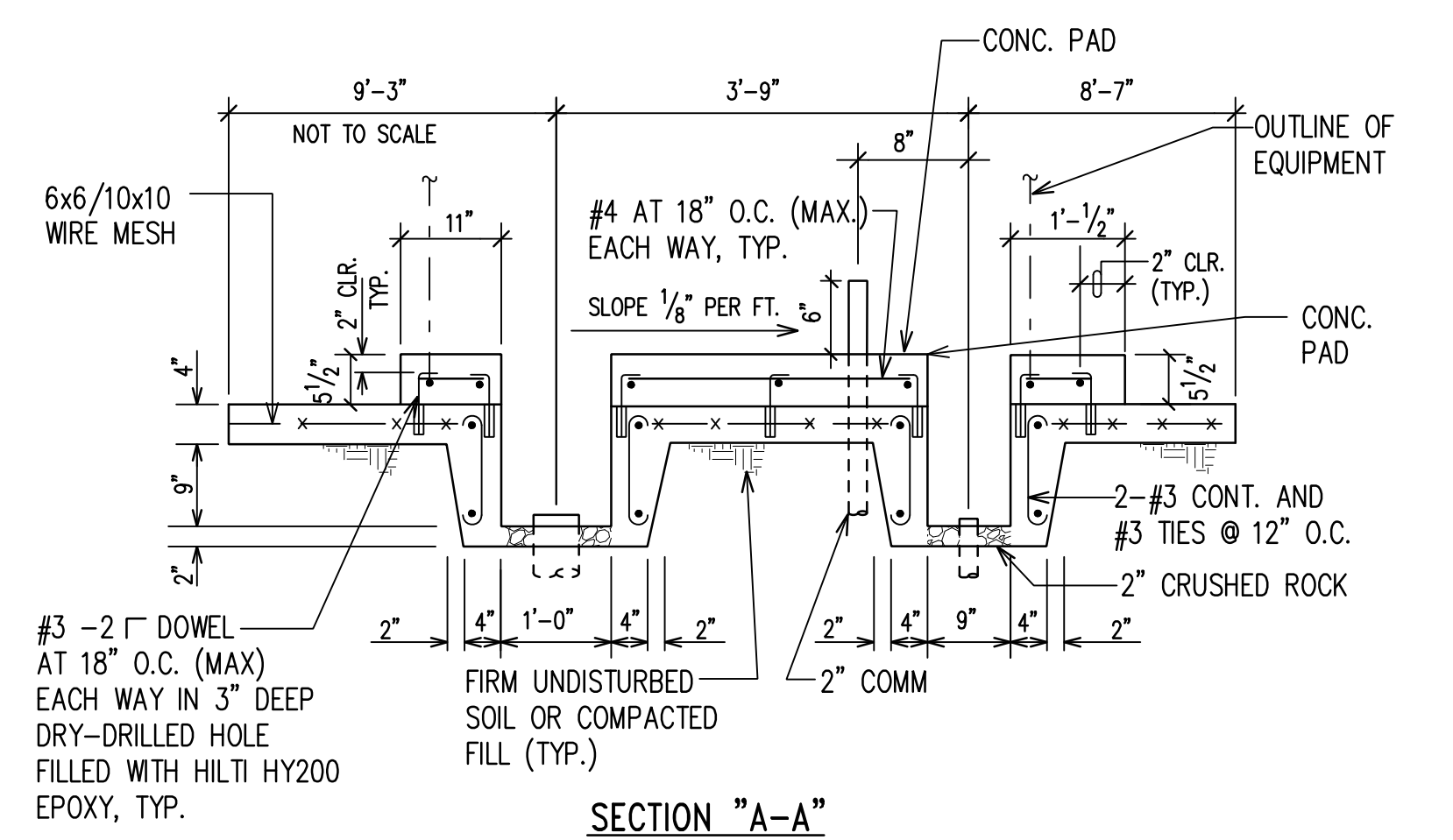


FIGURE 1

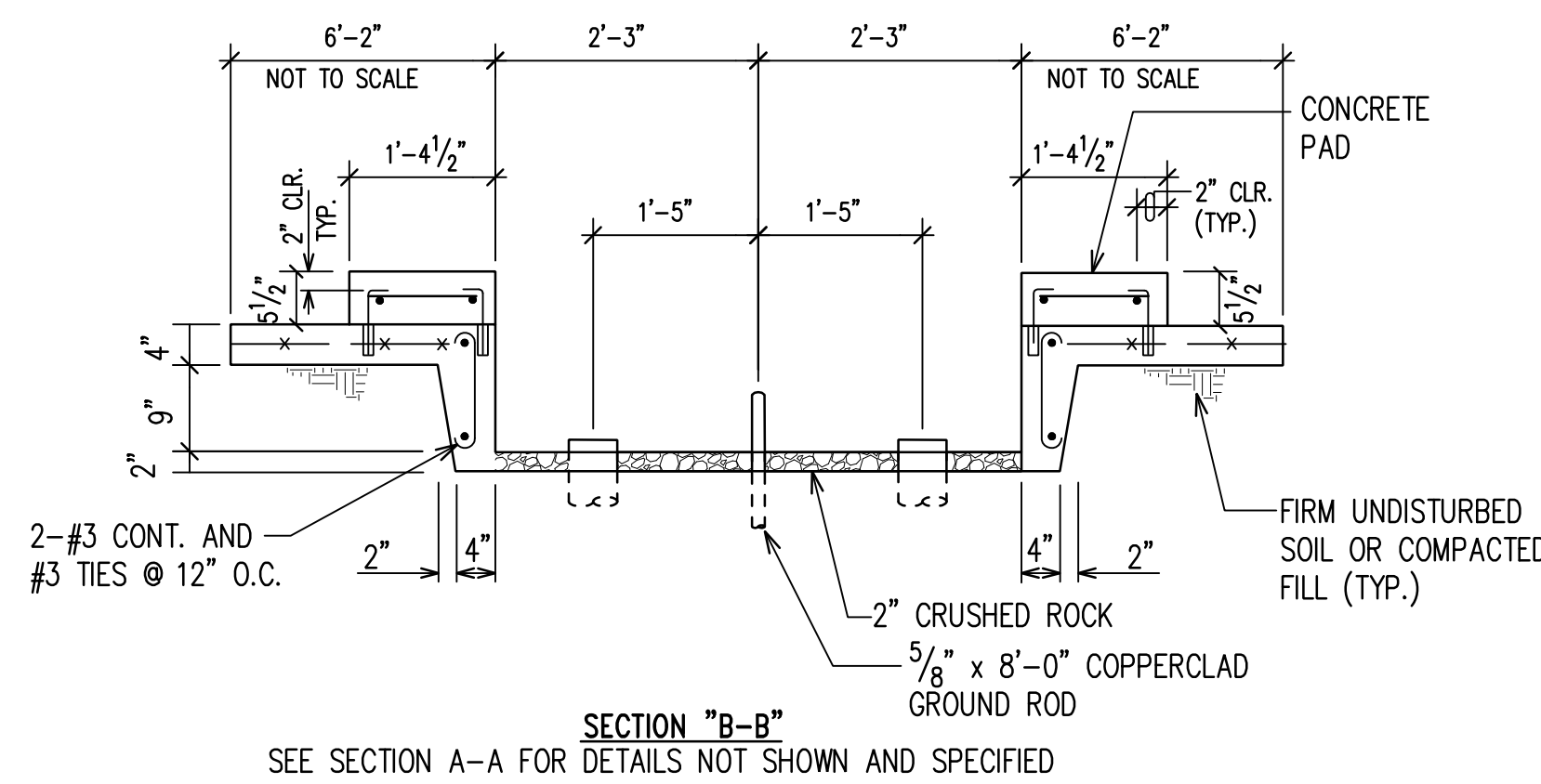
NOTES:

1. COMPRESSIVE STRENGTH OF CONCRETE : 3000 PSI IN 28 DAYS.
2. REINFORCING: CLEAN AND NEW ROUND DEFORMED BARS AND GALVANIZED 6x6x10x10 WIRE MESH. REINFORCING STEEL SHALL BE ASTM A615, GRADE 60.
3. TOP OF CONCRETE PAD TO BE SMOOTH AND TRUE. OTHER EXPOSED SURFACES TO BE SMOOTH AND FREE FROM DEFECTS. SIDEWALK FINISH AS PER CITY AND COUNTY SPECIFICATIONS.
4. CONSTRUCTION TO COMPLY WITH AMERICAN CONCRETE INSTITUTE (ACI 318) AS AMENDED.
5. WEIGHT OF SWITCHGEAR EQUALS 2,650 POUNDS.
6. IF FRONT OF PAD FACES SIDEWALK WITH UNOBSTRUCTED 8'-0" MINIMUM CLEARANCE TO CURB, PAD CAN BE 14'-5" IN LENGTH BUT WIDTH MUST COVER ENTIRE EASEMENT/CLEARANCE WIDTH (16'-10"). (INCLUDES 8'-0" MINIMUM CLEARANCE IN BACK AND 4'-6" MINIMUM CLEARANCE ON EACH SIDE OF PME-9).
7. THIS ASSUMES NO SIDEWALK IN FRONT OF PAD.
8. CONDUITS FOR FUSE SIDE ASSUME 3-1/C CABLES. IF 1-3/C CABLE USED, MAKE PROVISIONS FOR 2-5" CONDUITS INSTEAD (SEE FIGURE 1).

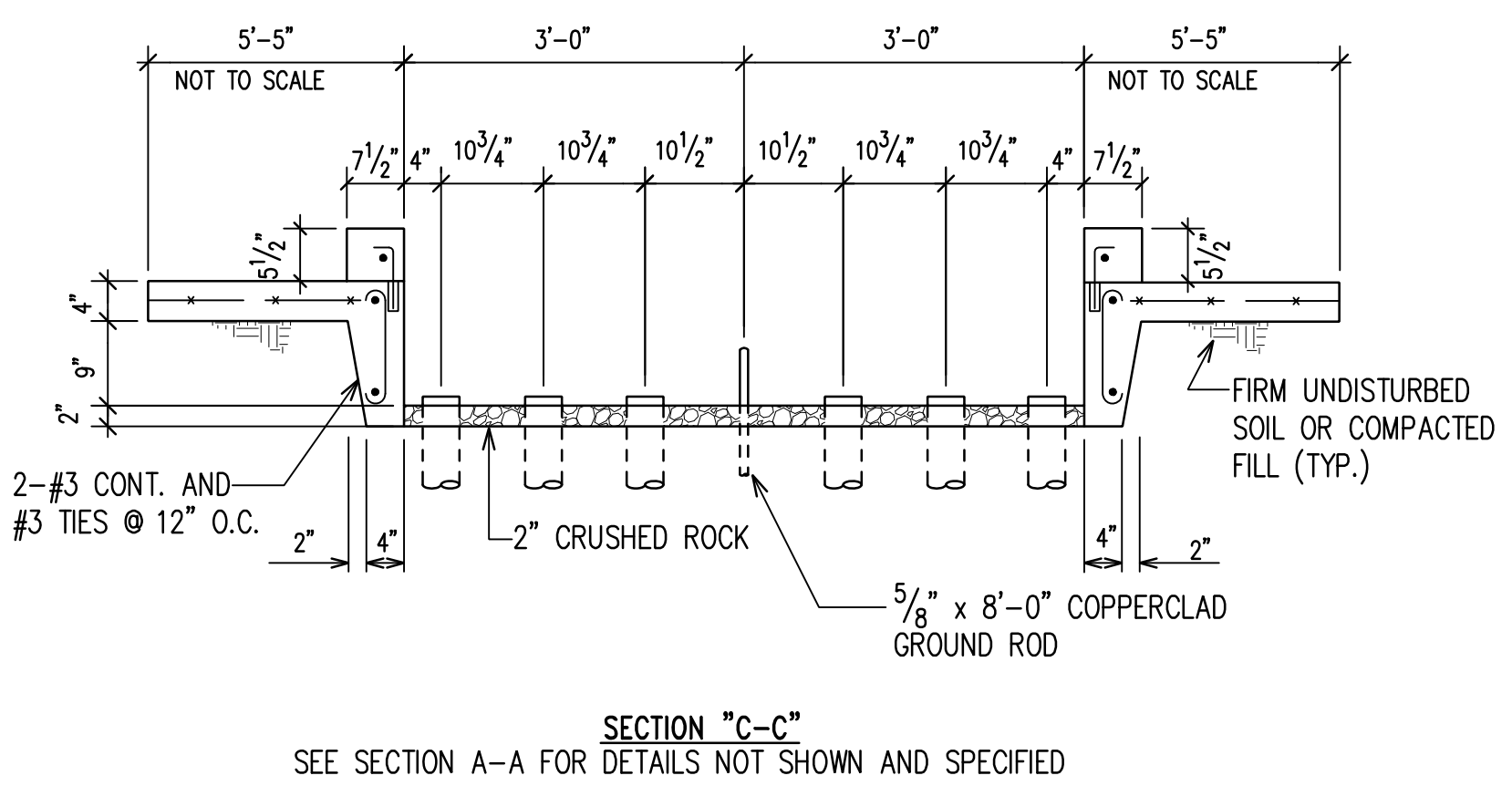
A PME-9 AUTOMATIC TRANSFER SWITCHING EQUIPMENT PAD
ED-03 NOT TO SCALE
(WITHOUT SIDEWALK)



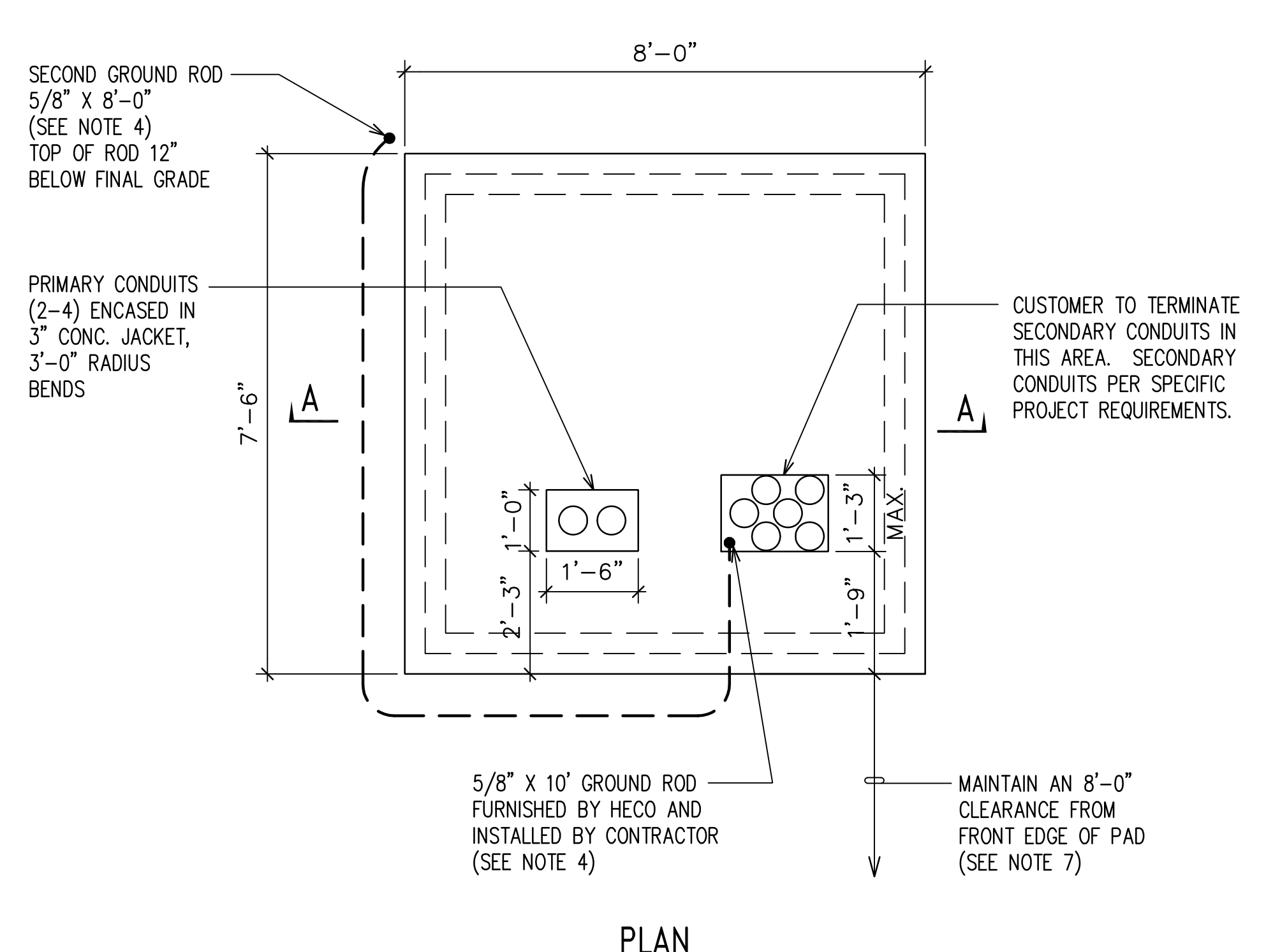
SECTION "A-A"



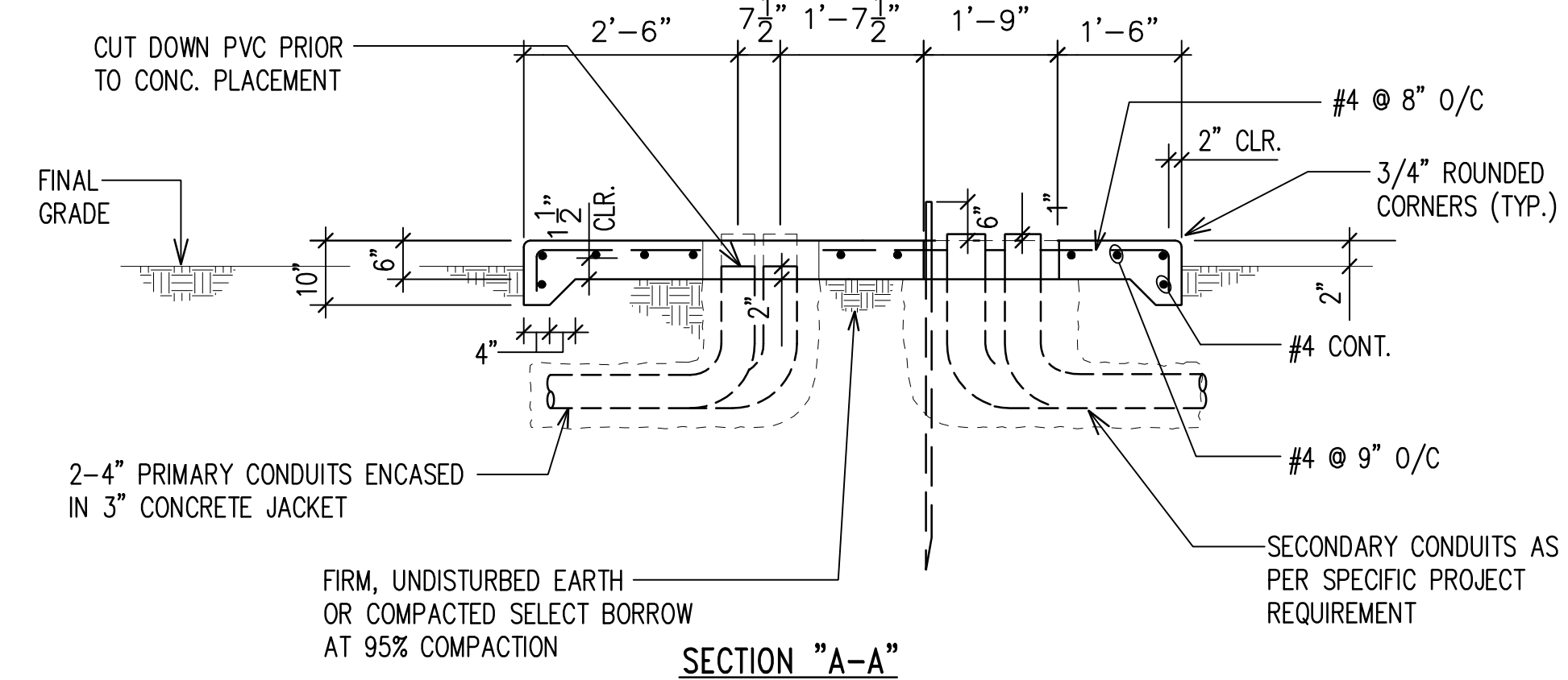
SECTION "B-B"
SEE SECTION A-A FOR DETAILS NOT SHOWN AND SPECIFIED



SECTION "C-C"
SEE SECTION A-A FOR DETAILS NOT SHOWN AND SPECIFIED



PLAN



SECTION "A-A"

NOTES:

1. COMPRESSIVE STRENGTH OF CONCRETE : 3000 PSI IN 28 DAYS. MOISTURE CURE CONCRETE PAD A MINIMUM OF 7 DAYS. DO NOT INSTALL TRANSFORMER UNTIL CONCRETE COMPRESSIVE STRENGTH REACHES 1,500 PSI MINIMUM OR AFTER 14 DAYS.
2. REINFORCING: NEW, CLEAN AND FREE FROM LOOSE, FLAKY RUST, ASTM A615, GRADE 40 MINIMUM.
3. CONSTRUCTION TO COMPLY WITH ACI 318 AS AMENDED.
4. IF GROUND RESISTANCE EXCEEDS 25 OHMS, INSTALL ADDITIONAL 5/8" DIAMETER X 8'-0" GROUND ROD AND CONNECT 4/0 BARE COPPER GROUND WIRE BETWEEN GROUND RODS. A MINIMUM OF 6'-0" SHALL BE MAINTAINED BETWEEN THE DRIVEN GROUND RODS. A SECOND GROUND ROD WILL PROBABLY BE REQUIRED WHEN SOIL RESISTIVITY IS GREATER THAN 67 OHM-METERS.
5. LOCATE, SECURE AND CAP ALL CONDUITS BEFORE POURING PAD. TOP OF CONCRETE TO BE SMOOTH AND TRUE, WOOD-FLOAT FINISH, FREE OF DEFECTS, AS PER CITY AND COUNTY SPECIFICATIONS. ROUND EXPOSED EDGES TO 3/4" CHAMFER.
6. MAINTAIN A RELATIVELY LEVEL, MINIMUM CLEARANCE OF 2'-6" FROM THE SIDES OF THE PAD, 2'-0" FROM THE BACK OF PAD AND 10'-0" IN FRONT OF PAD. EXTEND CONCRETE PAD AN ADDITIONAL 10'-0" IN FRONT IF LOCATED IN PLANTING AREA.
7. REFER TO STD. 30-5000 FOR LOCATIONS AND CLEARANCES.
8. REFER TO STD. 22-2005 FOR 3 PHASE PAD MOUNTED TRANSFORMER REQUIREMENTS.

75 - 300 KVA CONCRETE TRANSFORMER PAD DETAIL

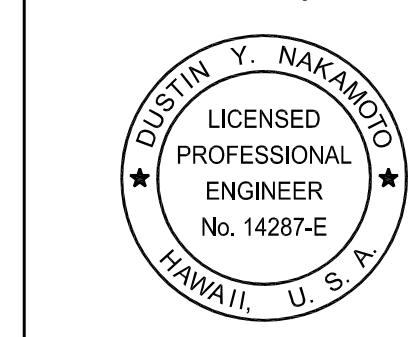
B ED-03 NOT TO SCALE

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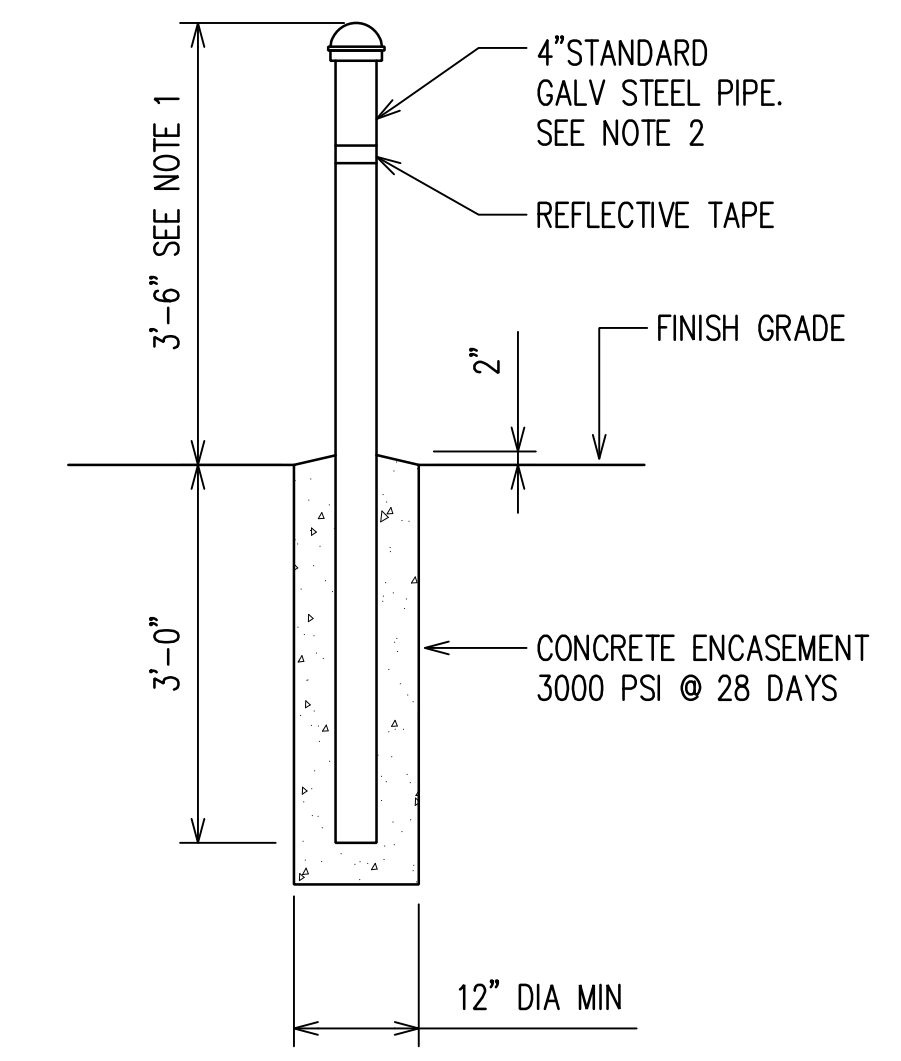
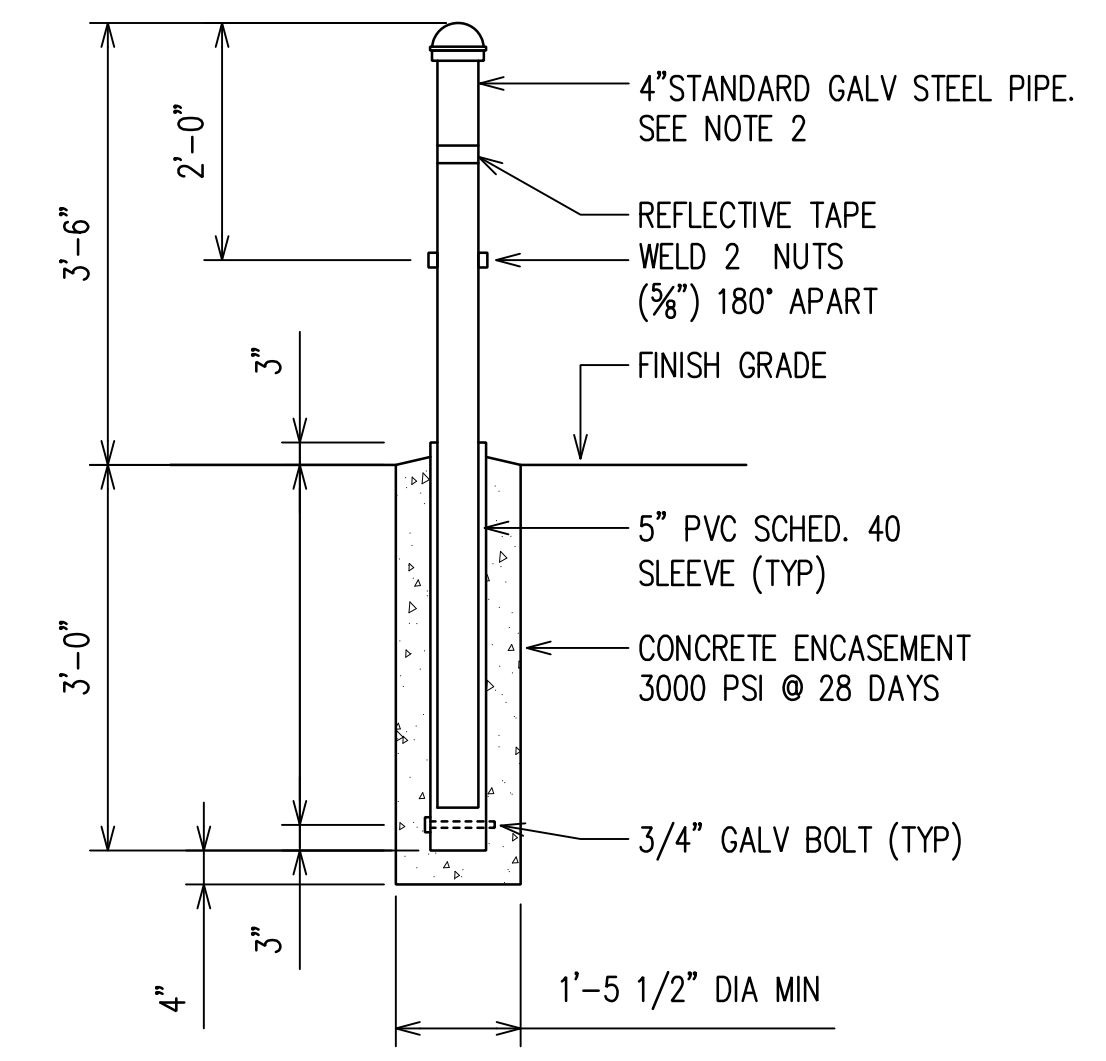
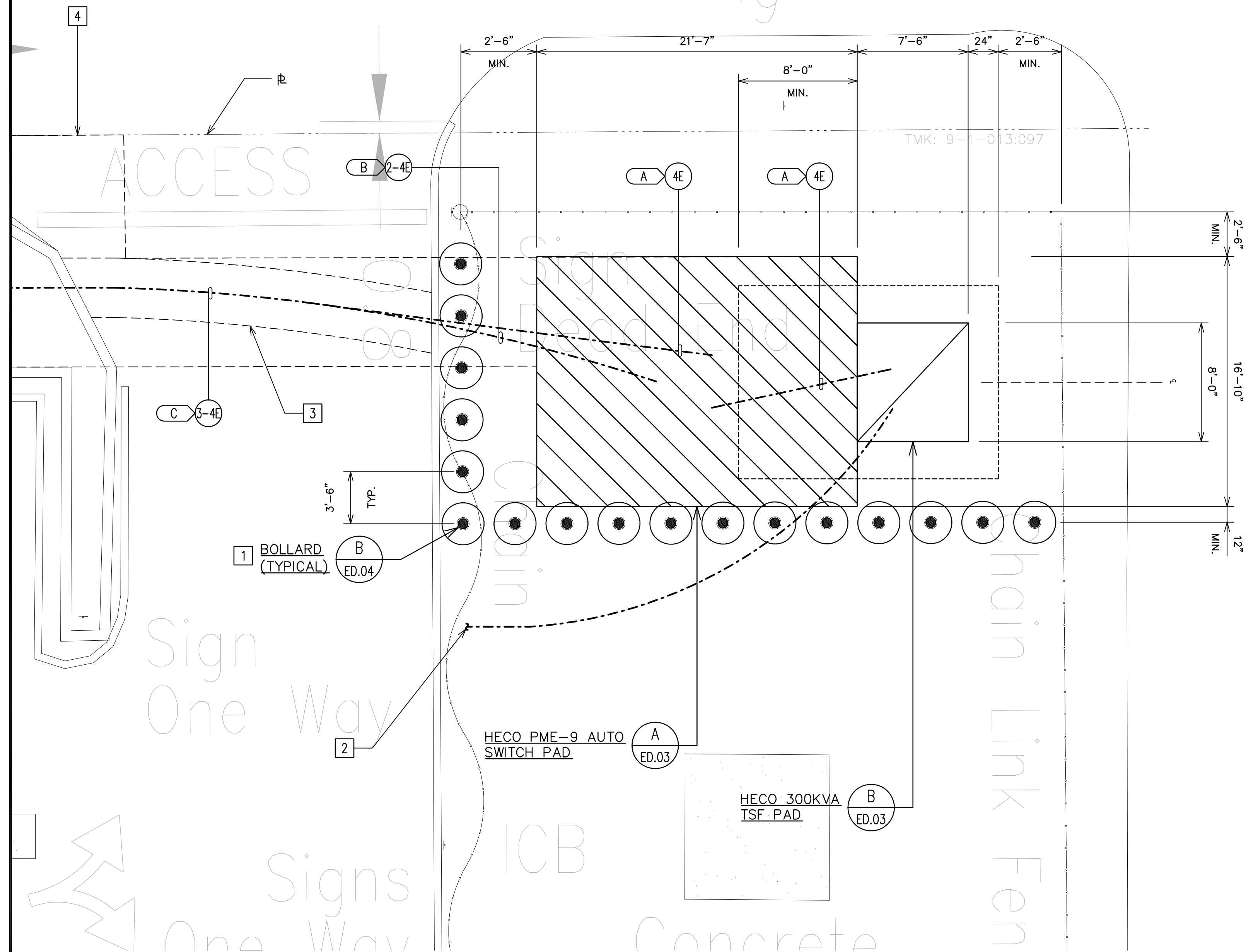
KALELOA PARCEL 10
BUILDING 152

ELECTRICAL EQUIPMENT
CONCRETE PADS

ENGINEER: **DN** CHECKED BY: **SS**
DRAFTSMAN: **CAD** DATE: **3/9/23**

MONTEREY STREET
(STATE, DHHL)

TMK: 9-1-013:048



REMOVABLE BOLLARD

STATIONARY BOLLARD

NOTES:

1. ALL STANCHIONS SHALL BE INSTALLED AT SAME HEIGHT, ABOVE TOP OF CONCRETE EQUIPMENT PAD.
2. STATIONARY GALV. PIPE TO BE FILLED WITH CONCRETE TO WEIGH APPROXIMATELY 150 LBS.
3. STANCHIONS SHALL BE PAINTED YELLOW PER ANSI SPEC. Z535.1 TO COMPLY WITH OSHA STANDARDS PER COLOR CODING.
4. STANCHION SHALL COMFORM TO ASTM A53.
5. SEE HECO STANDARD DRAWING 30-5000 FOR ADDITIONAL DETAILS.

BOLLARD DETAILS
NOT TO SCALE

NOTES FOR BEDDING BENEATH UNDERGROUND STRUCTURES:

1. BOXES AND STRUCTURES WITHOUT BOTTOM SLABS (OPEN BASE): 4" MINIMUM THICKNESS OF NO. 3 FINE GRAVEL; ASTM C-33-03, #67.
2. BOXES AND STRUCTURES WITH BOTTOM SLABS (CLOSED BASE): 4" MINIMUM THICKNESS OF CLEAN, WELL-GRADED GRANULAR MATERIAL WITH A MAXIMUM PARTICLE SIZE OF THREE (3) INCHES, AND LESS THAN THREE (3) PERCENT PASSING THE NO. 200 SIEVE OR SELECT BORROW.
3. PROVIDED BEDDING BENEATH MANHOLES, HANDHOLES AND PULLBOXES IN RELATIVELY UNIFORM LIFTS NO GREATER THAN SIX (6) INCHES IN LOOSE THICKNESS, MOISTURE CONDITIONED TO WITHIN THREE (3) PERCENT OF THEIR OPTIMUM MOISTURE CONTENT, AND UNIFORMLY COMPACTED TO AT LEAST NINETY (90) PERCENT OF THE MAXIMUM DRY DENSITY (ASTM D1557-02). CONTRACTOR TO SCHEDULE WITH CITY INSPECTORS FOR COMPACTION AND BEDDING INSTALLATION.

NOTES:

1. INSTALL BOLLARDS AROUND HECO EQUIPMENT PER HECO STANDARD DRAWING 30-5000. MODIFY EXISTING CHAIN AS REQUIRED.
2. COORDINATE CUSTOMER SECONDARY DUCTLINE CONSTRUCTION BY OTHERS.
3. SAWCUT AS REQUIRED.
4. EASEMENT IN FAVOR OF HECO.

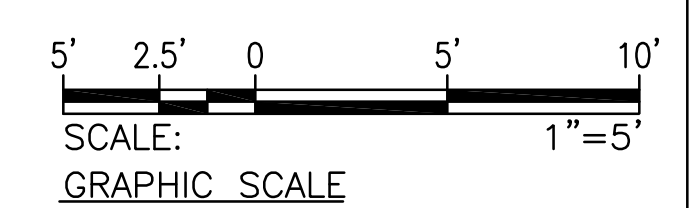


ELECTRICAL EQUIPMENT PLAN
SCALE: 1" = 5'

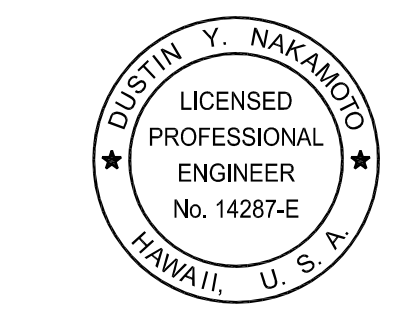
DRAWING REVIEW

Reviewed for Hawaiian Electric Company Facilities Only
Req# _____ By _____ Date _____
Transmission & Distribution Engineering
Hawaiian Electric

Hawaiian Electric's review of these drawings shall in no way relieve the Customer, its Consultant, its Contractor or anyone acting on the Customer's behalf from the responsibility for engineering, design, materials and any other liability associated with this project including revisions made beyond the reviewed date.



RONALD N. S. HO & ASSOC., INC.
Electrical Engineers



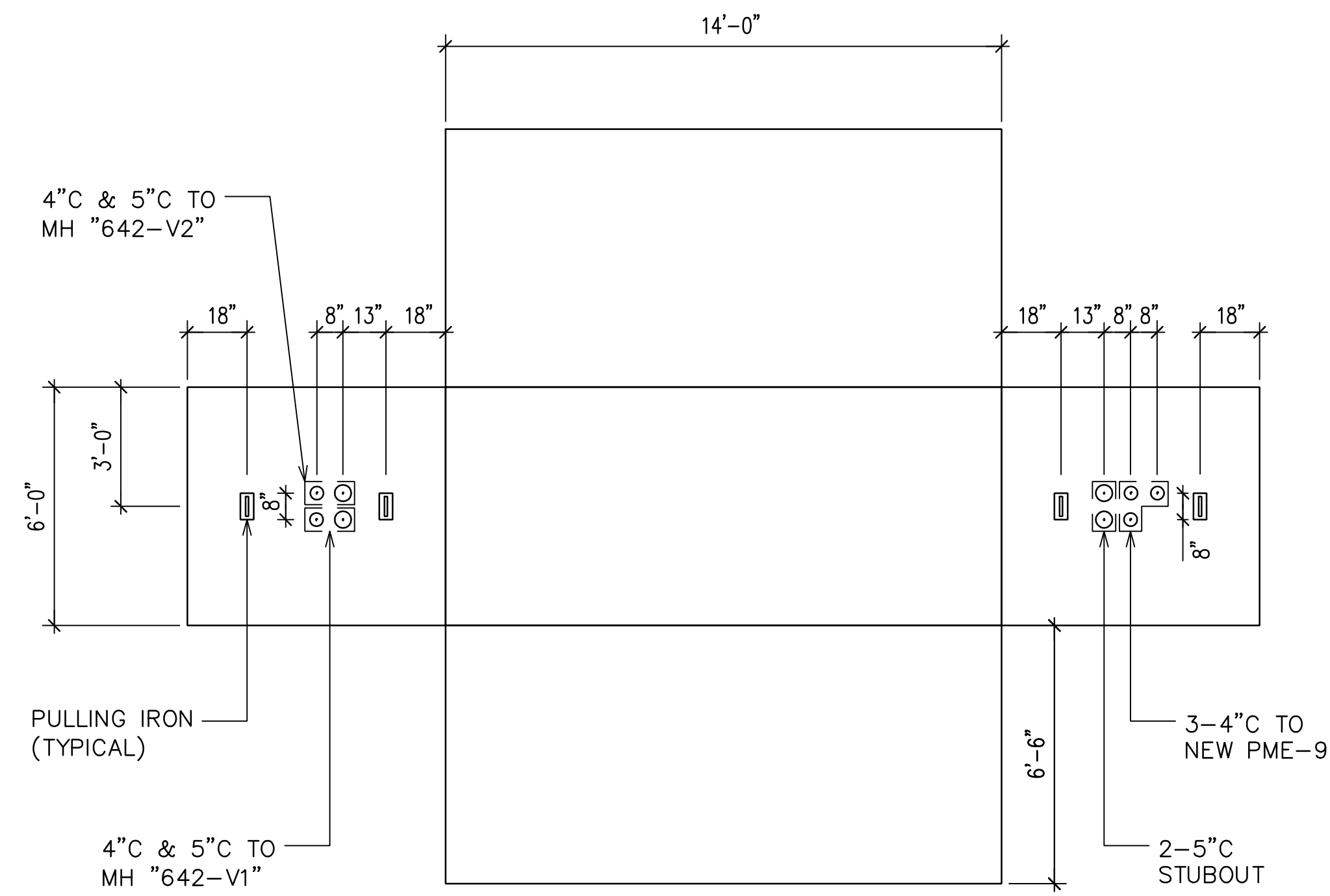
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THE PROJECT WILL BE UNDER MY OBSERVATION.
04/30/24
EXPIRATION DATE OF THE LICENSE

REVISION	DATE	BRIEF	BY

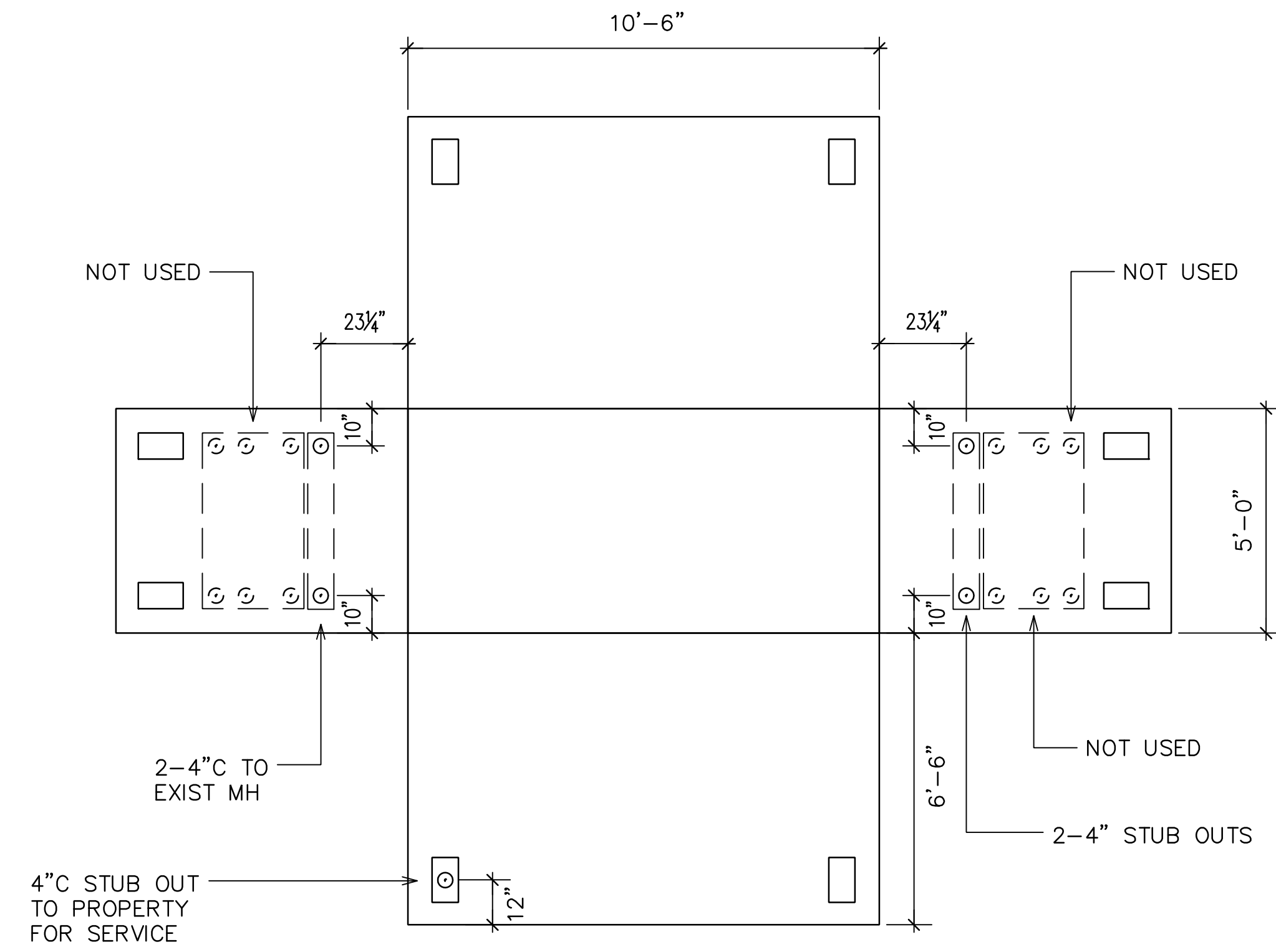
KALELOA PARCEL 10
BUILDING 152

HECO EQUIPMENT LAYOUT
AND BOLLARD DETAILS

ENGINEER: DN CHECKED BY: SS
DRAFTSMAN: CAD DATE: 3/9/23



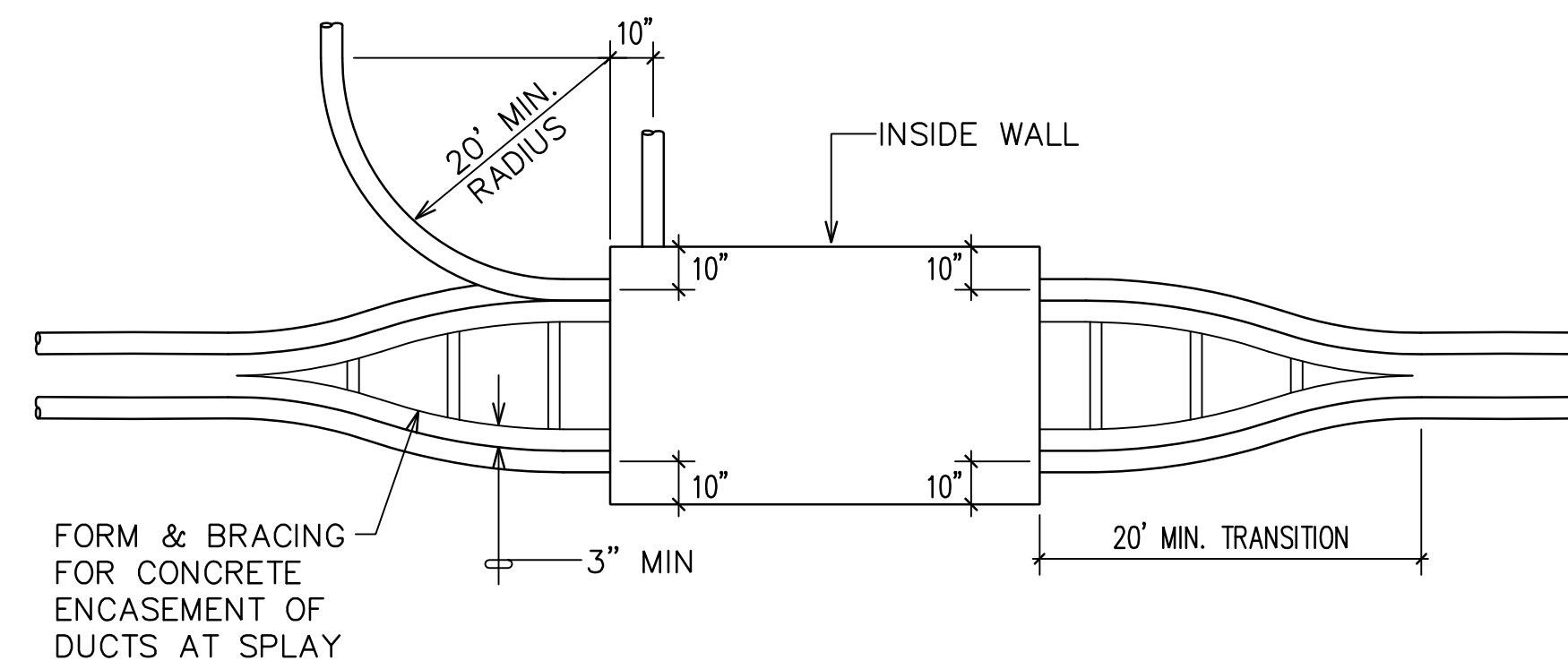
HECO 6' X 14' MANHOLE "EA"
NOT TO SCALE



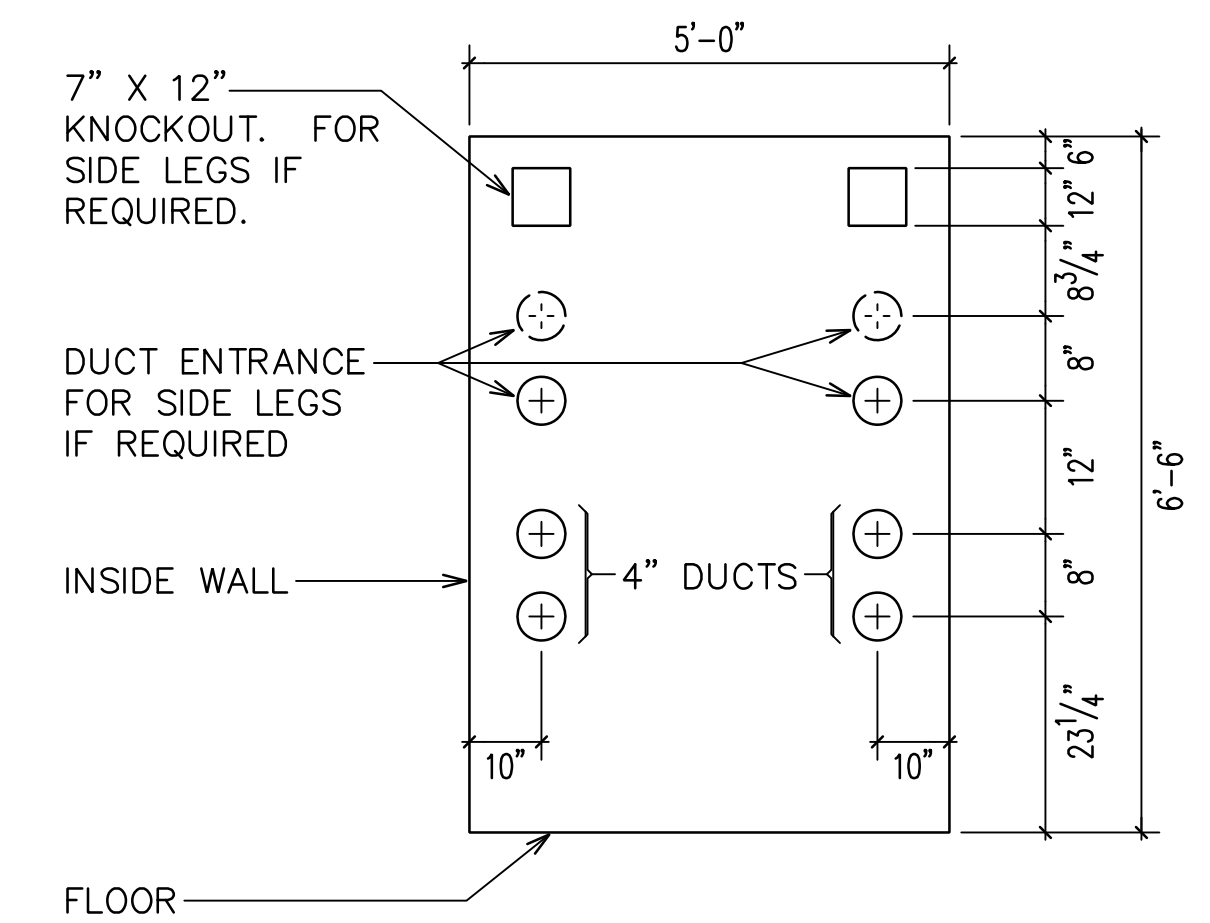
HTCO 5' X 10'-6" MANHOLE "TA"
NOT TO SCALE

HANDHOLE/MANHOLE NOTES:

- HANDHOLE/MANHOLE SHOP DRAWINGS AND STRUCTURAL CALCULATIONS SHALL BE SUBMITTED TO UTILITY COMPANY FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND/OR CONSTRUCTION.
- MANHOLES SHALL BE CONSTRUCTED WITH 12" MINIMUM AND 18" MAXIMUM NECK DIMENSION.



TYPICAL DUCT TRANSITION TO SPLAY DUCTS AT MANHOLE/HANDHOLE



TYPICAL END WALL SECTION

A TYPICAL HAWAIIAN TELCOM MANHOLE/HANDHOLE DETAILS
ED-05 NOT TO SCALE

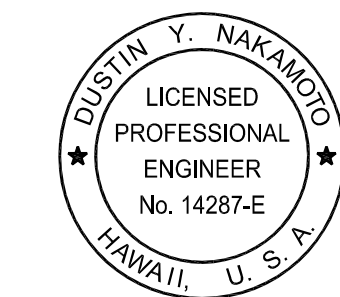
DRAWING REVIEW

Reviewed for Hawaiian Electric Company Facilities Only
Req# _____ By _____ Date _____
Customer Installations Department
Hawaiian Electric

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APPROVED BY _____ DATE _____
HAWAIIAN TELCOM

RONALD N. S. HO & ASSOC., INC.
Electrical Engineers



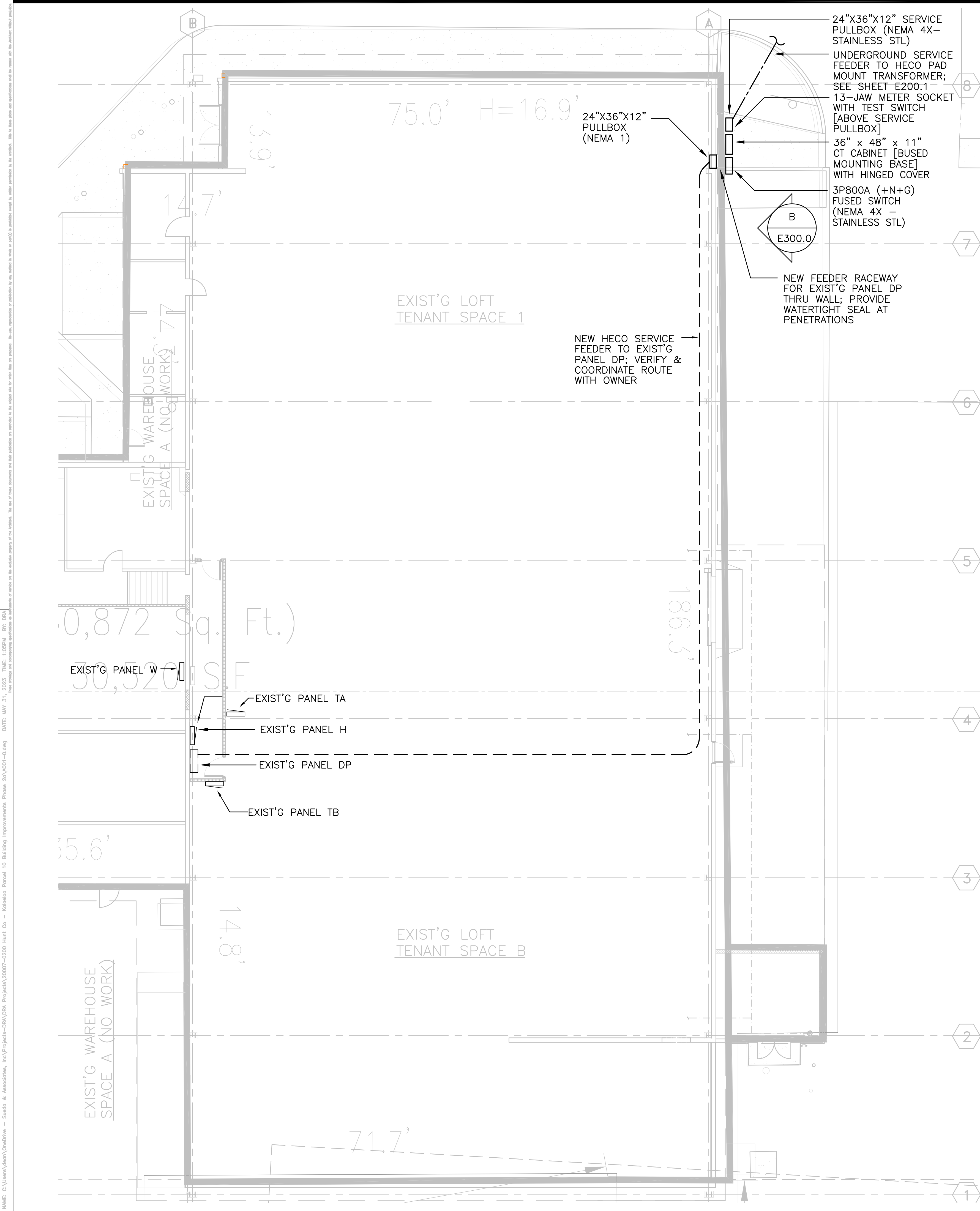
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04/30/24
EXPIRATION DATE OF THE LICENSE

REVISION	DATE	BRIEF	BY

KALELOA PARCEL 10
BUILDING 152

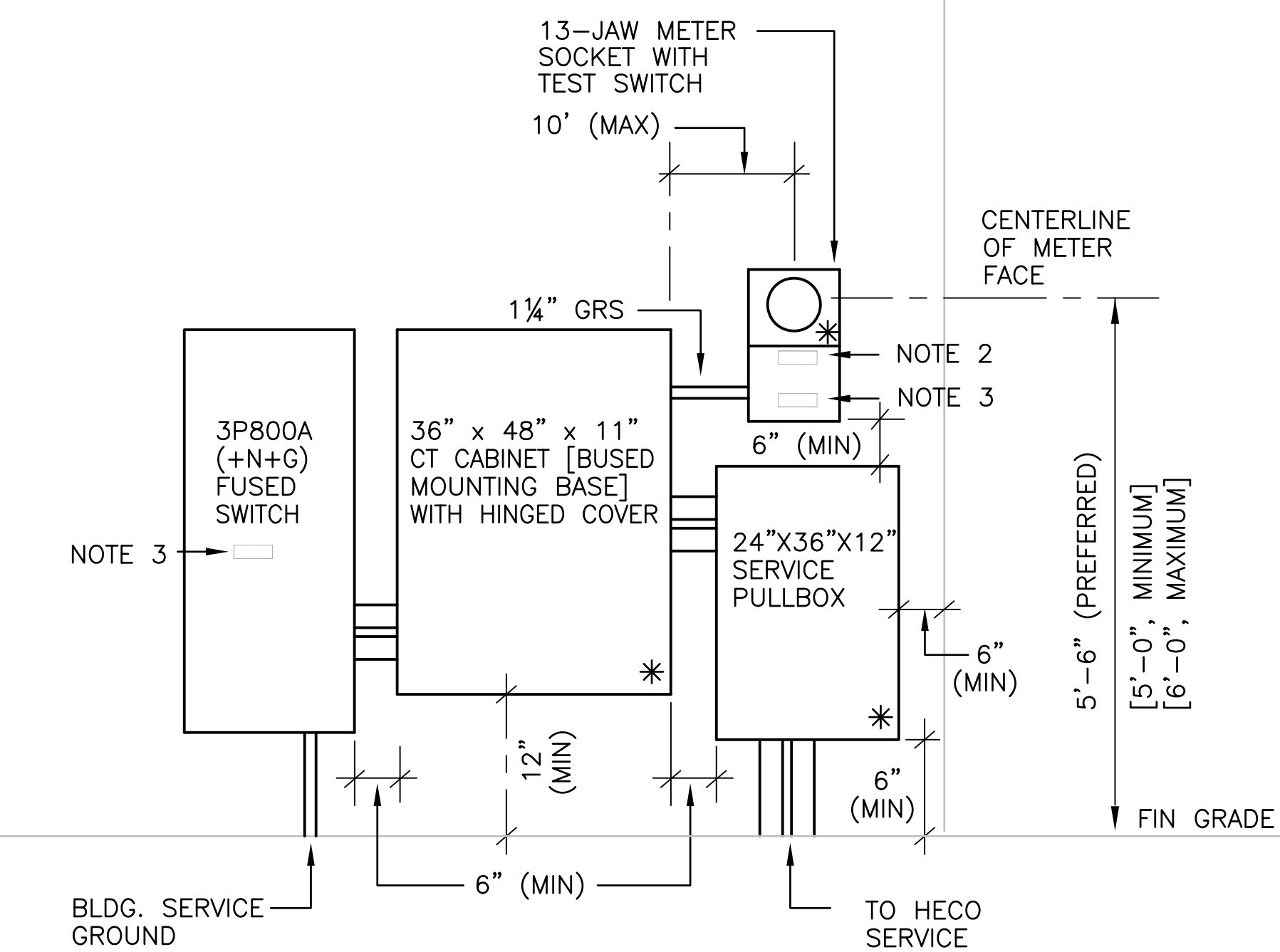
HECO AND HTCO MANHOLE BUTTERFLY
DIAGRAMS I

ENGINEER: DN CHECKED BY: SS
DRAFTSMAN: CAD DATE: 3/9/23



PALEKANA PERMITS
THIRD PARTY CERTIFICATION

<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	



PROVIDE A MINIMUM OF 4- FEET CLEAR AND LEVEL WORKSPACE IN FRONT OF THE METERING AND SERVICE EQUIPMENT

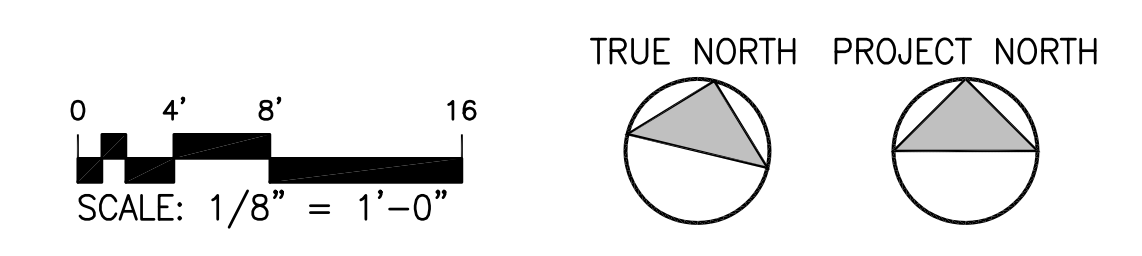
- NOTES:
1. ALL ENCLOSURES NEMA 4X (STAINLESS).
 2. * = SEALABLE ENCLOSURE.
 3. GROUND AND BOND PER NEC.

HAWAIIAN ELECTRIC COMPANY (HECO) NOTES:

1. COORDINATE ACCESS TO METERING EQUIPMENT WITH HECO PLANNER [MR. JOHN DOE (808) 543-XXX] FOR READY ACCESS TO METERING EQUIPMENT.
2. AT TIME OF INSTALLATION, PROVIDE AND INSTALL METER SOCKET COVERS (PLASTIC) AND BANDS FOR ALL BLANK METER SOCKETS. IDENTIFY COVERS SO COVERS CAN BE RETURNED.
3. PROVIDE A MINIMUM OF 4 FEET CLEAR AND LEVEL WORKSPACE CLEARANCE IN FRONT OF METERING AND SERVICE EQUIPMENT.
4. SUBMIT MANUFACTURER'S SHOP DRAWINGS OF METERING EQUIPMENT FOR REVIEW AND APPROVAL BEFORE ORDERING OR FABRICATION METERING EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH "EUSERC" DRAWINGS AND REQUIREMENTS.
5. PROVIDE PERMANENT LABELS FOR ALL METER SOCKETS TO IDENTIFY THE UNIT OR SPACE SERVED. VERIFY AND COORDINATE LABELING WITH LANDLORD TENANT COORDINATOR.

B SERVICE EQUIPMENT ELEVATION
SCALE: NONE

A PARTIAL BUILDING ELECTRICAL PLAN [NEW]
SCALE: 1/8" = 1'-0"



DRA
Architecture LLC

ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION AS DEFINED IN CHAPTER 16-115 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS ENTITLED PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS)

LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE BEFORE PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.

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REVISION MARK • DATE • DESCRIPTION

PROJECT

PARCEL 10 BUILDING ELECTRICAL IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2A]

91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE

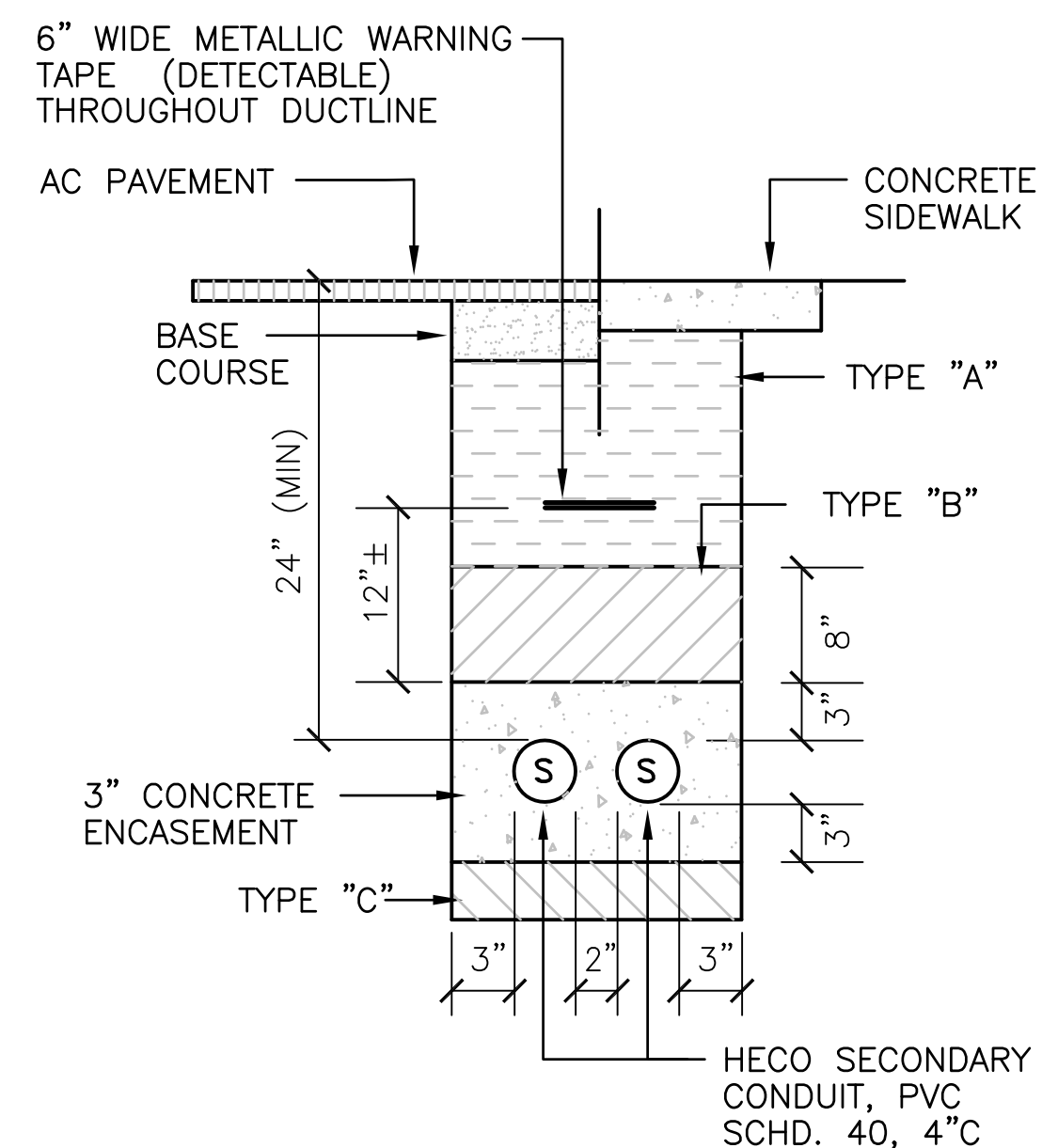
OVERALL SITE ELECTRICAL PLAN [NEW]
SERVICE EQUIPMENT ELEVATION

JOB NO. 20007-0200 DRAWING NO.

DRAWN DRA

CHECKED DRA

DATE JUNE 2023 SHEET OF



BACKFILL NOTES

TYPE "A"
BEACH SAND, EARTH OR EARTH AND GRAVEL. THE MAXIMUM ROCK SIZE SHALL BE 1" AND THE MIXTURE SHALL CONTAIN NO MORE THAN 50% BY VOLUME OF ROCK.

TYPE "B"
BEACH SAND, EARTH OR EARTH AND GRAVEL. IF EARTH AND GRAVEL, MIXTURE MUST PASS THRU A 1/2" MESH SCREEN AND CONTAIN NO MORE THAN 20 PERCENT BY VOLUME OF ROCK PARTICLES.

TYPE "C"
IF THE NORMAL MATERIAL IN THE BOTTOM OF THE TRENCH IS NOT TYPE "B" AN ADDITIONAL 3" SHALL BE EXCAVATED AND TYPE "B" BACKFILL SHALL BE PROVIDED.

CONCRETE
3" ENCASEMENT. 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.

PALEKANA PERMITS
THIRD PARTY CERTIFICATION

BUILDING CODE ELECTRICAL CODE
 MECHANICAL CODE ZPRB (LAND USE ORDINANCE)
 STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)

DRA Architecture LLC
ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287

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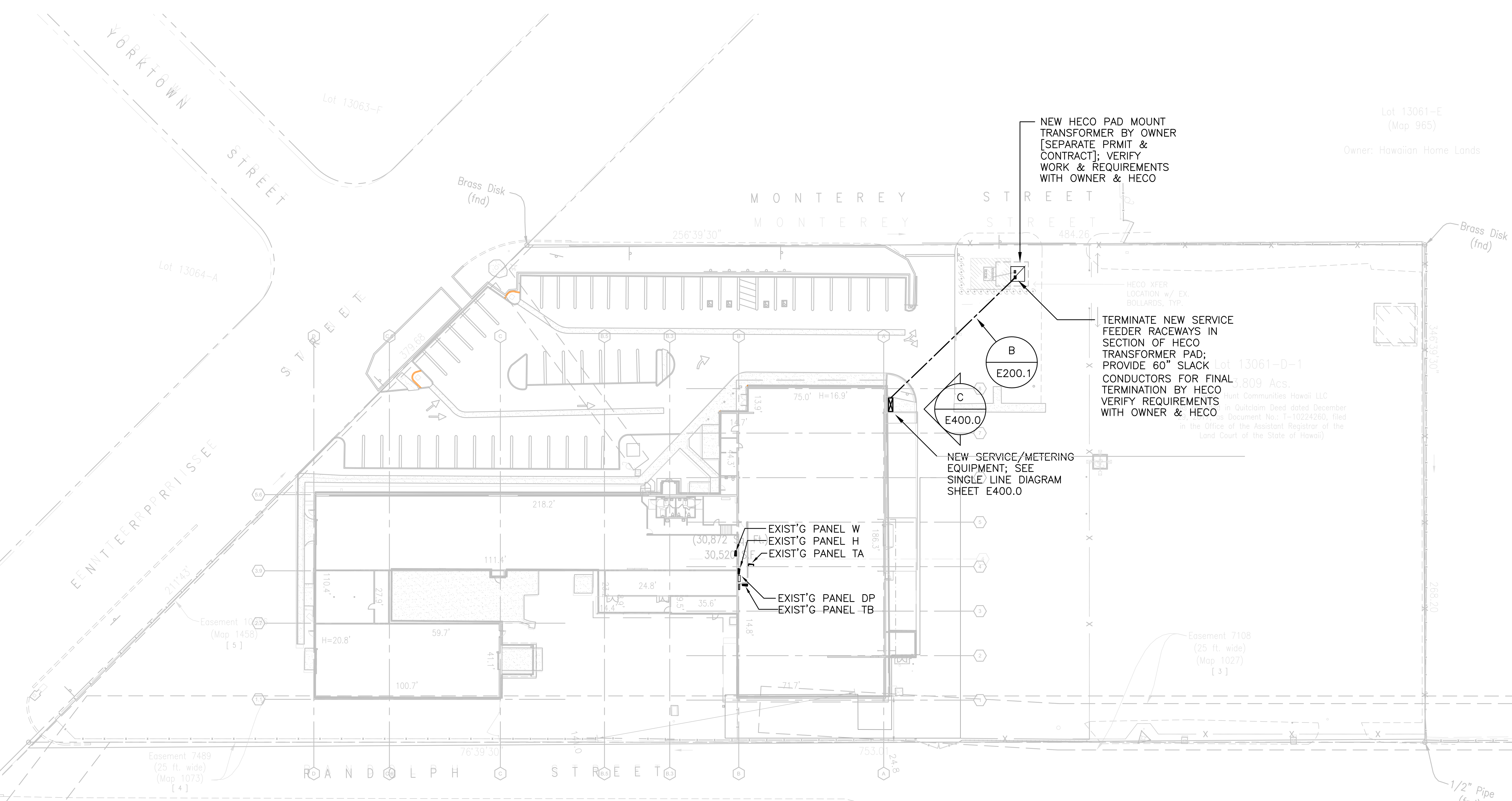
LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES

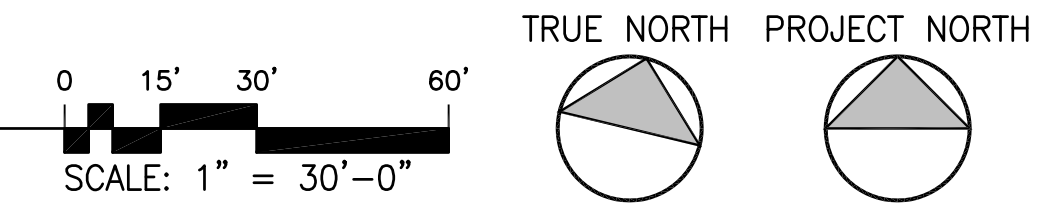
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B DUCT SECTION
SCALE: NONE



A OVERALL SITE ELECTRICAL PLAN [NEW]
SCALE: 1" = 30'-0"



REVISION MARK	DATE	DESCRIPTION

PROJECT
PARCEL 10 BUILDING ELECTRICAL IMPROVEMENTS FOR: HUNT COMMUNITIES HAWAII [PHASE 2A]
91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE
OVERALL SITE ELECTRICAL PLAN [NEW]
DUCT SECTION

JOB NO. 20007-0200 DRAWING NO. 1200.1
DRAWN DRA
CHECKED DRA
DATE JUNE 2023 SHEET OF

NAME: C:\Users\jvann\OneDrive - Sands & Associates, Inc\Projects-DRA\ORA Projects\20007-0200 Hunt Co - Kalaheo Parcel 10 Building Improvements\Phase 2A\001-0.dwg DATE: MAY 31, 2023, TIME: 1:08PM BY: DRA

PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

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ARCHITECTURE DESIGN INTERIORS
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LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES

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REVISION MARK • DATE • DESCRIPTION

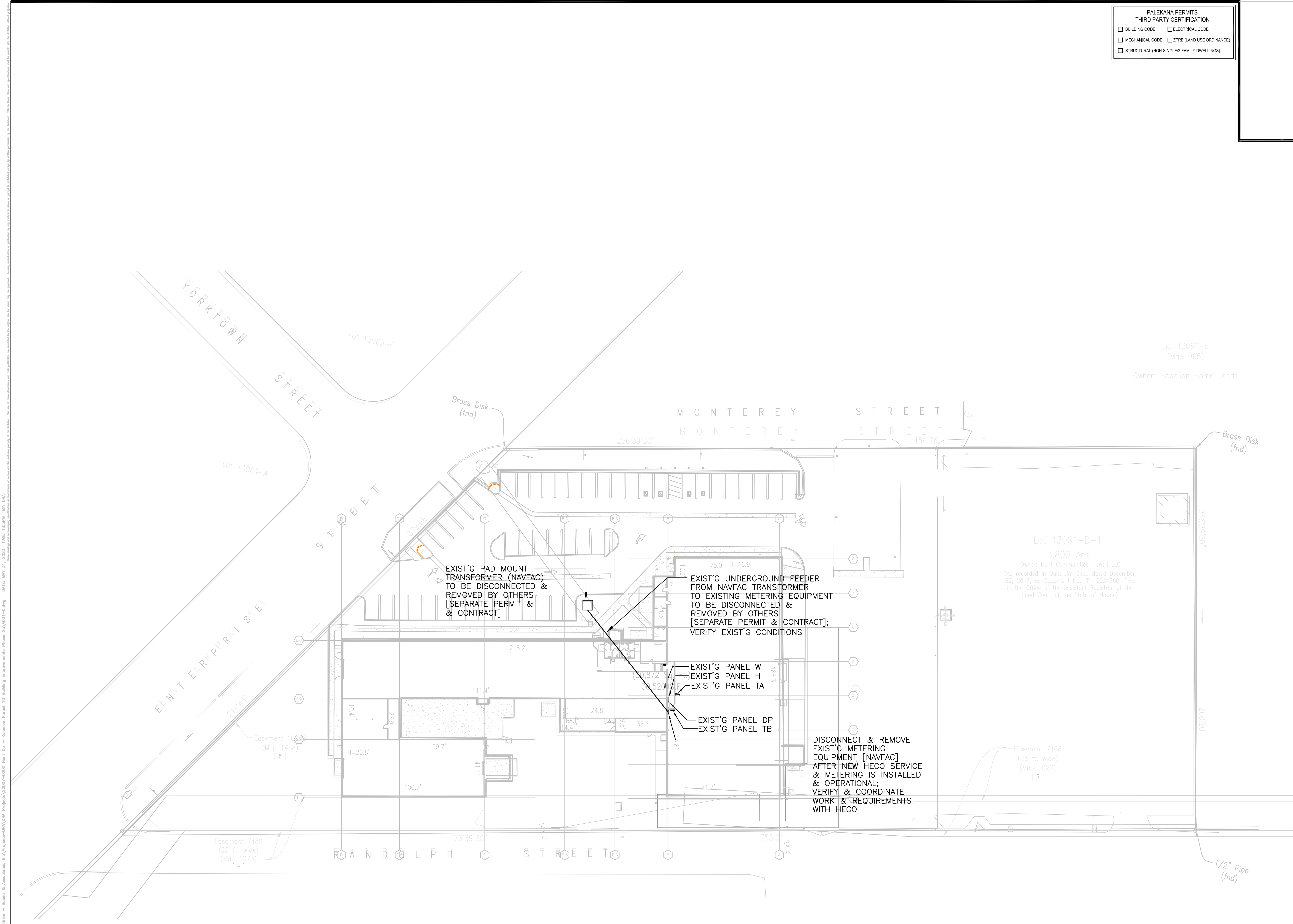
PROJECT
**PARCEL 10 BUILDING
ELECTRICAL
IMPROVEMENTS FOR:
HUNT
COMMUNITIES
HAWAII
[PHASE 2A]**

91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

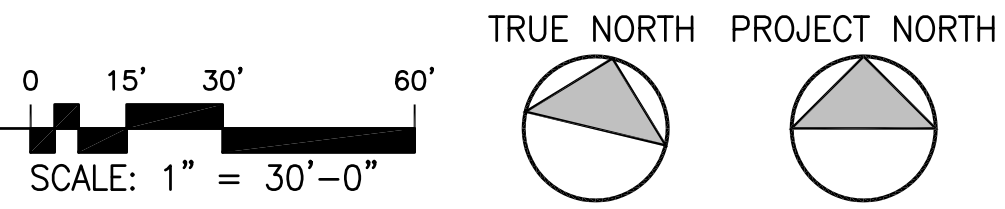
SHEET TITLE

OVERALL SITE ELECTRICAL PLAN
[EXISTING/DEMOLITION]

JOB NO. 20007-0200	DRAWING NO.
DRAWN DRA	
CHECKED DRA	
DATE JUNE 2023	SHEET OF



A OVERALL SITE ELECTRICAL PLAN [EXISTING/DEMOLITION]
SCALE: 1" = 30'-0"



NAME: C:\Users\jvann\OneDrive - Sasaki & Associates, Inc\Projects-DRA\ORA Projects\20007-0200 Hunt Co - Kalaheoa Parcel 10 Building Improvements\Phase 2A\001-0.dwg DATE: MAY 31, 2023, TIME: 1:08PM BY: DRA

ELECTRICAL SPECIFICATIONS

PART 1 – GENERAL

- 1.01 **GENERAL CONDITIONS:** AS SPECIFIED IN ARCHITECTURAL SECTIONS.
- 1.02 **SCOPE:** FURNISH ALL MATERIALS REQUIRED TO COMPLETE ALL ELECTRICAL WORK. "PROVIDE" SHALL MEAN "FURNISH AND INSTALL" WHEN USED HEREIN.
- A. IN GENERAL, THE FOLLOWING WORK IS INCLUDED:
- ELECTRICAL DEMOLITION WORK AS INDICATED OR REQUIRED.
 - PROVIDE FOR NEW ELECTRICAL SERVICE, INCLUDING METERING EQUIPMENT.
 - PROVIDE POWER AND LIGHTING SYSTEMS INCLUDING ELECTRICAL APPARATUS, WIRING DEVICES AND WIRING.
- B. THE TERM "WIRING" SHALL INCLUDE, BUT NOT BE LIMITED TO LUMINAIRES, OUTLETS, CONDUCTORS AND OTHER ELECTRICAL EQUIPMENT AND APPARATUS FOR A COMPLETE AND OPERATIONAL SYSTEM.
- C. COORDINATE UTILITY AND ELECTRICAL WORK WITH HECO, HAWAIIAN TELCOM, SPECTRUM HAWAII AND THE OWNER.
- D. FURNISHING OF "CONTRACTOR SUBMITTALS" AND "PROJECT RECORD DRAWINGS".
- 1.03 **RELATED WORK SPECIFIED IN OTHER SECTIONS:**
- A. PROVIDE POWER CONNECTIONS TO ALL ELECTRICAL EQUIPMENT FURNISHED OR PROVIDED UNDER OTHER SECTIONS.
- B. ELECTRIC UTILITY SERVICES BY HECO, HTCOM AND SPECTRUM HWAIL. VERIFY AND COORDINATE ALL SYSTEM REQUIREMENTS AND CONNECTIONS REQUIRED WITH HAWAIIAN ELECTRIC COMPANY, HAWAIIAN TELCOM AND SPECTRUM HAWAII.
- C. CONTROL WIRING AND MOTOR STARTERS FURNISHED UNDER MECHANICAL SECTIONS.
- 1.04 **QUALITY ASSURANCE:**
- A. COMPLY WITH THE REQUIREMENTS OF CITY AND COUNTY OF HONOLULU, STATE AND THE OWNER.
- B. OBTAIN AND PAY FOR ALL FEES, PERMITS, LICENSES, ASSESSMENTS AND INSPECTIONS REQUIRED FOR THIS WORK.
- C. SPECIFICATIONS ARE ACCOMPANIED BY ARCHITECTURAL PLANS AND DIAGRAMMATIC ELECTRICAL PLANS SHOWING APPROXIMATE LOCATIONS OF LUMINAIRES, OUTLETS AND OTHER ELECTRICAL EQUIPMENT. CONTRACTOR SHALL CONTACT ARCHITECT IF CONFLICTS OCCUR IN THE LOCATIONS OF THE LUMINAIRES AND OUTLETS.
- D. PRIOR TO THE START OF ROUGH-IN WORK, VERIFY ALL DIMENSIONS AND SIZES OF EQUIPMENT AT THE JOB SITE. CIRCUITS AND RACEWAY ROUTE ARE DIAGRAMMATIC AND MAY BE ALTERED IN ANY LOGICAL MANNER. HOWEVER, ALL CHANGES FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ARCHITECT AND INDICATED ON THE PROJECT RECORD DRAWINGS.
- E. INSTALLATION SHALL BE COMPLETE IN EVERY DETAIL AND READY FOR USE. ANY ITEM SUPPLIED BY THE CONTRACTOR DEVELOPING DEFECTS WITHIN ONE (1) YEAR AFTER FINAL ACCEPTANCE SHALL BE REPLACED BY MATERIALS, APPARATUS OR PARTS, INCLUDING INSTALLATION LABOR TO MAKE SUCH DEFECTIVE PORTION OF COMPLETE SYSTEM CONFORM TO THE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS, WITHOUT ADDITIONAL COST TO THE OWNER.
- 1.05 **SUBMITTALS:**
- A. SUBMIT FOR REVIEW ELECTRONIC VERSION (.pdf) OF SHOP DRAWINGS OR CATALOG CUTS OF THE FOLLOWING EQUIPMENT PRIOR TO ORDERING OF EQUIPMENT: LUMINAIRES, ELECTRICAL APPARATUS AND DEVICES; INCLUDING HECO APPROVAL METERING EQUIPMENT, WHERE INDICATED OR REQUIRED.
- B. "PROJECT RECORD DRAWINGS" SHALL INDICATE ALL CHANGES FROM THE CONTRACT DRAWINGS OF ALL CONCEALED WIRING. RECORD THIS INFORMATION ALONG WITH ANY REQUIRED CHANGES FROM THE CONTRACT DRAWINGS ON REPRODUCIBLE MEDIA OR ELECTRONIC FORMET. SUBMIT PROJECT RECORD DRAWINGS FOR REVIEW PRIOR TO THE FINAL SITE VISIT BY ARCHITECT.

PART 2 – PRODUCTS:

- 2.01 **MATERIALS:** MATERIALS AND EQUIPMENT SHALL BE NEW AND THOSE ITEMS LISTED BY UNDERWRITER'S LABORATORIES SHALL BEAR "UL" LABEL OF APPROVAL.
- A. ELECTRICAL METALLIC TUBING (EMT) AND GALVANIZED RIGID CONDUIT (GRC): HOT DIPPED GALVANIZED, 1/2", MINIMUM FOR POWER SYSTEMS; 3/4", MINIMUM FOR COMMUNICATION AND FIRE ALARM SYSTEMS.
- B. OUTLET BOXES: CONCEALED BOXES SHALL BE PRESSED DOWN NEC GAUGE STEEL, GALVANIZED 4" SQUARE X 1-1/2" DEEP, MINIMUM.
- C. DEVICE AND COVER PLATES: PLATES FOR FLUSH CONSTRUCTION SHALL BE ONE PIECE, SMOOTH, PLASTIC SUITABLE HOLE FOR DEVICE, WHITE.
- D. WIRES: CONDUCTORS SHALL BE COPPER, 600 VOLTS, NO. 12 AWG, MINIMUM. CONDUCTORS NO. 10 AND SMALLER SHALL BE SOLID, UNLESS SPECIFIED OR INDICATED OTHERWISE, OR REQUIRED TO BE OTHERWISE BY THE NFPA 70, ALL CONDUCTORS SHALL BE NEC TYPE THWN OR XHHW.
- E. PANELBOARD: TYPE AND RATING AS SCHEDULED. PROVIDE BREAKER COMPLEMENT AS INDICATED; PROVIDE TYPED CIRCUIT DIRECTORY.
- F. DISCONNECT SWITCH: HEAVY DUTY SAFETY SWITCH WITH RATING AS NOTED. NEMA 1 ENCLOSURE FOR INDOOR LOCATIONS AND NEMA 3R FOR WET AND OUTDOOR LOCATIONS.
- G. HARDWARE, SUPPORTS, BACKING, ETC.: PROVIDE ALL HARDWARE, SUPPORTS, BACKING AND OTHER ACCESSORIES NECESSARY TO INSTALL ELECTRICAL EQUIPMENT. WOOD MATERIALS SHALL BE TERMITE CHEMICAL TREATED, IRON AND STEEL MATERIALS SHALL BE GALVANIZED FOR CORROSION PROTECTION.

PART 3 – EXECUTION

- 3.01 **CONSTRUCTION METHODS:**
- A. WIRING SHALL CONFORM TO THE REQUIREMENTS OF THE CITY AND COUNTY OF HONOLULU, STATE AND THE OWNER.
- B. COMPLY WITH ALL LOCAL ORDINANCES AND REGULATIONS OF CITY AND COUNTY OF HONOLULU, HAWAIIAN ELECTRIC COMPANY, HTCOM AND SPECTRUM HAWAII AND WORKMANSHIP SHALL BE SUBJECT TO ARCHITECT'S REVIEW.
- C. RACEWAYS: EMT MAY BE USED IN DRY LOCATIONS AND WHERE NOT SUBJECT TO PHYSICAL DAMAGE. USE GRC IN DAMP OR WET LOCATIONS AND WHERE SUBJECT TO PHYSICAL DAMAGE. MOUNT RACEWAYS FREE FROM OTHER PIPING OR MECHANICAL EQUIPMENT AND DUCTWORK. RUN ALL EXPOSED RACEWAYS PARALLEL WITH OR AT RIGHT ANGLES TO STRUCTURAL OR ARCHITECTURAL ELEMENTS.
- D. OUTLET BOXES: PROVIDE OUTLET BOXES TO SUIT CONDITIONS ENCOUNTERED. WHEN TWO OR MORE DEVICES ARE INSTALLED AT A SINGLE LOCATION, MOUNT IN GANGED BOX UNDER SINGLE DEVICE PLATE.
- E. INSTALLATION OF LUMINAIRES: SUPPORT LUMINAIRES AND FANS SECURELY AND SAFELY BY APPROVED MEANS. PROVIDE ALL NECESSARY ACCESSORIES AND HARDWARE FOR PROPER INSTALLATION.
- F. EQUIPMENT CONNECTIONS: MAKE POWER CONNECTIONS TO EQUIPMENT WITH SHORT SECTION OF LIQUID-TIGHT FLEXIBLE RACEWAY.
- G. GROUNDING: METALLIC ENCLOSURES, RACEWAYS AND ELECTRICAL EQUIPMENT SHALL BE GROUNDED ACCORDING TO THE REQUIREMENTS OF THE NEC ARTICLE 250. GROUND CONNECTION TO EQUIPMENT, RACEWAYS, GROUNDING TYPE RECEPTACLES AND OTHER METALLIC PARTS BY CONTINUOUS NO. 14, MINIMUM, GREEN COPPER CONDUCTOR.
- H. FINISHING: PATCH, REPAIR AND RESTORE ALL ELEMENTS DAMAGED DURING THE INSTALLATION OF ELECTRICAL SYSTEM. PATCHING, REPAIRING AND RESTORING SHALL BE SUBJECT TO ARCHITECT'S REVIEW AND ACCEPTANCE.
- I. TESTING: TEST ALL WIRING AND CIRCUITS TO INSURE PROPER OPERATION OF ALL ELECTRICAL SYSTEMS. ALL TESTS SHALL BE MADE IN THE PRESENCE OF THE ARCHITECT. PROPER OPERATION OF ALL ELECTRICAL DEVICES SHALL BE DEMONSTRATED AT THE REQUEST OF THE ARCHITECT. ARRANGE AND PAY FOR TESTING OF FIRE ALARM SYSTEM WITH THE CITY AND COUNTY OF HONOLULU.

END OF SECTION

SYMBOLS

EXISTING REMOVE	EXISTING REMAIN	NEW	
	S	S	SWITCH, 1P20A, +42" UNLESS NOTED
	S ₃	S ₃	SWITCH, 3-WAY, 20A, +42" UNLESS NOTED
	S		OCCUPANCY SENSOR, WALL MOUNTED TYPE, +42" UNLESS NOTED
			DUPLEX CONVENIENCE OUTLET, NEMA 5-20R, +24" UNLESS NOTED
			"FOURPLEX" CONVENIENCE OUTLET, NEMA 5-20R, +24" UNLESS NOTED
			GROUND FAULT DUPLEX OUTLET, NEMA 5-20R, +24" UNLESS NOTED
			TELEPHONE / DATA OUTLET, +24" UNLESS NOTED WITH TWO 3/4" STUBS ABOVE CEILING
			EQUIPMENT CONNECTION
			MOTOR CONNECTION
			MOTOR CONTROLLER
			SAFETY SWITCH, FUSED OR NON-FUSED AS NOTED. ENCLOSURE TYPE AS INDICATED
			PANELBOARD
		WP	WEATHER PROOF
			WIRING IN RACEWAY CONCEALED IN WALL OR CEILING
			WIRING IN RACEWAY CONCEALED BELOW GRADE OR SLAB
			WIRING IN EXPOSED RACEWAY
			WIRING IN FLEXIBLE METAL RACEWAY

PALEKANA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> BUILDING CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ZPRB (LAND USE ORDINANCE)
<input type="checkbox"/> STRUCTURAL (NON-SINGLE-FAMILY DWELLINGS)	

NOTE:
PROVIDE SEPARATE NEUTRAL CONDUCTOR FOR EACH 120-VOLT CIRCUIT (DO NOT USE COMMON NEUTRAL CONDUCTOR).
WIRING SHALL CONFORM TO NEC ARTICLE 310.15(B)(2).

DEMOLITION NOTES

- EXISTING UTILITIES AND EQUIPMENT SHOWN ON THESE DRAWINGS HAVE BEEN OBTAINED FROM A LIMITED AMOUNT OF FIELD INVESTIGATION AND AVAILABLE SOURCES AT THE TIME THESE DOCUMENTS WERE PREPARED. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK AND SHALL PROVIDE ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE INTENT OF THIS PROJECT.
- BEFORE ANY WIRING IS CUT, CONTRACTOR SHALL VERIFY USAGE OF WIRING TO BE CUT TO ASSURE THAT REQUIRED SERVICES ARE NOT DISCONTINUED. ANY REQUIRED SERVICES DISCONNECTED BY THE CONTRACTOR SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, CENTER MANAGEMENT.
- REMOVE ALL EXISTING APPARATUS, OUTLETS AND WIRING NOT TO REMAIN IN SERVICE.
- DISCONNECT AND REMOVE ALL RACEWAYS, INCLUDING CONDUCTORS, NOT EMBEDDED IN CONCRETE OR CONCEALED WITHIN EXISTING WALLS TO REMAIN. ABANDON RACEWAYS EMBEDDED IN CONCRETE OR CONCEALED WITHIN EXISTING WALLS TO REMAIN. REMOVE CONDUCTORS FROM ABANDONED RACEWAYS.
- PHASE ALL WORK TO ASSURE CONTINUITY OF ALL ELECTRICAL SERVICES, INCLUDING MECHANICAL CONTROLS, COMMUNICATIONS AND SECURITY SYSTEMS TO PARTS OF THE FACILITY TO REMAIN IN SERVICE.
- REMOVE ALL DEVICES AND EQUIPMENT INDICATED TO BE REMOVED OR NO LONGER REQUIRED. PLUG ALL HOLES IN ENCLOSURES, BOXES AND CABINETS TO REMAIN.
- RETURN ALL REMOVED EQUIPMENT AND MATERIALS, AS DETERMINED BY THE ARCHITECT TO A SITE WITHIN THE BUILDING AS DIRECTED BY THE ARCHITECT. PROPERLY DISPOSE OF ALL UNWANTED MATERIALS.
- ANY OUTAGES OF ELECTRICAL SERVICES TO ANY PART OF THE FACILITY OR THE BUILDING SHALL BE REQUESTED, IN WRITING, AT LEAST 10 WORKING DAYS PRIOR TO THE DATE OF THE DESIRED OUTAGE. WRITTEN REQUEST TO THE ARCHITECT SHALL INCLUDE THE FOLLOWING INFORMATION: SERVICE TO BE INTERRUPTED, DATE, TIME, DURATION OF THE OUTAGE AND THE REASON FOR THE DESIRED OUTAGE.

OUTAGES WILL BE GRANTED AT THE SOLE CONVENIENCE OF THE OWNER.

NOTE: NO LIGHTING WORK

CITY AND COUNTY OF HONOLULU REVISED ORDINANCES OF HONOLULU 1990 CHAPTER 32	
To the best of my knowledge, this project's design substantially conforms to the Building Energy Conservation Code for:	
<input type="checkbox"/>	Building Component Systems
<input checked="" type="checkbox"/>	Electrical Component Systems
<input type="checkbox"/>	Mechanical Component Systems
Signature: _____	Date: 12.02.2020
Name: Darrel Itano	
Title: President, Itano & Associates, Inc.	
License No.: 4367-E	

DRA
Architecture LLC
ARCHITECTURE DESIGN INTERIORS
905 MAKAHIKI WAY, MAUKA SUITE
HONOLULU, HAWAII 96826
(808) 292-6287

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION (OBSERVATION AS DEFINED IN CHAPTER 16-115 OF THE HAWAII ADMINISTRATIVE RULES, DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS ENTITLED PROFESSIONAL ENGINEERS, ARCHITECTS, SURVEYORS AND LANDSCAPE ARCHITECTS)

LICENSE EXPIRES: 30 APRIL 2024

GENERAL NOTES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE BEFORE PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.

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REVISION MARK • DATE • DESCRIPTION

PROJECT
PARCEL 10 BUILDING
ELECTRICAL
IMPROVEMENTS FOR:
HUNT
COMMUNITIES
HAWAII
[PHASE 2A]

91-1049 ENTERPRISE AVENUE
KAPOLEI, OAHU, HAWAII 96707
T.M.K.: 9-1-013: 097

SHEET TITLE

ELECTRICAL SYMBOLS
DEMOLITION NOTES
ELECTRICAL SPECIFICATIONS
ENERGY BUDGET

JOB NO. 20007-0200 DRAWING NO.
DRAWN MS
CHECKED DI
DATE JUNE 2023 SHEET OF